

PROJECT TEAM

OWNER: GOLDEN CANADIAN HOMES INC.
Tel. 647.229.2003
mohsinsam1971@yahoo.ca

ARCHITECT: LINE ARCHITECT INC.
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Loghman@LINEarchitect.com
www.LINEarchitect.com

CIVIL: C.F. CROZIER & ASSOCIATES INC.
2800 HIGH POINT DRIVE
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Tel. 905.875.0026
Jatherine@cfcrozier.ca
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GEOTECHNICAL: CENTRAL EARTH ENGINEERING
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Tel. 705.719.7994
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SURVEY: CULLEN & ASSOCIATES
59 THIRD STREET
Orangeville, Ontario L9W 2B3
Tel. 705.434.0156
djcullen1@bellnet.ca

LIST OF DRAWINGS

ARCHITECTURAL

- A001 COVER PAGE / PROJECT DATA
- A002 OBC MATRIX / DATA & COMPLIANCE
- A101 SITE PLAN
- A102 SITE 3D VIEW
- A301 1ST FLOOR PLAN
- A302 2ND, 3RD & MECH. RM. FLOOR PLAN
- A401 BUILDING ELEVATIONS
- A501 BUILDING SECTIONS

SURVEY

SEE PROPERTY SURVEY (BY CULLEN & ASSOCIATES)

CIVIL

SEE FIG1 (BY CROZIER & ASSOCIATES)

GEOTECHNICAL

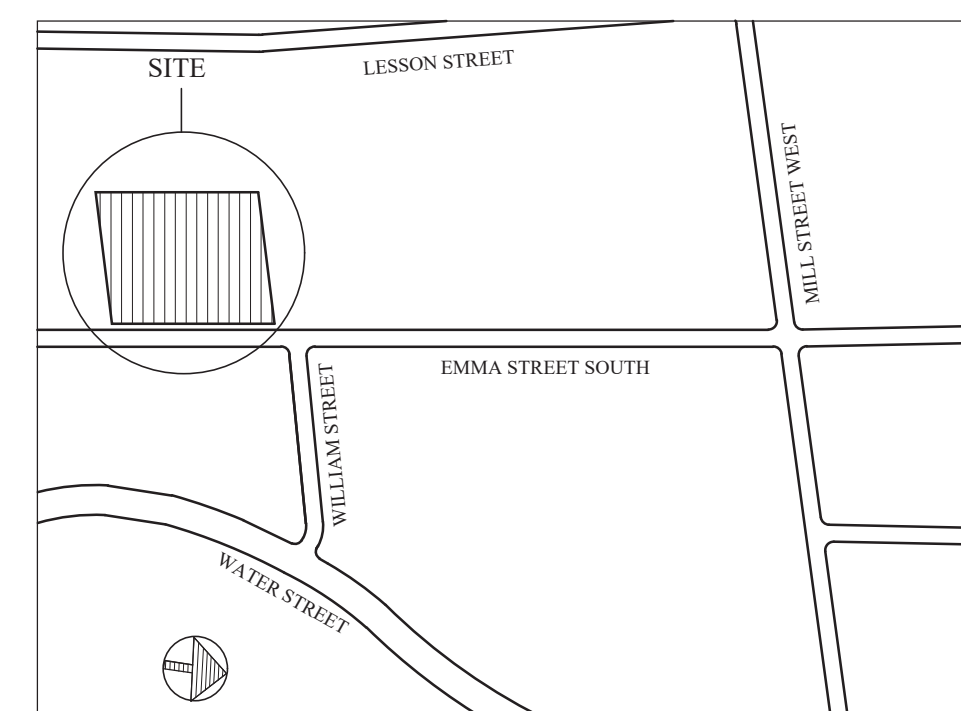
SEE GEOTECHNICAL DRAWINGS FOR RESPECTIVE DRAWING LIST



DESIGN CONCEPT. APPROX. VIEW

EMMA - GRAND . PROPOSED MIXED - USE BUILDING . TOWN OF GRAND VALLEY

PROJECT DATA



PROJECT LOCATION

ITEM	REQUIRED/PERMITTED	PROPOSED
SITE AREA	-	2,958 sq. m
LOT FRONTAGE	-	60.43 m
LOT COVERAGE	< 75 %	25 %
RESIDENTIAL G.F.A.	-	1,292 sq. m.
COMMERCIAL G.F.A.	-	240 sq. m.
COMMON AREA G.F.A.	-	298 sq. m.
BUILDING G.F.A.	-	1,830 sq. m.
FLOOR SPACE INDEX	-	0.62
DENSITY	-	18 DU / Acres
RESIDENTIAL ON 1ST FLOOR	<40%	-
MECHANICAL PENTHOUSE	-	11 sq. m.
NO. OF RESIDENTIAL UNITS	-	18
NO. OF STOREYS	-	3 Storeys
BUILDING HEIGHT AT FRONT	12.0 m	11.6 m
BUILDING HEIGHT AT REAR	-	8.7 m & 10.2 m
BUILDING HEIGHT TO FRONT DECK	-	4.6 m
SIDE YARD SETBACKS (See site plan)	1.5 m	2.66 m & 1.51 m
FRONT YARD SETBACK	-	17.7 m
REAR YARD SETBACK	4.5 m	13.3 m
YARD TO RESIDENTIAL ZONE	4.5 m	13.3 m
BALCONY PROJECTION	-	1.1 m & 1.5 m
BARRIER FREE UNITS (OBC Compliance)	15% x 18 = 2.7	3 BARRIER FREE UNITS

PROJECT ADDRESS	<ul style="list-style-type: none"> 100, 108, & 114 Emma Street South, Grand Valley, Ontario
LEGAL ADDRESS	<ul style="list-style-type: none"> Part of lots 26, 27 & 28 in Block 7, Registered Plan 33A, Village of Grand Valley, Township of East Luffer Grand Valley, County of Dufferin
ZONING REFERENCES	<ul style="list-style-type: none"> Town of Grand Valley Comprehensive CD (BL 09 - 10) dated June 2017;

PARKING	REQUIRED	PROPOSED
EXTERIOR STALL	2600 x 6000	2600 x 6000
BARRIER FREE STALL	3400 x 6000 + 1500 Access Aisle	3400 x 6000 + 1500 Shared Access Aisle
DRIVE AISLE	6000 (2 - way) 4500 (1 - way)	6000 (2 - way) 4500 (1 - way)
COMMERCIAL SPACE (1 space / 20sqm)	12	12
RESIDENTIAL SPACE (1.25 space / unit)	23	23
SURFACE PARKING (TOTAL)	35 Stalls	35 Stalls

GENERAL NOTES

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CIVIL ENGINEER: C.F. Crozier & Associates Inc.

GEOTECHNICAL ENGINEER: Central Earth Engineering

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client

Golden Canadian Homes Inc.
Grand Valley, On.

project

Emma Grand
Mixed-use Building
100, 108 & 114 Emma St. South
Grand Valley, Ontario

ONTARIO ASSOCIATION
OF ARCHITECTS

LOGHMAN AZAR
LICENCE
4314

L.A.

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1491 Yonge St. Suite 402
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drawing title
COVER PAGE
PROJECT DATA

design by L.A.

drawn by A.N.

reviewed by L.A.

proj. no. 1724

date 2019.08.19

drawing no. A001

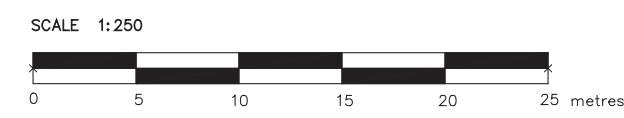
revision no. R4

2ND
SUBMISSION

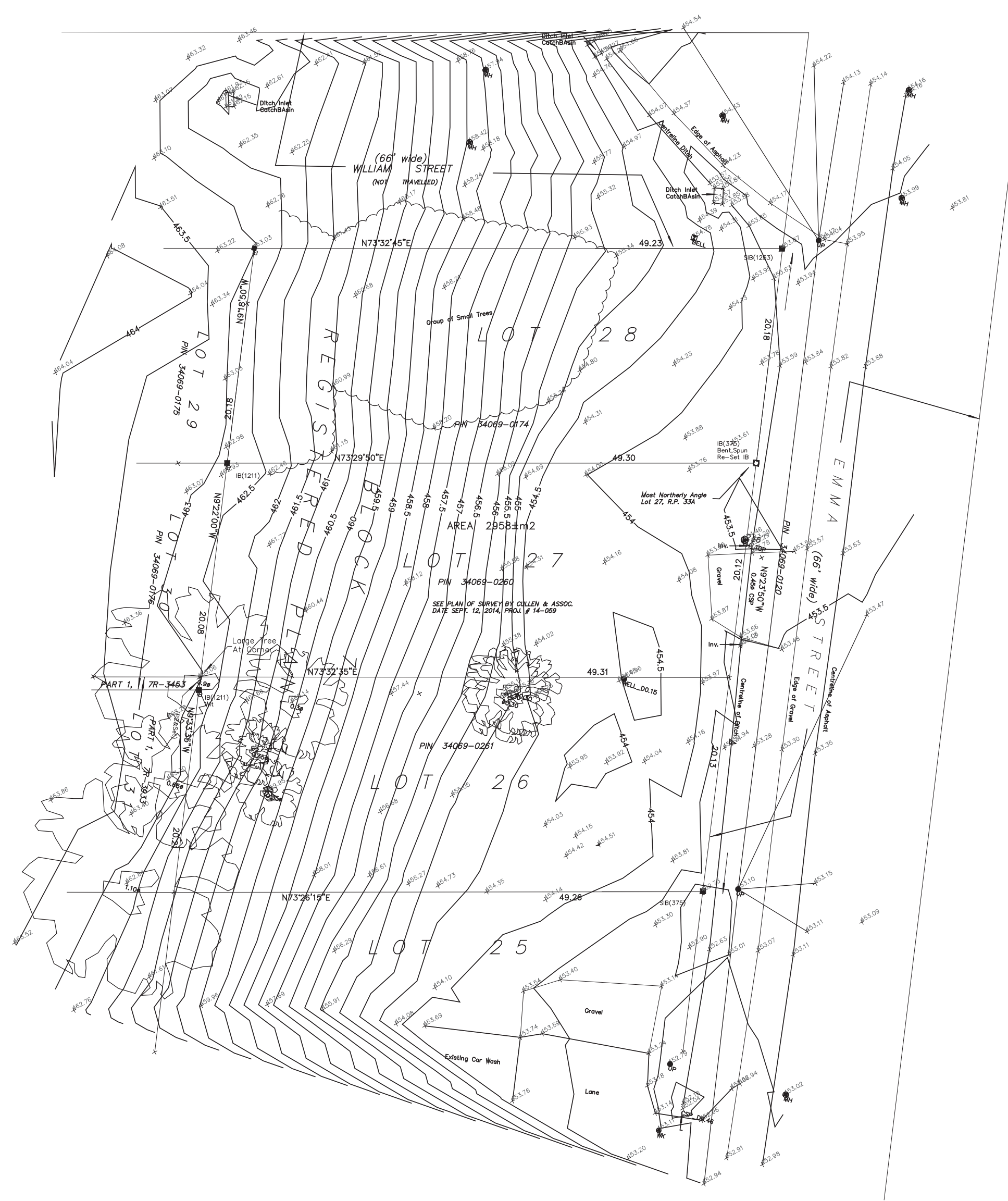
TOPOGRAPHIC SURVEY OF
 LOTS 26, 27 AND 28, BLOCK 7
 REGISTERED PLAN 33A
 VILLAGE OF GRAND VALLEY
 TOWNSHIP OF EAST LUTHER GRAND VALLEY
 COUNTY OF DUFFERIN



CULLEN & ASSOCIATES 2017



METRIC
 DISTANCES SHOWN ON THIS
 PLAN ARE IN METRES AND
 CAN BE CONVERTED TO FEET
 BY DIVIDING BY 0.3048



ELEVATION NOTE
 ALL ELEVATIONS SHOWN HEREON ARE DERIVED FROM
 VERTICAL CONTROL MONUMENT 09819798442
 HAVING A POSTED ELEVATION OF 472.479m

BOUNDARY NOTE
 THIS IS NOT A PLAN OF SURVEY.
 ALL BOUNDARY INFORMATION WAS DERIVED FROM PLANS AND
 RECORDS OF CULLEN & ASSOCIATES

THIS PLAN IS NOT TO BE USED FOR TRANSACTION PURPOSES
SURVEYOR'S CERTIFICATE

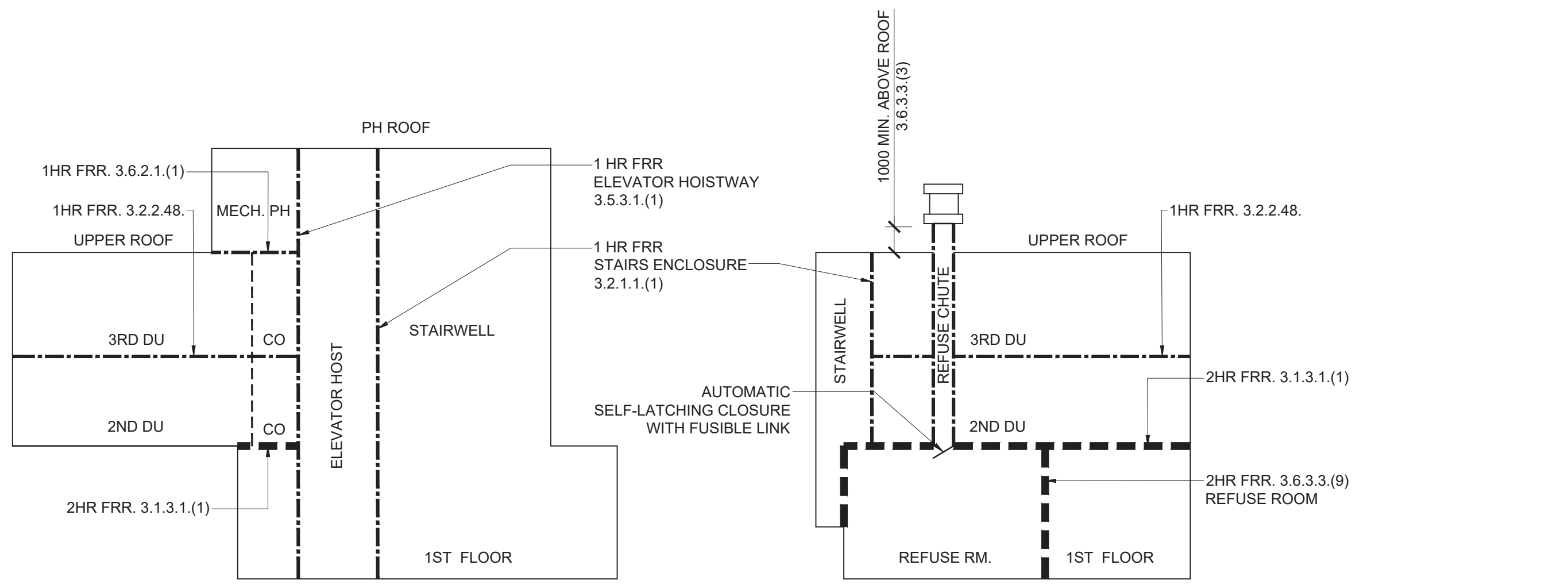
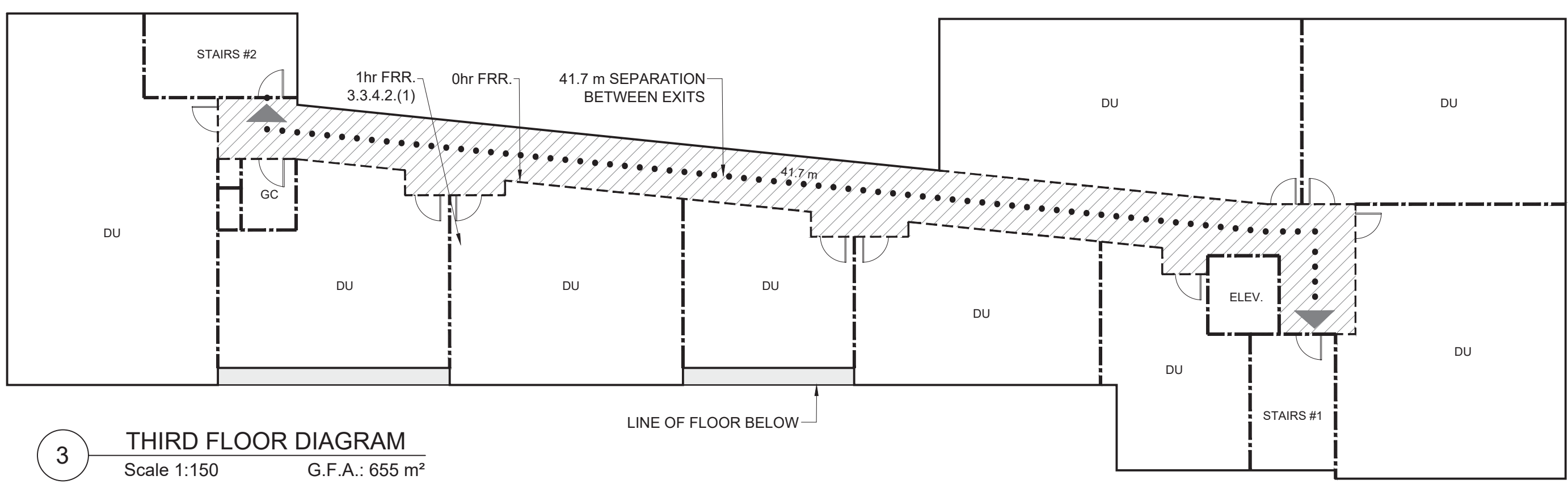
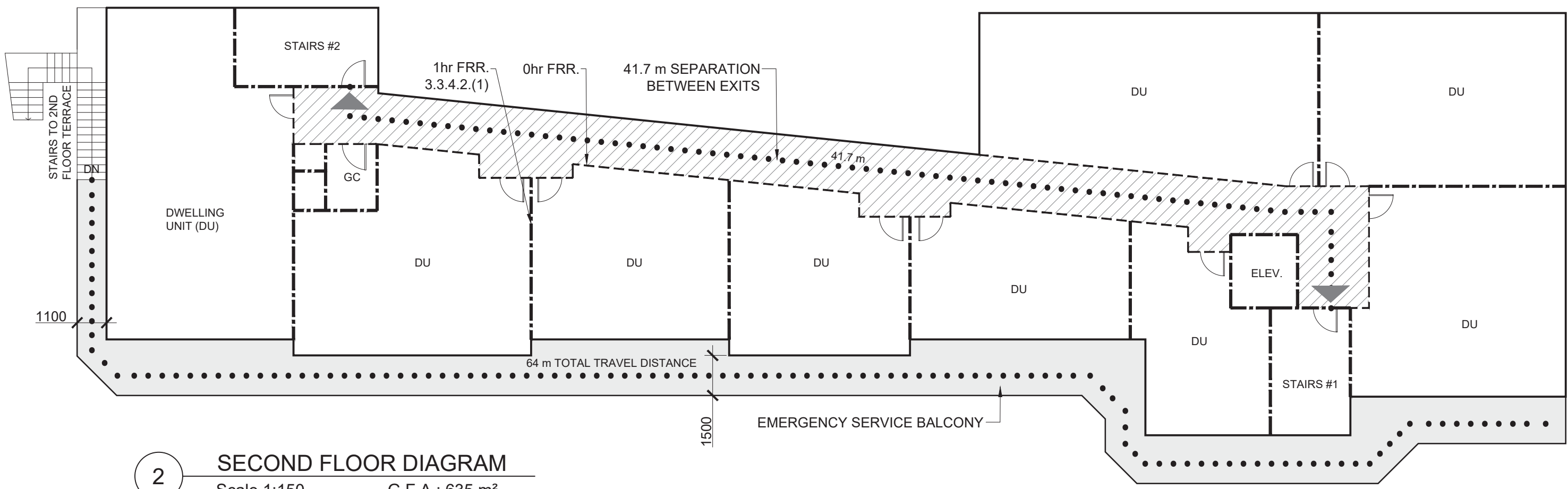
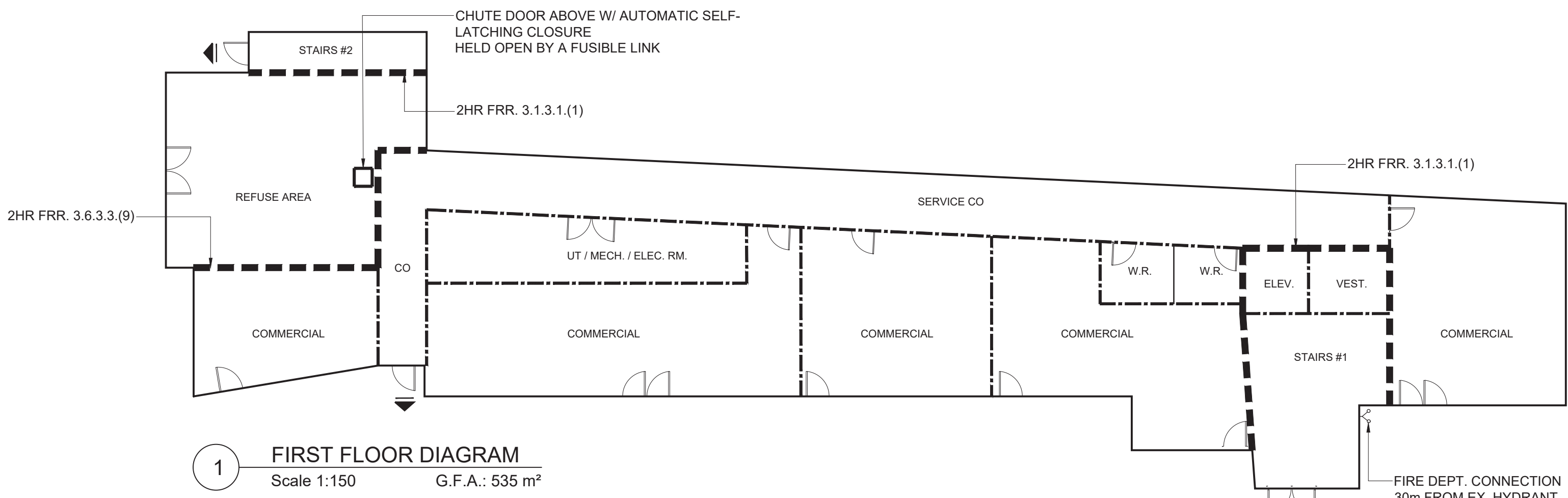
I CERTIFY THAT:
 1.) THIS SURVEY AND PLAN ARE CORRECT
 2.) THE SURVEY WAS COMPLETED ON THE 13th DAY OF NOV. 2017

DATE: _____ DAVID J. PENCE B.Sc.
 ONTARIO LAND SURVEYOR

P1 DENOTES REGISTERED PLAN 33A
 P2 DENOTES DEPOSITED PLAN 76-3453

- LEGEND**
- DENOTES BELL PILE
 - DENOTES FIRE HYDRANT
 - DENOTES WATER KEY
 - DENOTES UTILITY POLE
 - DENOTES MANHOLE
 - DENOTES OVERHEAD UTILITY WIRES

CULLEN & ASSOCIATES		
PROFESSIONAL LAND SURVEYOR		
59 THIRD STREET, ORANGEVILLE, ONT. L9W 2B3 PHONE (519) 941-3881, FAX (705) 434-0156 email: dcullen@caltmet.ca		
EXAMINED BY DJP OLS	DRAWN BY CALCD BY	PROJECT 17-186



Name of Project: Emma Grand
Location of Project: 100, 108, & 114 Emma Street South, Grand Valley, Ontario

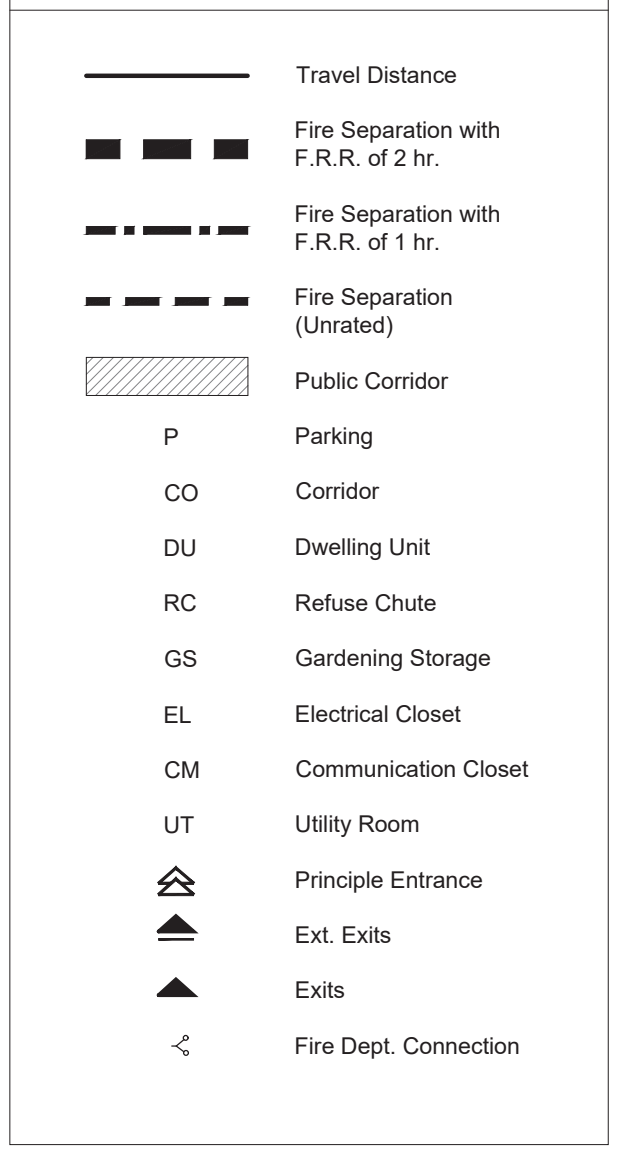
ITEM	2012 ONTARIO BUILDING CODE DATA MATRIX PARTS 3	O.B.C. REFERENCE DIV. B UNLESS NOTED WITH [A] OR [C]																																													
1.	PROJECT DESCRIPTION: <input checked="" type="checkbox"/> New	1.1.2. [A]																																													
2.	MAJOR OCCUPANCY(S): Residential Occupancies Group C - APARTMENTS Mercantile Occupancies Group E - COMMERCIALS	3.1.2.1. (1)																																													
3.	BUILDING AREA (m ²): Existing: N/A New: 650 m ² Total: 650 m ²	1.4.1.2. [A]																																													
4.	GROSS AREA (m ²): Existing: N/A New: 1,834 m ² Total: 1,834 m ²	1.4.1.2. [A]																																													
5.	NUMBER OF STOREYS: Above grade: 3 Below grade: NONE	1.4.1.2. [A] & 3.2.1.1 (1)																																													
6.	NUMBER OF STREETS/FIRE FIGHTER ACCESS: 1	3.2.2.10. & 3.2.5.4.																																													
7.	BUILDING CLASSIFICATION: Group C - APARTMENTS Group E - COMMERCIALS	3.1.2.1.																																													
8.	SPRINKLER SYSTEM: <input checked="" type="checkbox"/> Entire Building	3.2.2.48., 3.2.2.60. & 3.2.2.17.																																													
9.	STANDPIPE REQUIRED: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.9.1.																																													
10.	FIRE ALARM REQUIRED: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.4.1.																																													
11.	WATER SERVICE/SUPPLY IS ADEQUATE: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.7.																																													
12.	HIGH BUILDING: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6.																																													
13.	CONSTRUCTION RESTRICTIONS: <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both PROPOSED CONSTRUCTION: <input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Both	3.2.2.48. & 3.2.2.60.																																													
14.	MEZZANINE(S) AREA (m ²): NONE	3.2.1.1.																																													
15.	OCCUPANT LOAD BASED ON: <input type="checkbox"/> m ² /person <input checked="" type="checkbox"/> design of building 1st Floor: Occupancy E, Load 12 persons 2nd Floor: Occupancy C, Load 22 persons 3rd Floor: Occupancy C, Load 24 persons EXIT WIDTH FOR CORRIDORS AND STAIRS: 1100 mm (Minimum) PROVIDED: • Stairs: 1100 mm • Corridors: 1600 mm	3.1.17.1. 3.4.3.1.(1); 3.4.3.2.(7)																																													
16.	BARRIER-FREE DESIGN: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (explain) • Common areas and corridors • Powered doors at main entrance • 15% of units = 18 Units X 15% = 2.7 Units; 3 Barrier Free Units provided • 2 B.F. parking stalls provided	3.8.2.1. 3.8.2.1.(5)																																													
17.	HAZARDOUS SUBSTANCES: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2. & 3.3.1.19.																																													
18.	FIRE SEPARATION - HORIZONTAL: LISTED DESIGN OR DESCRIPTION (SG-2) FLOORS: -1st Floor (0 HR), -2nd Floor (2 HR), -3rd Floor (1 HR), -Mech PH (1 HR), ROOF (0 HR) FIRE SEPARATION - SUPPORTING MEMBERS: LISTED DESIGN OR DESCRIPTION (SG-2) WALL: 1 HR	3.1.3.1., 3.2.2.60. & 3.2.2.48.																																													
19.	SPATIAL SEPARATION: EXTERIOR WALL CONSTRUCTION	3.2.3.																																													
<table border="1"> <thead> <tr> <th>WALL</th> <th>AREA OF EXP. BLDG FACE</th> <th>LIMITING DISTANCE</th> <th>L/H OR H/L</th> <th>PERMITTED MAX % OF OPENINGS</th> <th>PROVIDED % OF OPENINGS</th> <th>F.R.R.</th> <th>LISTED DESIGN OR DESCRIPTION</th> <th>CONSTRUCTION OF EXP. BLDG FACE</th> </tr> </thead> <tbody> <tr> <td>NORTH</td> <td>142.5 m²</td> <td>1.51 m</td> <td>N/A</td> <td>8%</td> <td>8% (11.4 m²)</td> <td></td> <td></td> <td>1 Hr.</td> </tr> <tr> <td>SOUTH</td> <td>239.0 m²</td> <td>2.47 m</td> <td>N/A</td> <td>8%</td> <td>7% (16.2 m²)</td> <td></td> <td></td> <td>1 Hr.</td> </tr> <tr> <td>EAST</td> <td>634.0 m²</td> <td>18.20 m</td> <td>N/A</td> <td>100%</td> <td>36% (227.4 m²)</td> <td></td> <td></td> <td>45 min.</td> </tr> <tr> <td>WEST</td> <td>451.0 m²</td> <td>13.35 m</td> <td>N/A</td> <td>80%</td> <td>23% (100.3 m²)</td> <td></td> <td></td> <td>45 min.</td> </tr> </tbody> </table>		WALL	AREA OF EXP. BLDG FACE	LIMITING DISTANCE	L/H OR H/L	PERMITTED MAX % OF OPENINGS	PROVIDED % OF OPENINGS	F.R.R.	LISTED DESIGN OR DESCRIPTION	CONSTRUCTION OF EXP. BLDG FACE	NORTH	142.5 m ²	1.51 m	N/A	8%	8% (11.4 m ²)			1 Hr.	SOUTH	239.0 m ²	2.47 m	N/A	8%	7% (16.2 m ²)			1 Hr.	EAST	634.0 m ²	18.20 m	N/A	100%	36% (227.4 m ²)			45 min.	WEST	451.0 m ²	13.35 m	N/A	80%	23% (100.3 m ²)			45 min.	
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4 ONTARIO BUILDING CODE DATA MATRIX

GENERAL NOTES:

- Travel Distance for residential corridors sprinklered is 45m. Refer to 3.4.2.5 (1) (c) O.B.C.
- Fire hose cabinet line to be enclosed in 1 hr FRR rated partition.

LEGEND:



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ARCHITECT:
LINE Architect Inc.

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GEOTECHNICAL ENGINEER:
Central Earth Engineering

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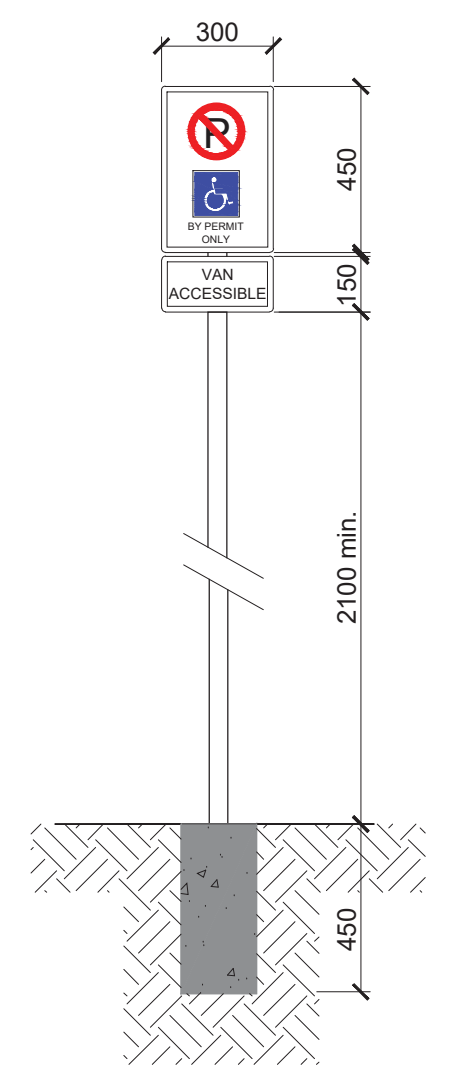
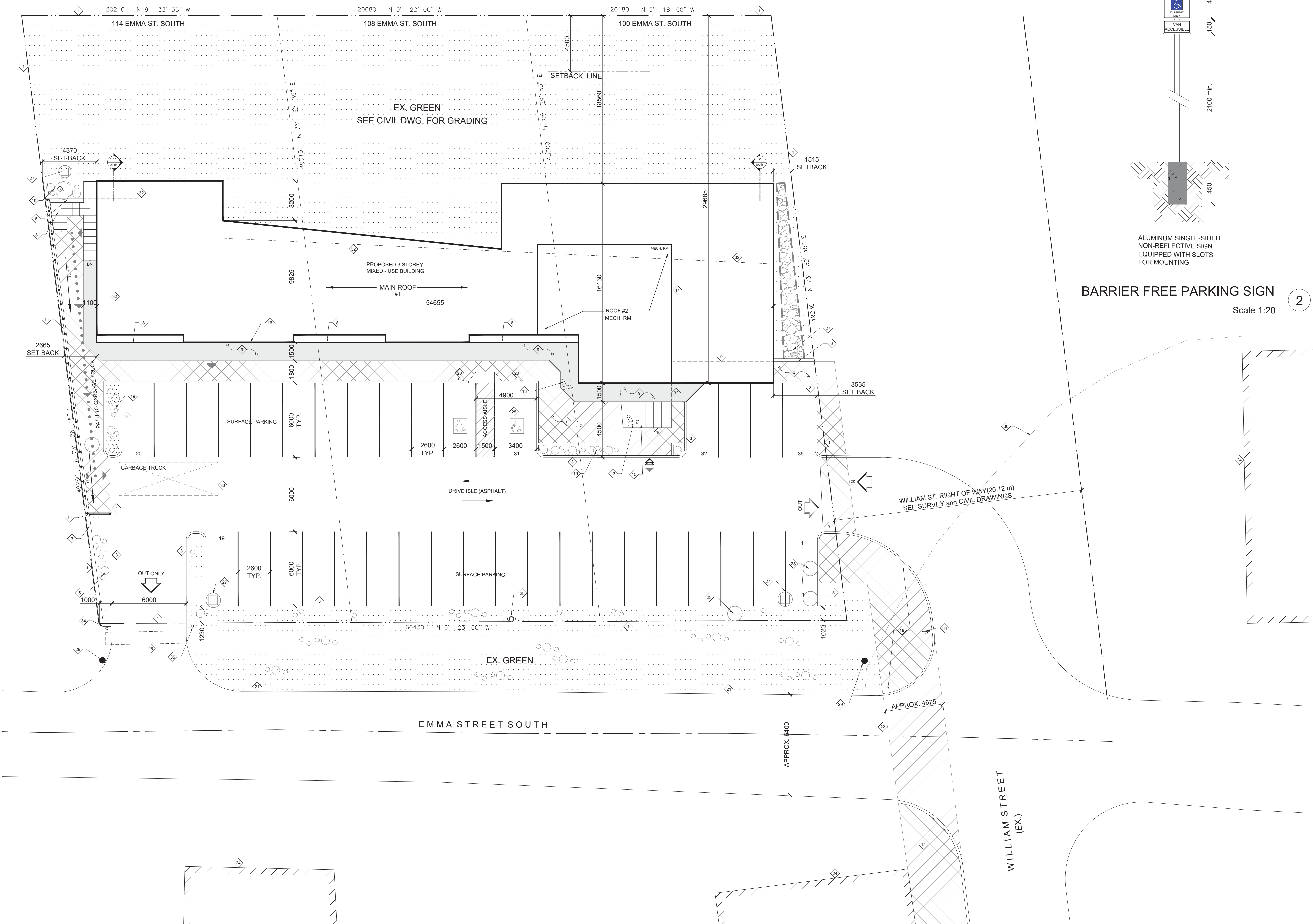
Emma Grand
Mixed-use Building
100, 108 & 114 Emma St. South
Grand Valley, Ontario



OBC MATRIX / DATA & COMPLIANCE

design by	L.A.
drawn by	A.N.
reviewed by	L.A.
proj. no.	1724
date	2019.06.08
drawing no.	revision no.
A002	R0

2ND SUBMISSION



BARRIER FREE PARKING SIGN
Scale 1:20

1 PROPOSED SITE/ROOF PLAN
Scale 1:150 SITE AREA: 2,958 m² (31,839 sf)
STANDARD PARKING STALL (2600 x 6000): 33
H/C PARKING STALL (3400 x 6000): 1
H/C PARKING STALL (2600 x 6000): 1
TOTAL PARKING STALLS: 35

GENERAL NOTES:

- REFER TO SURVEY BY CULLEN & ASSOCIATES FOR SITE DIMENSIONS.
- 3 SITES COMBINED, LOT 26, 27 AND 28.
- SEE CIVIL DWGS FOR SITE DRAINAGE AND GRADING.
- THIS DRAWING IS AN APPROXIMATE ILLUSTRATION. SITE VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION.

- DIAMOND NOTE**
- PROPERTY LINE
 - PAVED WALK
 - CONCRETE CURB
 - CONCRETE CURB (FLUSHED)
 - NEW LANDSCAPE
 - NEW RETAINING WALL
 - PAVED LITTLE SQUARE
 - 3RD FLOOR TERRACES
 - 2ND FLOOR TERRACES / ACCESSIBLE BY FIRE FIGHTERS LADDERS
 - LINE OF CANOPY
 - NEW METAL FENCE
 - FUTURE SIDEWALK
 - CANOPY POSTS
 - OUTLINE OF MECH. RM.
 - LINE OF 1ST FLOOR BELOW
 - LINE OF 2ND FLOOR BELOW
 - LINE OF 3RD FLOOR BELOW
 - NEW SIDEWALK
 - NEW PLANTER
 - BARRIER FREE PARKING SIGN. ELEVATIONS SEE 2/A101
 - EX. EDGE OF GRAVEL EMMA ST. SOUTH
 - PEDESTRIAN CROSSING
 - CATCH BASIN (SEE CIVIL DWG)
 - EX. BUILDING (APPROX. LOCATION)
 - BARRIER FREE PARKING. COMPLIES WITH ON. REG. 191.11.80.32 TO 191.11.80.39
 - PROPOSED CULVERT (SEE CIVIL DWG)
 - PROPOSED CATCH BASIN MANHOLE (APPROX. LOCATION) (SEE CIVIL DWG)
 - EX. FIRE HYDRANT
 - EX. HYDRO POST
 - EX. EDGE OF ASPHALT
 - NEW 1100mm WIDE EXTERIOR CONC. STEPS. W/ 184mm RISER & 280 TREAD & 900mm HIGH RAILING
 - LINE OF BUILDING BEYOND
 - FIRE DEPT. CONNECTION (30m AWAY FROM FIRE HYDRANT)
 - 600x600mm EXIT STOP SIGN
 - NO ENTRY SIGN
 - FRONT LOAD GARBAGE PICK UP TRUCK (2692x8000mm)

- LEGENDS:**
- PROPERTY LINE
 - NEW FENCE
 - PAVED WALK
 - GRASS LANDSCAPE
 - CANOPY
 - PROPOSED BUILDING ENTRANCE
 - PROPOSED BUILDING EXIT

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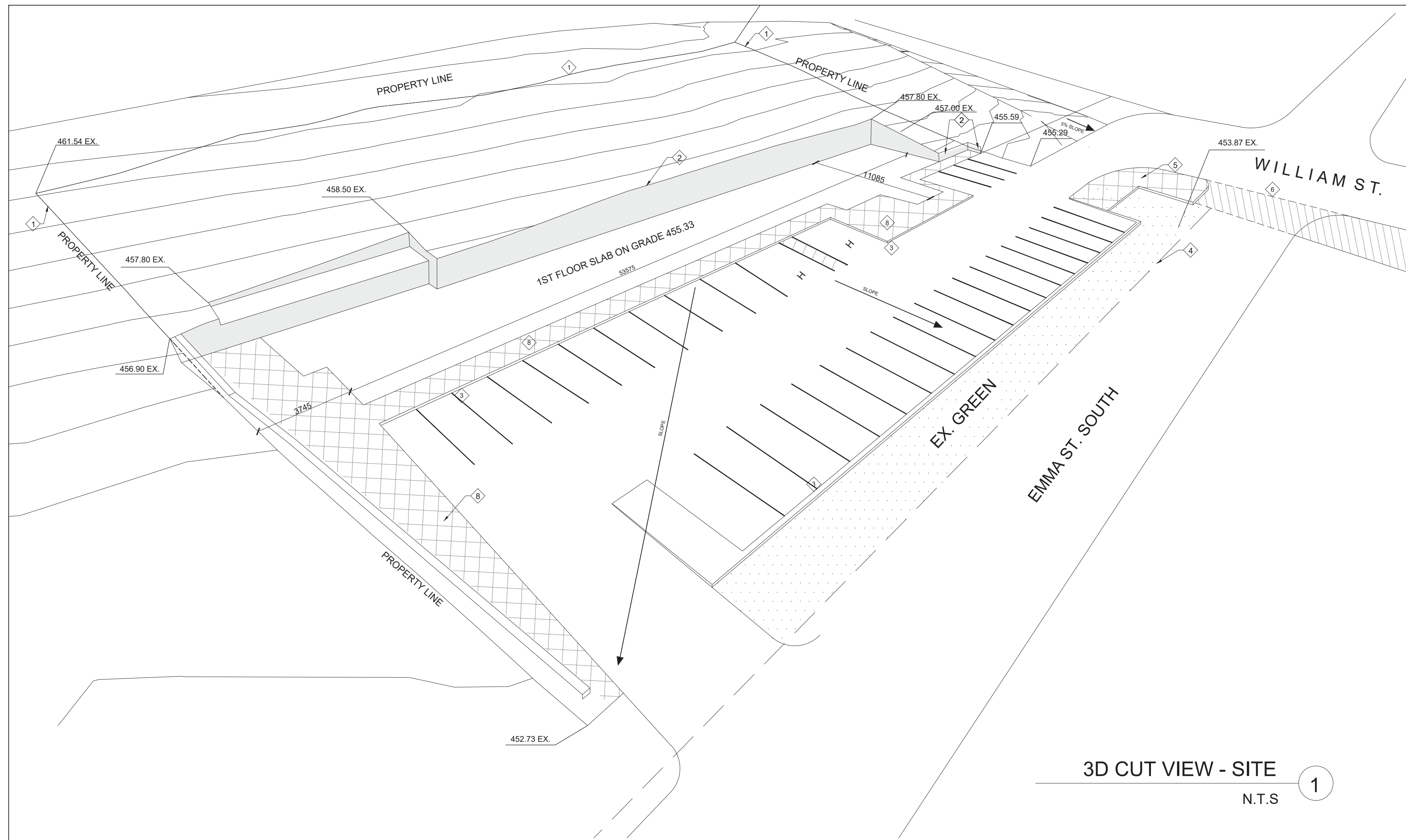
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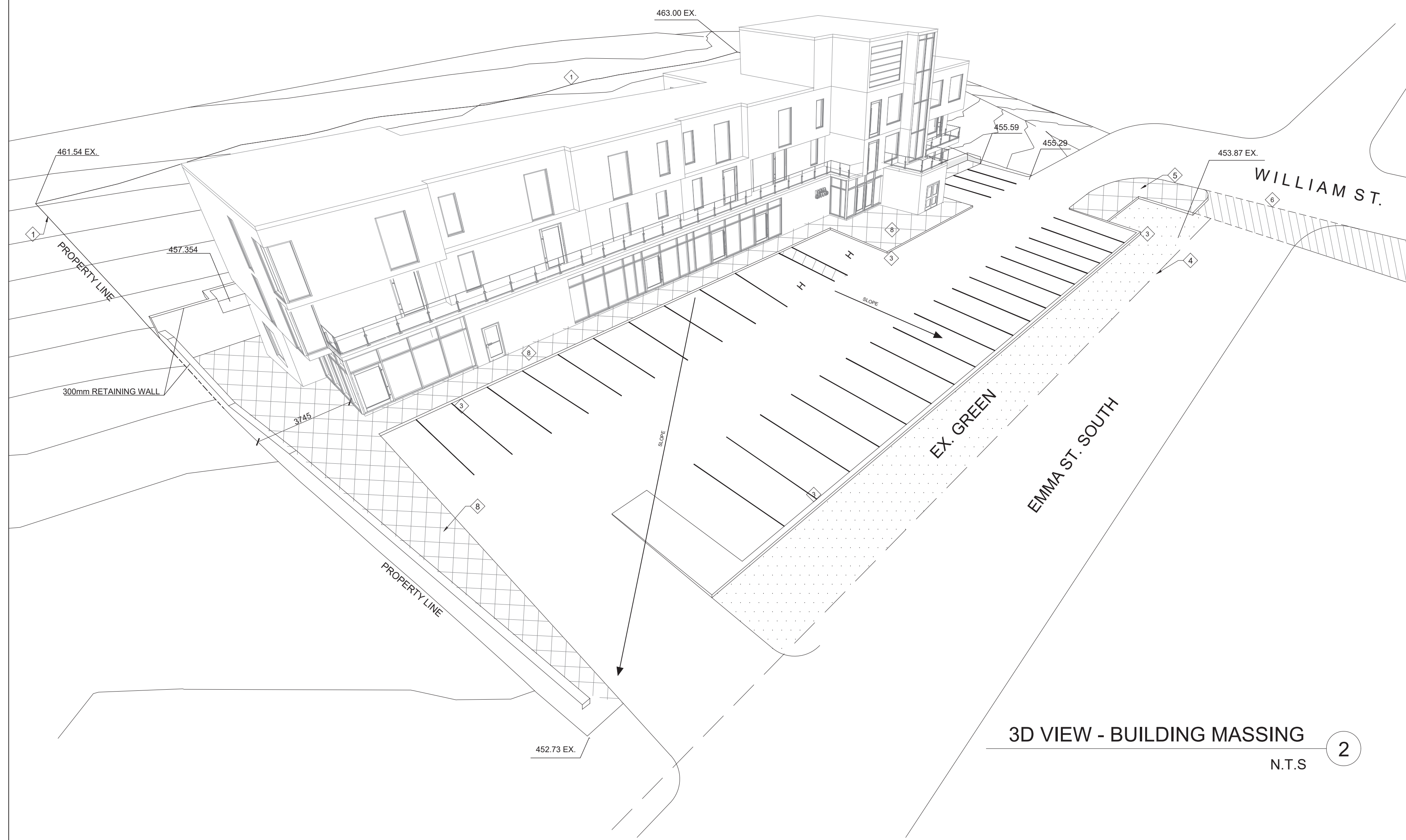
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Tel: 416.805.4468
www.LINEarchitect.com

drawing title
SITE / ROOF PLAN

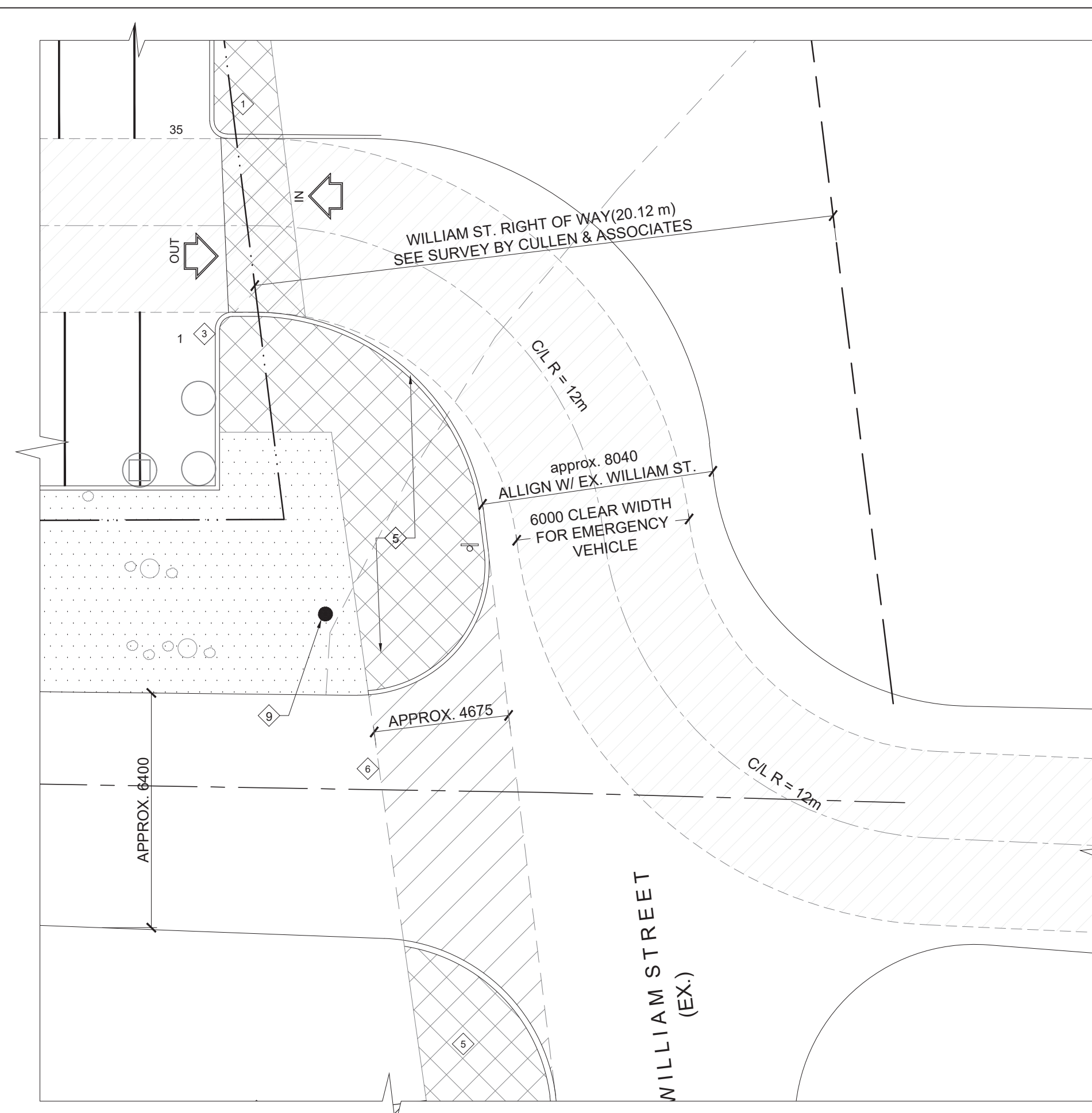
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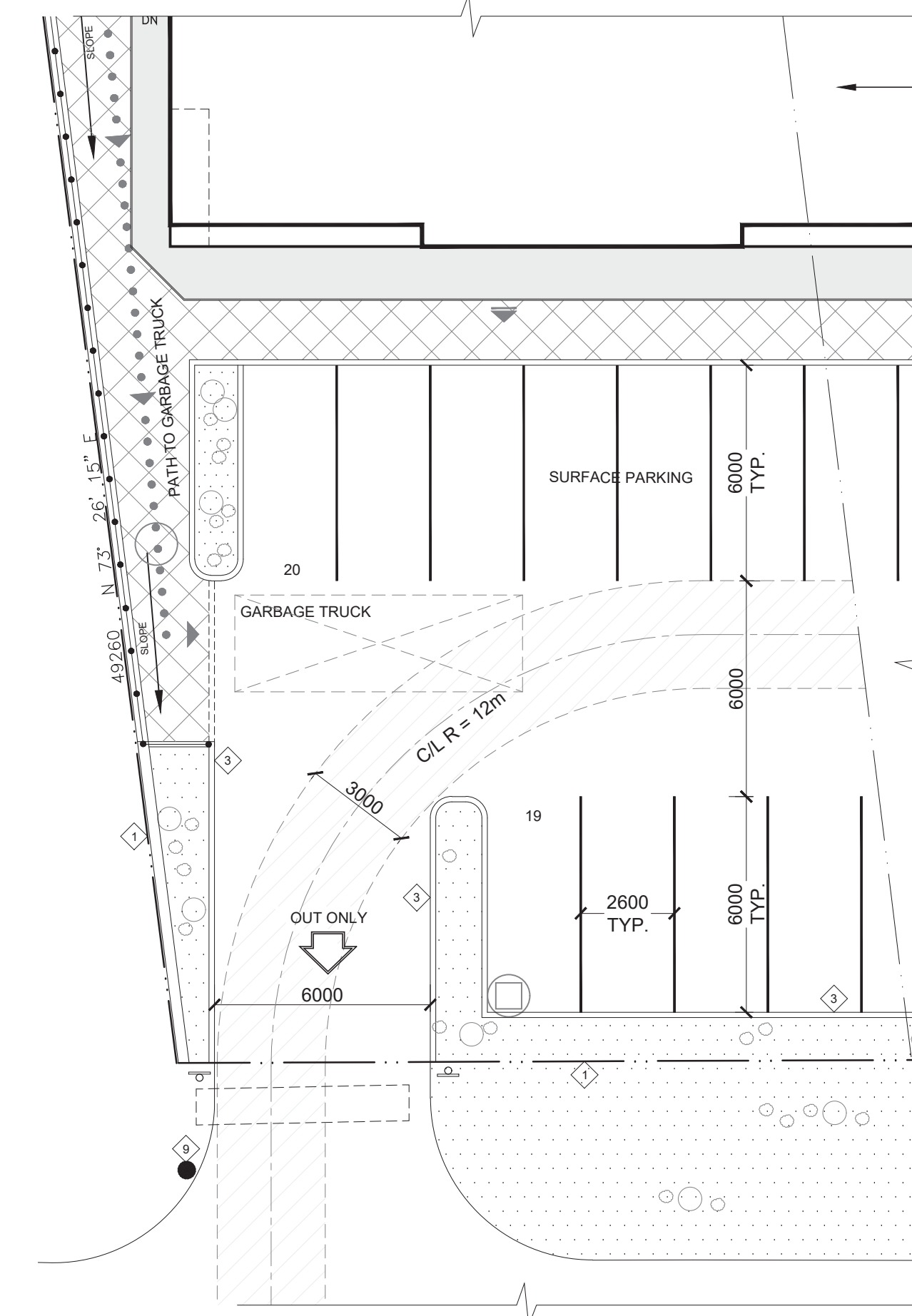
3D CUT VIEW - SITE
N.T.S. ①



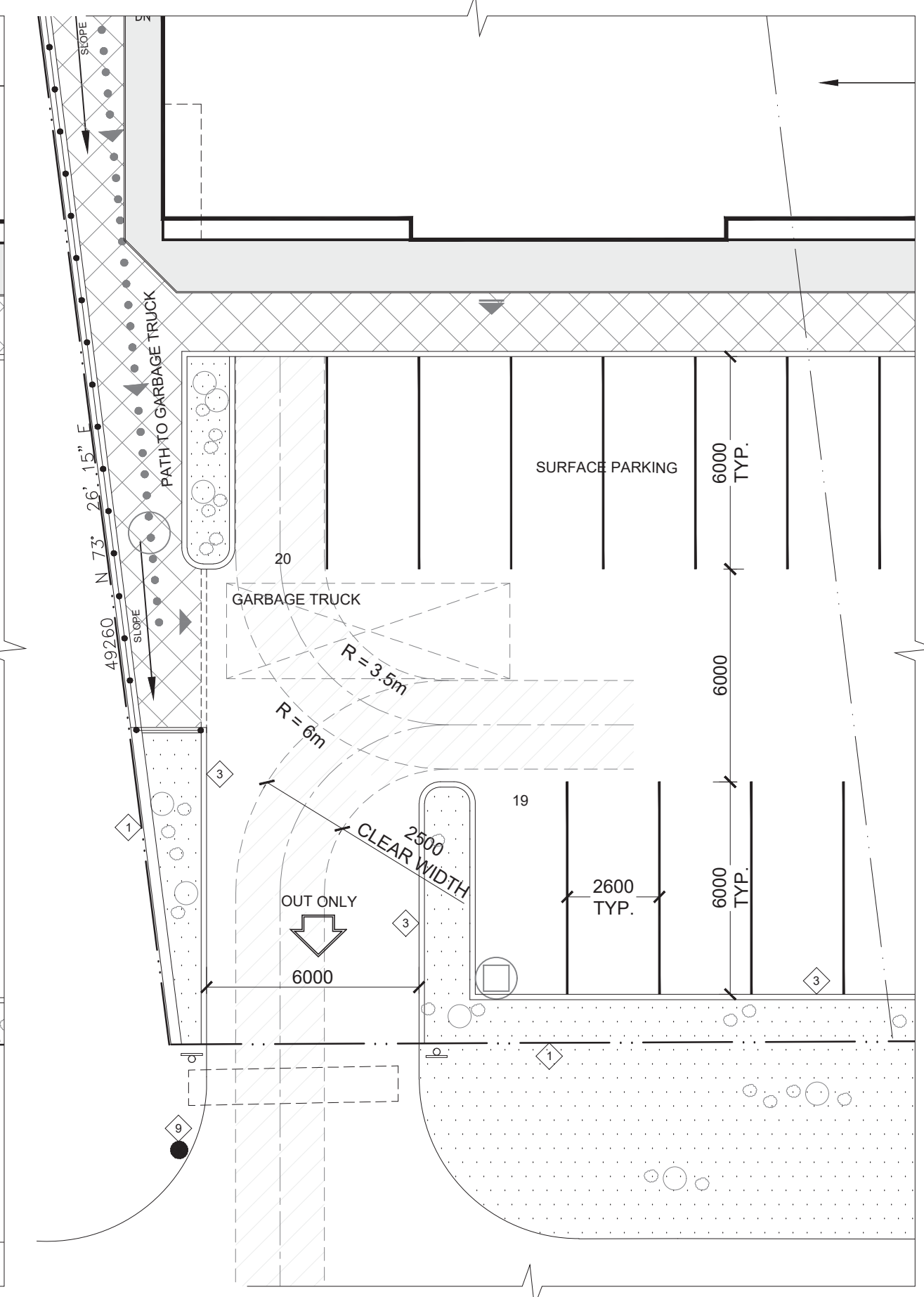
3D VIEW - BUILDING MASSING
N.T.S. ②



③ SITE INTERSECTION & ACCESS ROUTE DIAGRAM
Scale 1:150 @MAIN ENTRANCE



④ EMERGENCY VEHICLE EXIT DIAGRAM
Scale 1:150 @EAST SIDE EXIT



⑤ PARKING - VEHICLE EXIT DIAGRAM
Scale 1:150 @END STALL

- GENERAL NOTES:**
- SEE A101 FOR FULL SITE PLAN
 - SEE SURVEY (BY CULLEN & ASSOCIATES) FOR SITE DIMENSIONS.
- SHEET NOTES:**
- PROPERTY LINE (SEE A101)
 - NEW RETAINING WALL
 - CONC. CURB
 - LINE OF EX. DITCH
 - NEW SIDEWALK
 - NEW PEDESTRIAN CROSSING
 - NEW PLANTER
 - PEDESTRIAN WALK
 - EX. HYDRO POST
 - NEW EX. CONC. STEPS

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Central Earth Engineering

NO	DATE	NOTES
1	2019.09.20	Issued to Grand Valley for approval

client
Golden Canadian Homes Inc.
Grand Valley, On.

project
Emma Grand
Mixed-use Building
100, 108 & 114 Emma St. South
Grand Valley, Ontario

ONTARIO ASSOCIATION OF ARCHITECTS

LOGHMAN AZAR LICENCE 4314

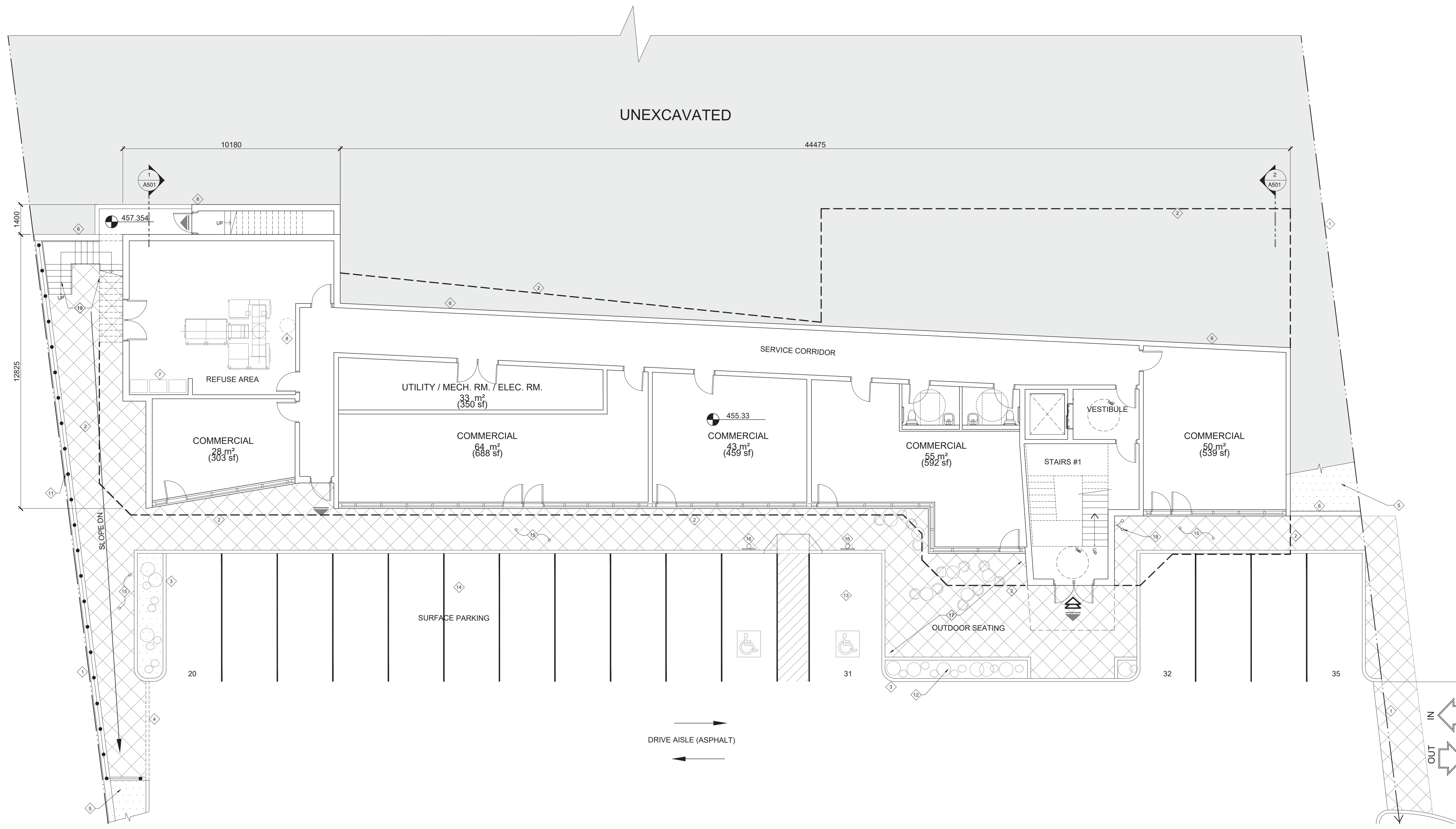
L.A.

LINE Architect

1491 Yonge St. Suite 402
Toronto, Ontario M4T 1Z4
Tel: 416.805.4488
www.LINEarchitect.com

drawing title
SITE 3D & DIAGRAM

design by	L.A.
drawn by	A.N.
reviewed by	L.A.
proj. no.	1724
date	2019.06.05
drawing no.	revision no.



- GENERAL NOTES:**
- SEE A101 FOR SITE PLAN
 - THIS DRAWING IS AN APPROXIMATE ILLUSTRATION. SITE VERIFY ALL DIMENSION BEFORE CONSTRUCTION
 - FURNITURE ARE SHOWN FOR REFERENCES ONLY
- DIAMOND NOTES:**
- PROPERTY LINE
 - LINE OF BUILDING ABOVE
 - CONCRETE CURB
 - CONCRETE CURB (FLUSHED)
 - GRASS LANDSCAPE
 - NEW RETAINING WALL
 - MOVEABLE GARBAGE BINS
 - REFUSE CHUTE ABOVE
 - GARBAGE TRISORTER
 - LINE OF CANOPY ABOVE
 - NEW METAL FENCE
 - NEW PLANTER
 - STANDARD HANDICAP PARKING 3400x6000
 - STANDARD REGULAR PARKING 2600x6000
 - PAVED WALK
 - BARRIER FREE PARKING SIGN. SEE 2/A101
 - PAVED LITTLE SQUARE
 - FIRE DEPARTMENT CONNECTION
 - NEW EXTERIOR CONC. STEPS
 - NEW RAMP
- LEGENDS:**
- PROPERTY LINE
 - NEW FENCE
 - PAVED WALK
 - GRASS LANDSCAPE
 - UNEXCAVATED
 - PRINCIPLE ENTRANCE
 - EXITS
 - PROPOSED FIRE DEPT. CONNECTION

GENERAL NOTES:

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CONTRACTOR TO VERIFY ALL SITE CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION AND SHALL REPORT ANY DISCREPANCY TO THE ARCHITECT.

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CONSULTANTS
PROJECT CONSULTANTS NAMES WHEN LISTED ARE FOR DIRECTORY PURPOSES ONLY. THE CONSULTANT WITH SEAL AND SIGNATURE ON DRAWING IS RESPONSIBLE FOR CONTENTS AND DESIGN.

ARCHITECT:
LINE Architect Inc.

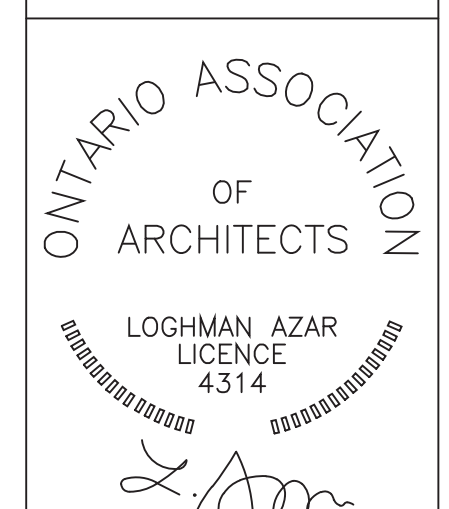
CIVIL ENGINEER:
C.F. Crozer & Associates Inc.

GEOTECHNICAL ENGINEER:
Central Earth Engineering

NO	DATE	NOTES
4	2019.09.20	Issued to Grand Valley for approval
3	2018.11.23	Issued to Town of Grand Valley for approval
2	2018.01.18	Issued to GRCA
1	2017.04.11	Preliminary review

client
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Grand Valley, On.

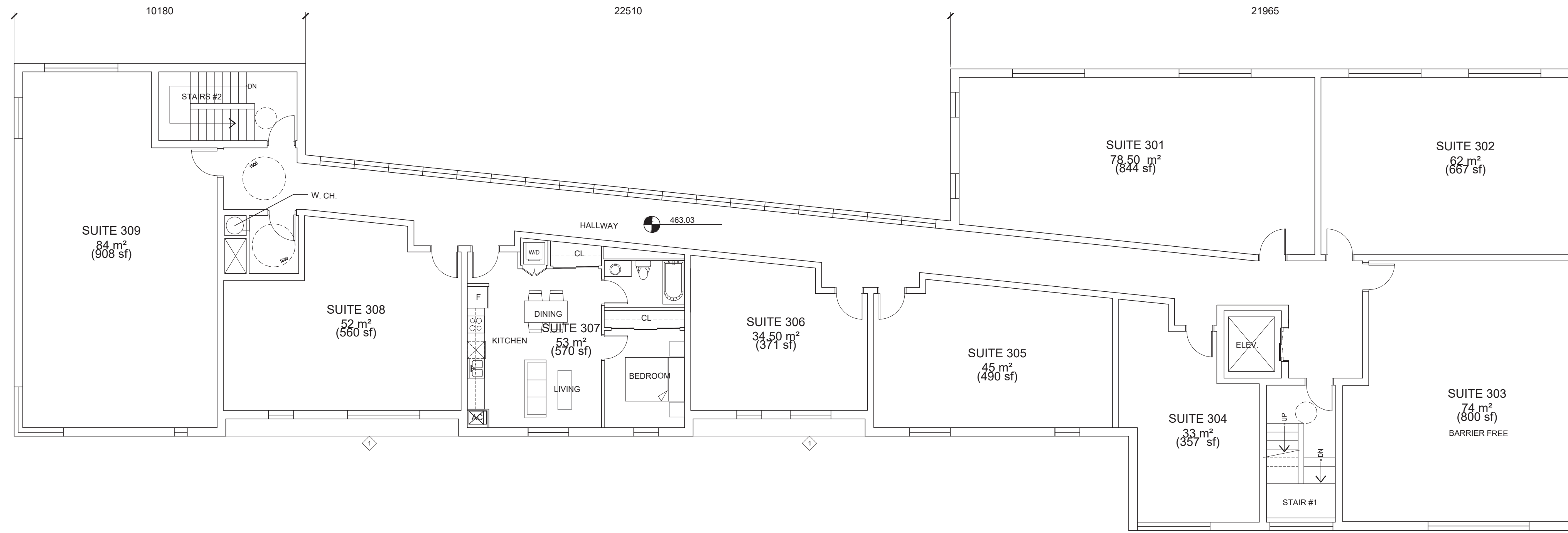
project
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Mixed-use Building
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drawing title	
FLOOR PLAN	
design by	L.A.
drawn by	A.N.
reviewed by	L.A.
proj. no.	1724
date	2019.05.23
drawing no.	revision no.
A301	R4

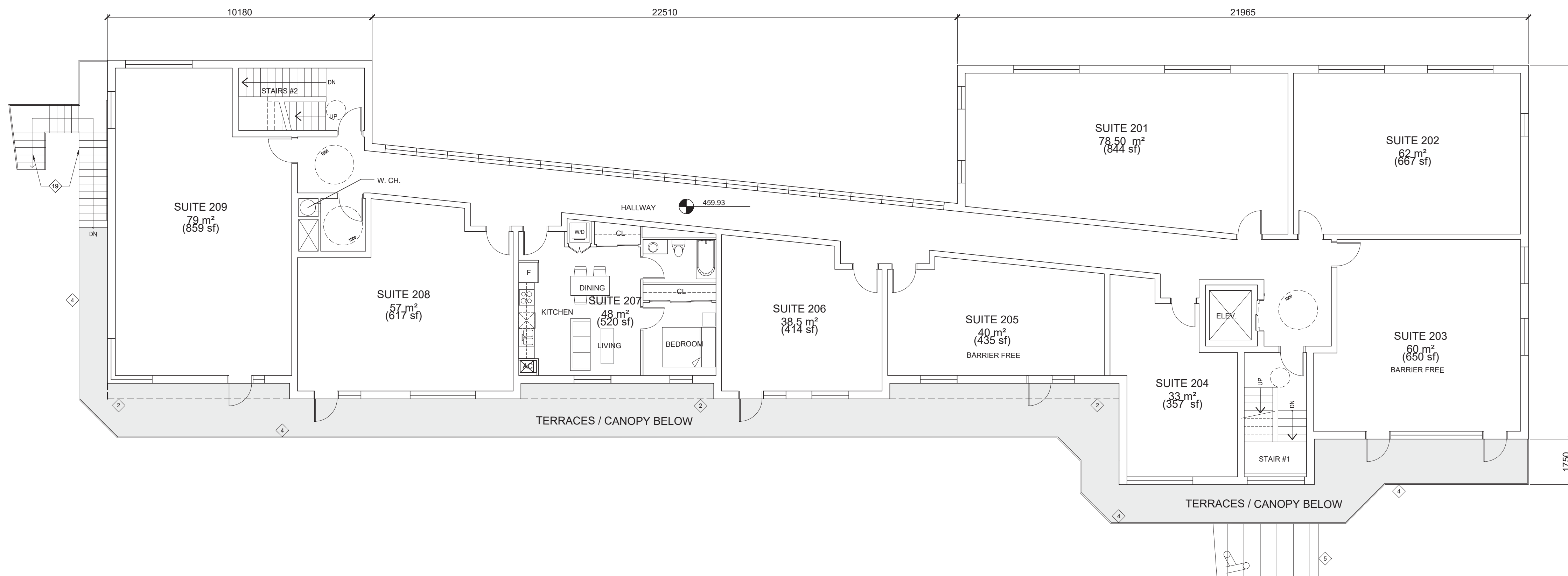
1ST FLOOR PLAN 1
Scale 1:100 G.F.A (approx.) : 535 m² (5,759 sf)
Commercial G.F.A: 240 m² (2,581 sf)

2ND SUBMISSION



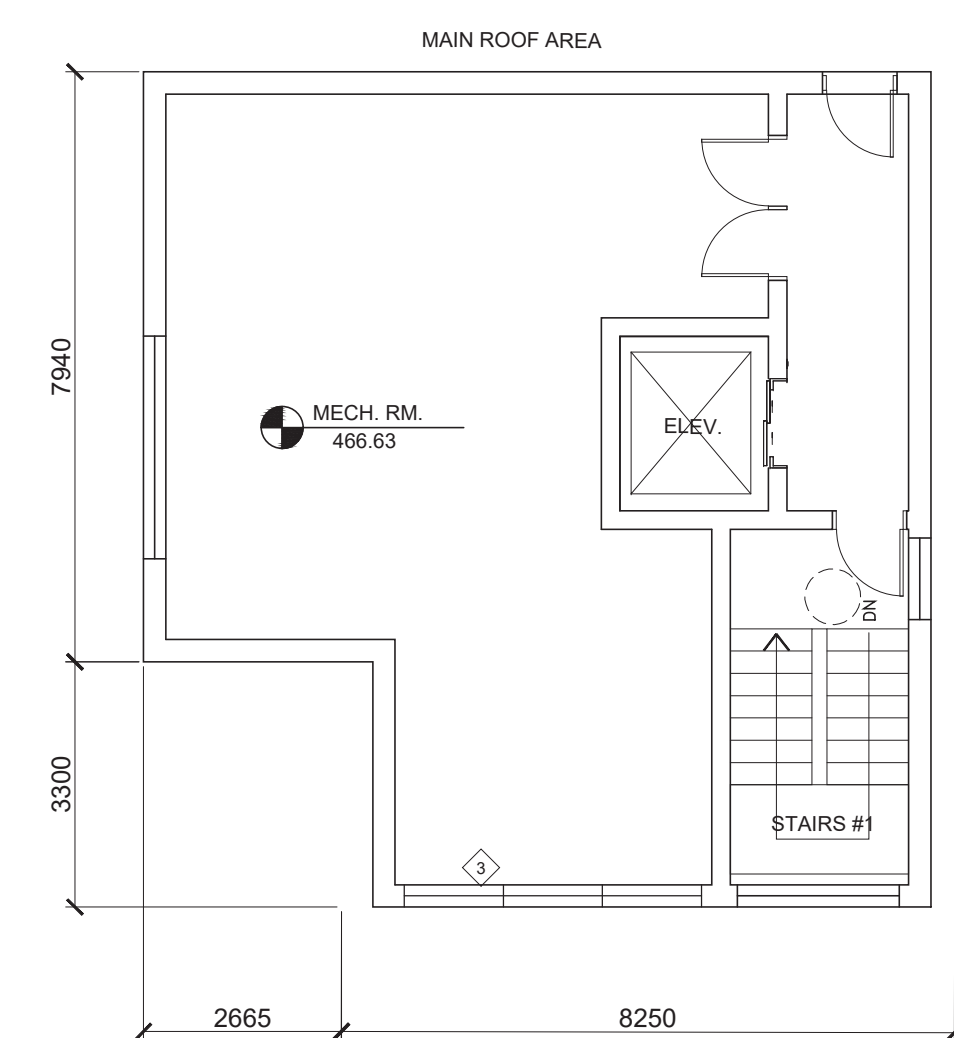
3RD FLOOR PLAN

Scale 1:100 G.F.A (approx.): 656 m² (7061 sf)



2ND FLOOR PLAN

Scale 1:100 G.F.A (approx.): 636 m² (6845 sf)



MECH. RM. PLAN

Scale 1:100 MECH. RM. AREA: 11 m² (121 sf)

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 - FURNITURE ARE SHOWN FOR REFERENCES ONLY.
 - APPROX. SUITE LAYOUT AS SHOWN WITH SAMPLE UNIT 207 & 307.
 - ALL UNITS ARE ACCESSIBLE BY WHEELCHAIR. 15% (3 UNITS) OF TOTAL UNITS ARE TO BE BARRIER FREE.

- DIAMOND NOTES:
- ROOF BELOW
 - THIRD FLOOR ABOVE
 - NEW LOUVER
 - NEW GUARDRAIL
 - CANOPY BELOW
 - NEW EXTERIOR CONC. STEPS. SEE A301

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GEOTECHNICAL ENGINEER:
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LICENCE 4314

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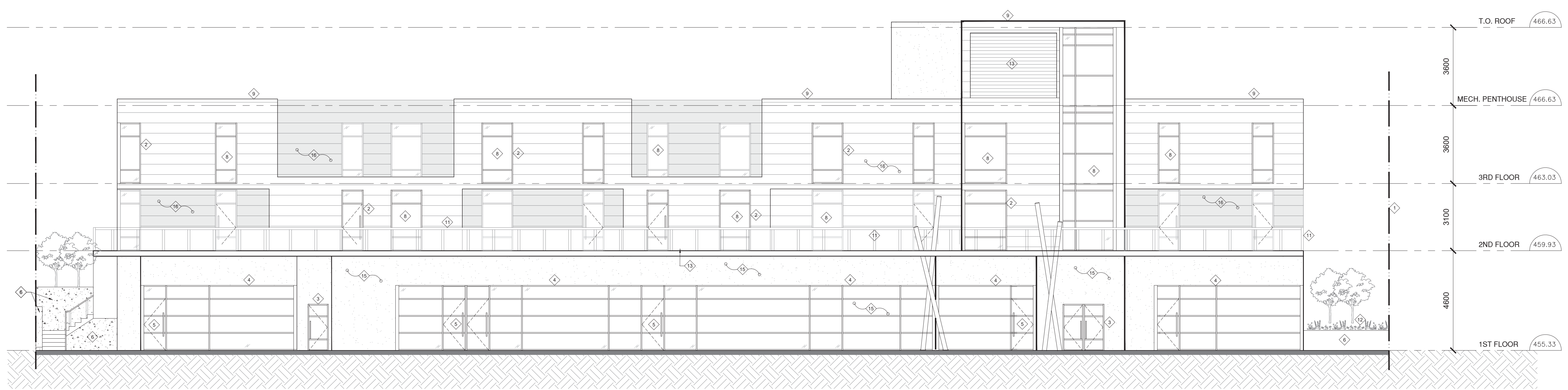
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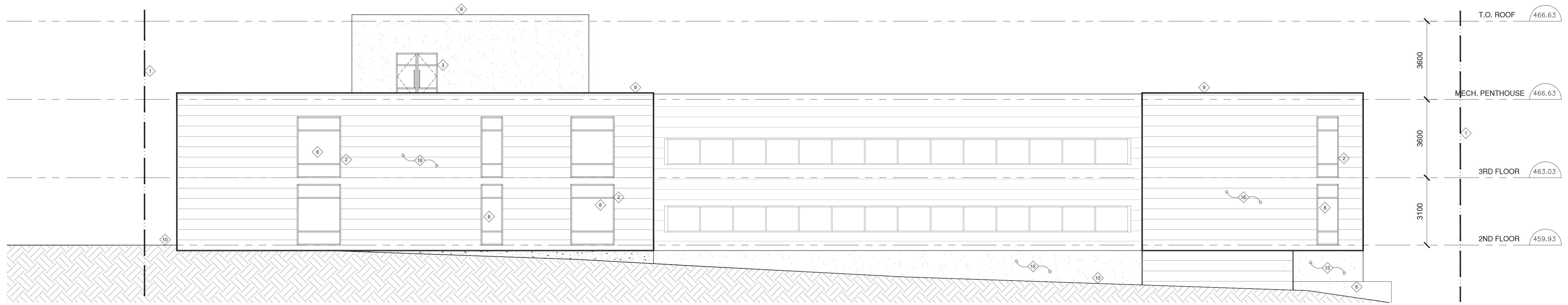
drawing title
2ND, 3RD & MECH. RM. PLANS

design by	L.A.
drawn by	A.N.
reviewed by	L.A.
proj. no.	1724
date	2019.05.23
drawing no.	A302
revision no.	R4

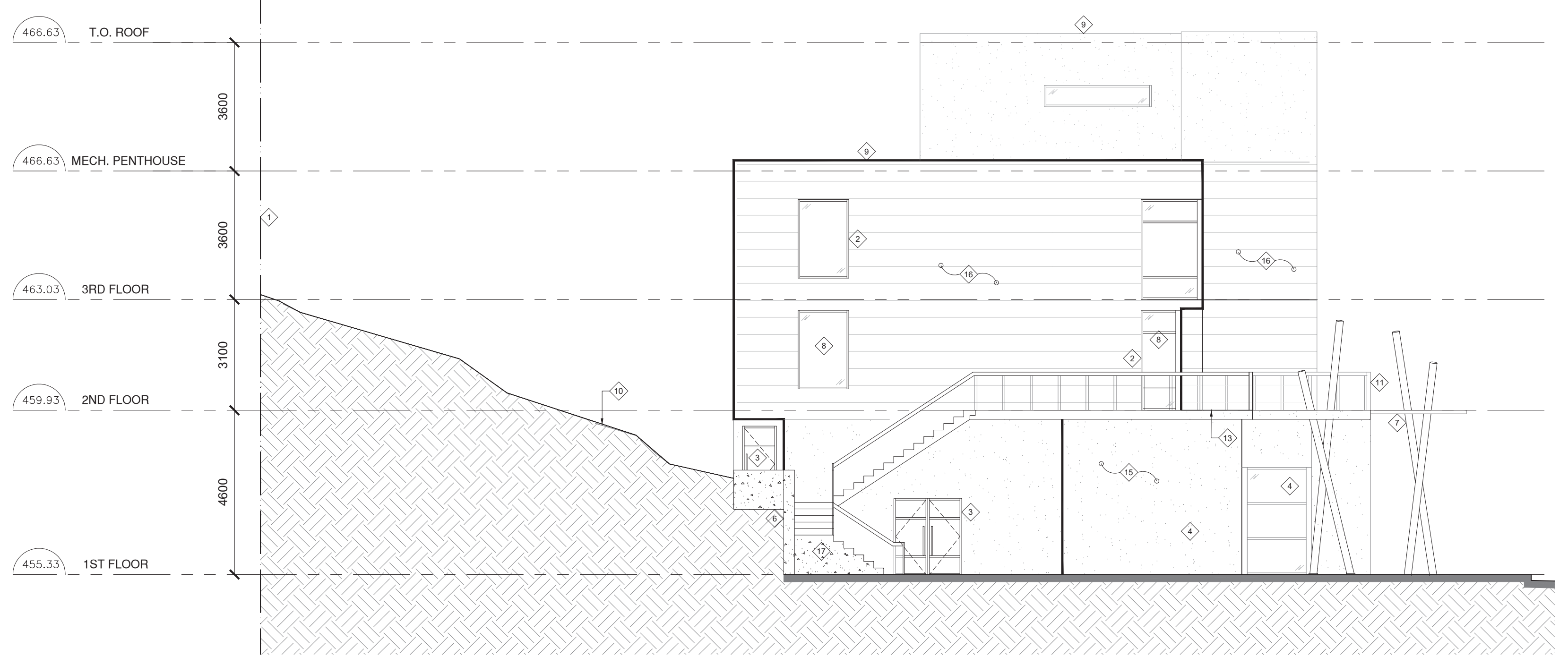
2ND SUBMISSION



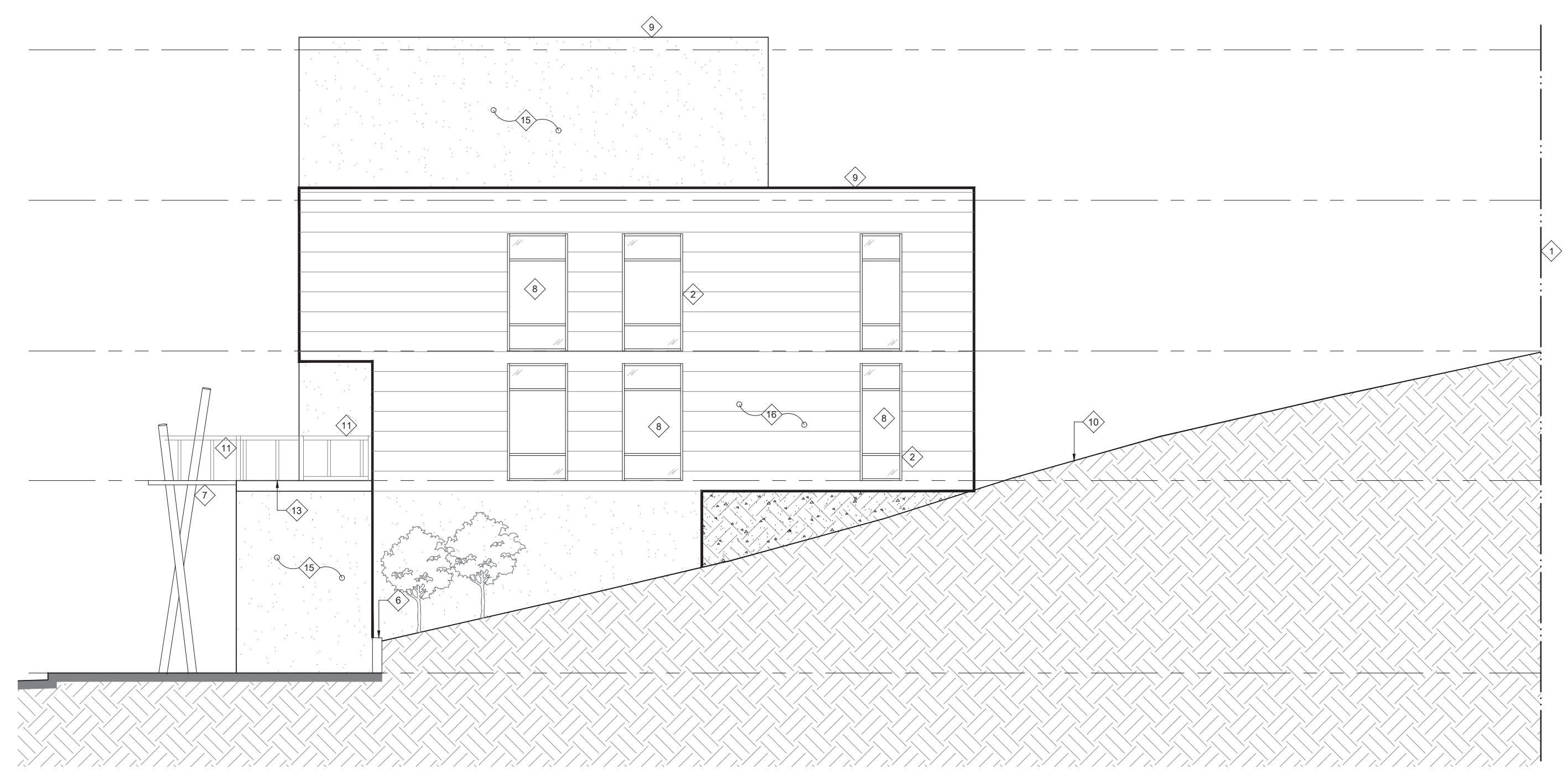
EAST BUILDING ELEVATION 1
Scale 1:100



WEST BUILDING ELEVATION 2
Scale 1:100



NORTH BUILDING ELEVATION 3
Scale 1:100



SOUTH BUILDING ELEVATION 4
Scale 1:100

- GENERAL NOTE:**
- REFER TO DWG A101 FOR SITE PLAN
- DIAMOND NOTES:**
- PROPERTY LINE
 - NEW ALUMINUM WINDOW FRAME
 - NEW DOOR WITH ALUMINUM FRAME
 - NEW CURTAIN WALL
 - NEW CURTAIN WALL DOOR
 - NEW RETAINING WALL
 - NEW CANOPY/SUN SHADE WITH POSTS
 - NEW GLAZING
 - NEW PARAPET
 - LINE OF EX. TERRAIN
 - NEW 1070mm HIGH ALUMINUM RAILING
 - NEW LANDSCAPING
 - NEW TERRACE
 - NEW LOUVER
 - NEW STUCCO CLADDING
 - NEW ARCH. PANEL CLADDING
 - NEW EXTERIOR CONC. STEPS

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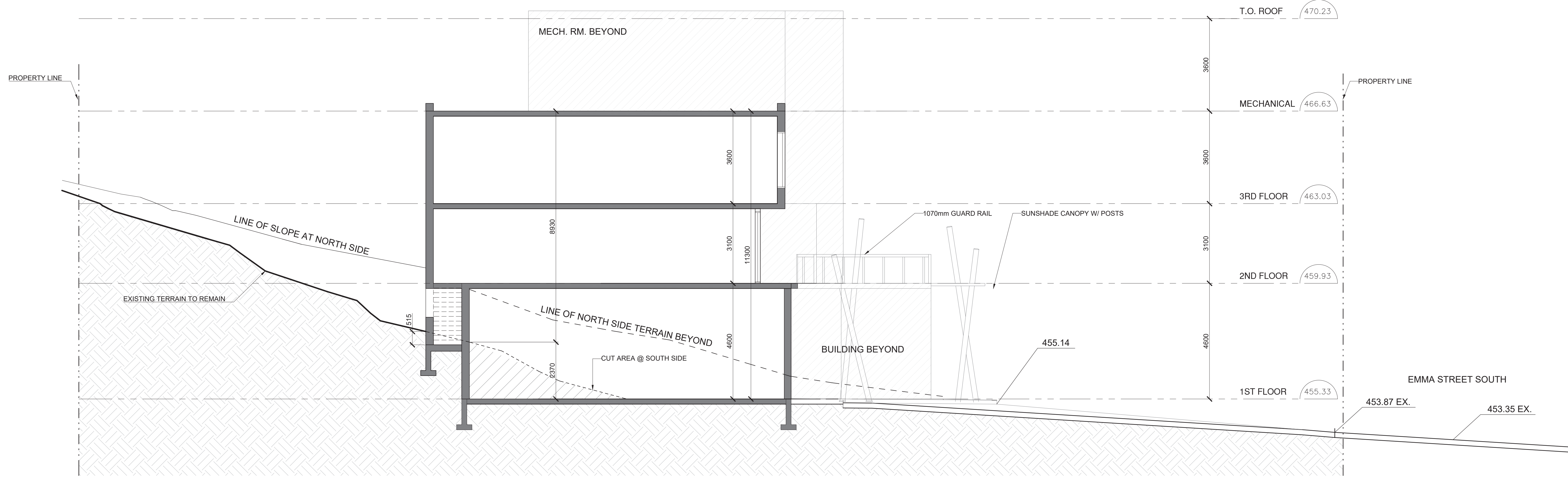


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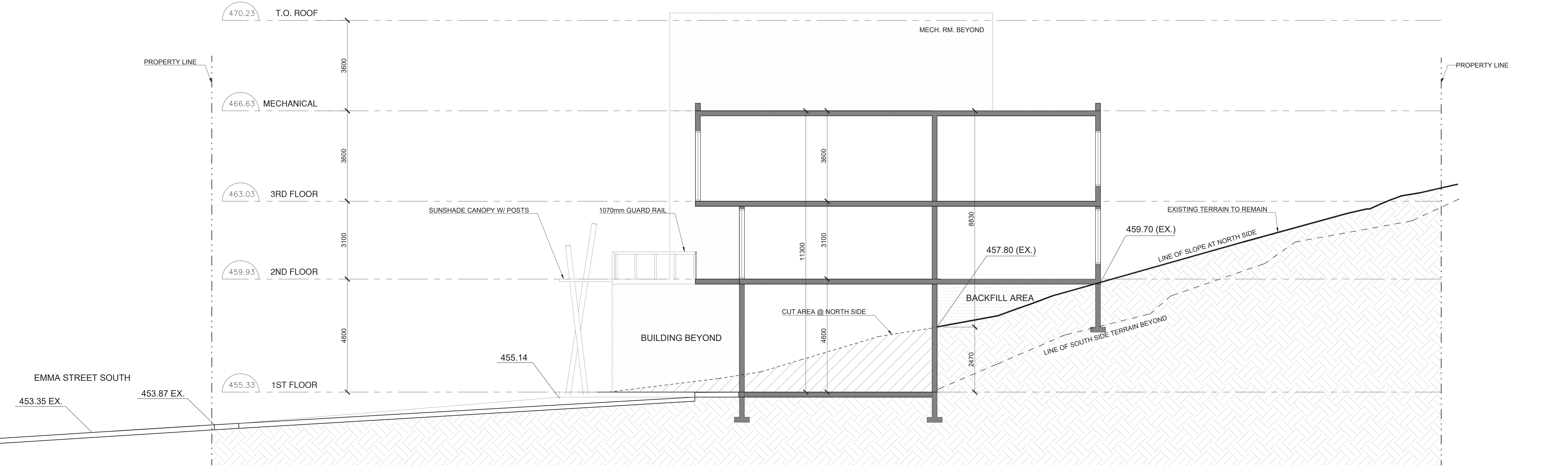
drawing title
BUILDING ELEVATIONS

design by	L.A.
drawn by	A.N.
reviewed by	L.A.
proj. no.	1724
date	2019.09.17
drawing no.	revision no.
A401	R4

2ND SUBMISSION



BUILDING SECTION 1
Scale 1:75



BUILDING SECTION 2
Scale 1:75

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BUILDING SECTIONS

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drawn by	A.N.
reviewed by	L.A.
proj. no.	1724
date	2019.05.23
drawing no.	revision no.