



**BURNSIDE**

## **2022 Asset Management Plan (Core Assets)**

### **Town of Grand Valley**

**R.J. Burnside & Associates Limited  
15 Townline  
Orangeville ON L9W 3R4 CANADA**

**August 5, 2022  
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## Record of Revisions

Revision	Date	Description
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## R.J. Burnside & Associates Limited

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August 5, 2022

## Executive Summary

This report contains the Asset Management Plan for the Town of Grand Valley (Town) core assets. The report has been organized as follows:

- Section 1: Introduction;
- Section 2: State of Local Infrastructure;
- Section 3: Expected Levels of Service;
- Section 4: Asset Management Strategy;
- Section 5: Financing Strategy; and,
- Section 6: Recommendations.

The “state of local infrastructure” section provides an overview of the core capital assets owned by the Town. This includes detailed information on asset inventory, including asset attributes, accounting valuations, replacement costs, useful life, age, and asset condition. This information provides the foundation for other sections of the asset management plan.

Based on data provided by the Town and discussions with Town Staff, it is believed that the Town’s core assets including Water, Wastewater, Storm Water, Roads, and Bridges have a Good weighted average condition (with the weighting based on asset replacement cost) as outlined in the following assets table. Please note that weighted average conditions do not fully reflect the many assets that need to have capital improvement investments but provide an overall high-level perspective of all the assets found in that asset grouping/network.

Please note that Water and Wastewater core assets which are funded by system rate payers have been separated from the other tax based core assets of Roads, Bridges and Storm Water. Each asset class has been subset for better understanding of the core asset classes. Of note is the Water Tower identified in poor condition which the Town has received funding to upgrade. The Town’s portion of costs have been outlined in the financial information.

Asset Type	Asset Sub-Type	Condition (Weighted Average)	Risk (Weighted Average)
Roads	Road Base	N/A	N/A
	Road Surface Asphalt	Very Good	Low
	Road Surface Gravel	N/A	N/A
	Bridges & Culverts	Good	Moderate
	Cross Road Culverts	Good	Moderate

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Asset Type	Asset Sub-Type	Condition (Weighted Average)	Risk (Weighted Average)
<b>Storm Water</b>	Storm Mains	Good	Low
	Catch Basins	Good	Moderate
	Storm Manholes	Good	Low
	Discharge Point	Good	Low
	Underground Enclosure	Average	Moderate
	Storm Ponds	Good	Low
<b>Water Facilities &amp; Components</b>	Water Tower	Poor	High
	Pumping Station - Cooper Street	Average	Moderate
	Pumping Station - Melody Lane	Average	Moderate
	Pumping Station - Well #5	Very Good	Low
<b>Equipment</b>	Equipment	Very Good	Moderate
<b>Water Wells</b>	Water Wells	Very Good	Moderate
<b>Water Hydrant</b>	Water Hydrant	Good	Moderate
<b>Water Mains</b>	Water Mains	Good	Moderate
<b>Water System Valve</b>	Water System Valve	Good	Moderate
<b>Wastewater Facilities &amp; Components</b>	WWTP Site Works & Other Assets	Very Good	Moderate
	Admin-Maintenance-UV	Good	Moderate
	Blower-Sludge Pumping	Good	Moderate
	Headworks	Good	Moderate
	Bio Solids Tank	Good	Moderate
	Surge Tank	Very Good	
	WWTP on site Pumping Station	Good	Moderate
	Emma Street Pumping Station	Very Good	Moderate
	Air Release Chamber	Very Good	Moderate
	Amaranth Street Pumping Station	Very Good	Moderate
<b>Gravity Main</b>	WW Gravity Main	Average	Low / Moderate

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Asset Type	Asset Sub-Type	Condition (Weighted Average)	Risk (Weighted Average)
<b>Pressure Main</b>	WW Pressure Main	Very Good	Moderate
<b>WW Manhole</b>	WW Manhole	Good	Low

Looking at a weighted average of remaining life as a percentage of useful life can provide a quick estimate of how quickly the Town may be looking to invest in either capital improvements or asset replacement. Both the water and wastewater assets indicate that they are relatively young in age and therefore have very good to good conditions. The tax supported core assets show a weighted average good condition but are in the mid-range of their useful life.

It is important to view these percentages not as absolutes but as triggers to seek more information about an asset type. For example, when looking at the Bridge & Culvert assets are identified with a weighted average of good condition. However, the weighted average remaining life of this important asset class is approximately 1/3 of the asset useful life indicating more substantial investments will need to be made in this asset class. In fact, the Town has been investing well in their bridges/culverts. The Town's investments are clearly shown from 2015 when the Town's average bridge condition index was 66.5 to 2021 average bridge condition index of 75.3.

"Expected levels of service" compares the current level of service provided by the Town, and the recommended levels of service that will help extend the life of the above-mentioned asset types as well as help accommodate for growth of the Town. The Town of Grand Valley takes great care in the service levels they offer their constituents and public. This report has made a few additional Levels of Service (LOS) recommendations that can potentially extend the life of the Town's core tangible capital assets and therefore reduce the total lifecycle costs of these assets.

The "asset management strategy" for core assets provides a long-term operating and capital forecast for these asset related capital costs, indicating the requirements for maintaining, rehabilitating, replacing/disposing, and expanding the Town's assets, while moving towards the specified expected levels of service identified above. The goal of the asset management strategy is to have the Town moving towards a more sustainable asset management position over the 10 year forecast period. We have also taken into consideration the potential risk of each asset by identifying the asset consequence of failure and probability of failure.

Asset risk was assessed based on the asset's age, condition, consequence of failure, and probability of failure. The following have been identified based on Town data as assets that need to be replaced or major improvement over the next few years:

## Roads

- Leeson Street from 175m south of Mill Street to Mill Street – asphalt resurfacing (recommended improvement in 2023, approximate cost \$28,560)
- West Alley from Mill Street to Amaranth Street – asphalt resurfacing (recommended improvement in 2023, approximate cost \$33,696)
- Bielby Street from Amaranth St. to Gier Street – asphalt resurfacing (recommended improvement in 2025, approximate cost \$18,480)
- Concession Road 8-9 from Sideroad 24-25 to Sideroad 27-28 – rehabilitation of asphalt surface and road base. Pulverization of surface asphalt and adding some gravel to provide more structure to the road base (recommended improvement in 2025, approximate cost surface \$252,167, and base \$201,433)
- Douglas Street from Leeson Street to Emma Street – asphalt resurfacing is a current need, however will wait for the design and installation of a wastewater connection of one final home at the centre of this road segment (recommended improvement in 2025, approximate cost road surface \$20,160)
- Emma Street from Amaranth Street to Douglas Street – asphalt resurfacing is a current need, however there is a storm water gravity main issue along this road segment that requires the gravity main to be replaced at a deeper depth to avoid potential winter freezing (recommended improvement in 2025, approximate cost \$36,960)
- Leeson Street from Amaranth Street to Douglas Street – asphalt resurfacing is a current need, however there needs to be a CCTV inspection of the wastewater gravity main to ensure the condition of this sewer main has at minimum 25 more years of service life (recommended improvement in 2025, approximate cost road surface \$38,640)
- MainStreet from Parkview Street to End/Park Entrance – asphalt resurfacing and review of off road catch basins (recommended improvement in 2025, approximate cost \$15,120)
- The Town is currently inspecting all their crossroad culverts and storm water outfalls via the Federation of Canadian Municipalities (FCM) asset management funding. This project will better identify crossroad culverts that require maintenance or replacement. There are six crossroad culverts identified based on their age that potentially require replacement in 2023 for approximate total cost of \$17,960. It is recommended that the Town wait for the results of the current inspection project to assess which culverts require replacement or just flushing.

## Bridges

- Bridge 7 on Sideroad 24-25 – requires engineering feasibility study and geotechnical investigation (recommended improvement in 2023, approximate cost \$25,000)
- Bridge 10 on Sideroad 27-28 – requires completion of the engineering design (recommended improvement in 2023, approximate cost \$10,000)

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- Bridge 7 on Sideroad 24-25 – requires engineering design and permits (recommended improvement in 2024, approximate cost \$60,000)
- Bridge 10 on Sideroad 27-28 – bridge replacement (recommended improvement in 2024, approximate cost \$1,139,500)
- Bridge 3 on Sideroad 21-22 – requires engineering design and permits (recommended improvement in 2025, approximate cost \$20,000)
- Bridge 4 on Sideroad 24-25 – requires engineering design and permits (recommended improvement in 2025, approximate cost \$21,000)
- Bridge 12 on Sideroad 27-28 – requires engineering design and permits (recommended improvement in 2025, approximate cost \$21,000)

### **Storm Water**

- Storm water headwall and discharge point/outfall into the Grand River just east of Bielby Street – requires replacement both age based and initial inspection from the FCM storm water inspection project indicates need for replacement (recommended improvement in 2023, approximate cost \$7,500)
- Emma Street from Amaranth Street to Douglas Street Storm Water Gravity Main and Catch Basins – There is a need to replace the storm water gravity main too a deeper depth as the current gravity main can at times freeze up during the winter, and at the same time replace the catch basins (recommended improvement in 2025, approximate cost gravity main \$36,120, catch basins \$12,000)

### **Water**

- Water Tower – requires some necessary improvements to upgrade the water tower condition (recommended and funding approved for 2023, 2024, 2025, approximate cost to the Town \$49,273, \$98,546, \$98,545.65 respectively)
- Cooper St Water Pumping Station – the Town's water system service provider indicated that the Town requires a generator that will ensure power during electrical power outages (recommended improvement in 2023, approximate cost \$150,000)
- Melody Lane Water Pumping Station – based on age the chemical analyser requires replacement (recommended improvement in 2024, approximate cost \$5,000)
- Town Office - based on age the chemical analyser requires replacement (recommended improvement in 2023, approximate cost \$7,500)
- Water Meters – Based on discussions with Town staff it is recommended that the water meters be replaced over a five year period (recommended improvement in 2023, 2024, 2025, 2026, and 2027, approximate cost \$10,000 per year)

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## Wastewater

- Wastewater Treatment Plant Blower-Sludge Pumping Building – The Town’s service provider identified that there needs to be an improvement to the Screw Centrifugal Pumps (recommended improvement in 2023, approximate cost \$4,000)
- Wastewater Treatment Plant Blower-Sludge Pumping Building – The Town’s service provider identified that there needs to be an improvement to the Biosolids Mixing Pumps (recommended improvement in 2024, approximate cost \$15,000)
- Wastewater Treatment Plant Headworks Building – The Town’s service provider identified that there needs to be an improvement to the Septage Transfer Pumps (recommended improvement in 2023, approximate cost \$6,500, and in 2025 approximate cost \$2,500)
- Wastewater Treatment Plant Headworks Building – The Town’s service provider identified that there needs to be an improvement to the Automatic Screening System (recommended improvement in 2023, approximate cost \$5,500)
- Wastewater Treatment Plant Headworks Building – The Town’s service provider identified that there needs to be an improvement to the Automatic Degritting System (recommended improvement in 2023, approximate cost \$5,500)
- Emma Street Wastewater Pumping Station – The Town’s service provider identified that the Submersible Sewage Pumps need to be improved (recommended improvement in 2023, approximate cost \$25,000 and in 2024 for approximately \$15,000)
- Wastewater Air Release Chamber – Based on age of the Air Release Valve indicates that it needs to be replaced (recommended improvement in 2023, approximate cost \$3,500)
- Amaranth Street Wastewater Pumping Station – The Town’s service provider identified that there needs to be an improvement to Pump 2 (recommended improvement in 2023, approximate cost \$5,500, again in 2025, at a cost of \$5,500)
- Amaranth Street Wastewater Pumping Station – The Town’s service provider identified that there needs to be an improvement to Pump 1 (recommended improvement in 2024, approximate cost \$5,500)
- Douglas Street Wastewater service connection – Prior to resurfacing Douglas Street providing a wastewater service connection to the last home on the street (recommended improvement in 2025, approximate cost \$10,000)
- Leeson Street Wastewater gravity main from Amaranth to Douglas – CCTV scanning of the sewer gravity main is recommended before repaving work is to be done (recommended improvement in 2025, approximate cost \$2,900)
- Wastewater Treatment Plan Administration – Maintenance – UV Building – The Town’s service provider identified that there needs to be a replacement to the UV bulbs/ballast (recommended improvement in 2025, approximate cost \$5,000)

The above listed projects summarise the most current core assets improvement needs for the Town. Adding up the total costs of these projects and comparing this to the Town’s past capital funding investments shows a growing gap in infrastructure funding,



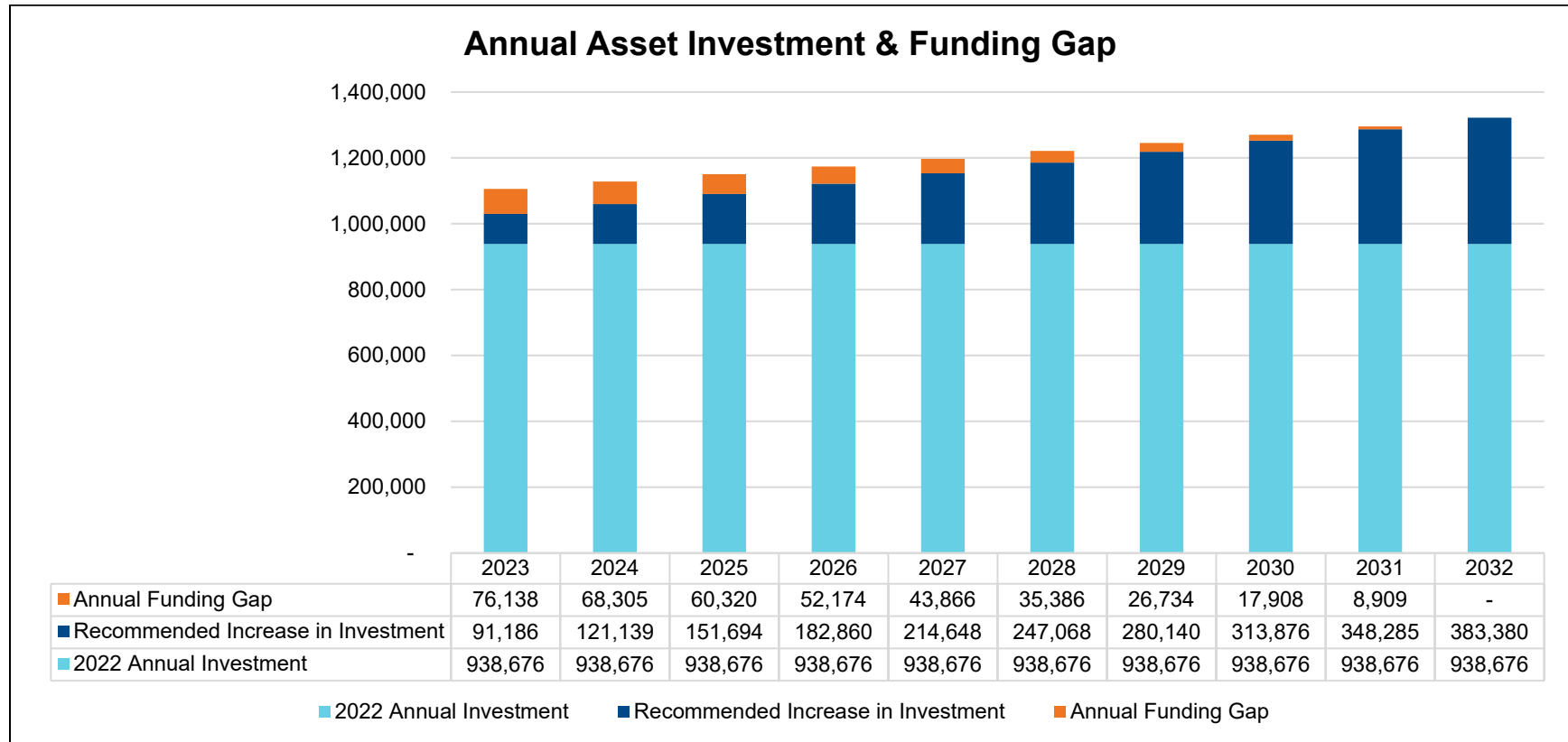
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which is found not only in the Town of Grand Valley but throughout Ontario, and across Canada. See the graphic representation below that identifies the Town's funding gap. The Town has been making steps to close this funding gap and working hard to seek available funding grants to help close the gap. However, more needs to be done to ensure that the Town can offer appropriate levels of service to the public now and into the future.

The Town is undertaking detailed inspections of the Town's crossroad culverts to confirm the asset inventory and obtain asset condition, remaining life, potential risk of failure, and future levels of service requirements.

The "financing strategy" described in Section 5 of this report identifies a funding plan for the recommended asset management strategy, including a review of historical results and recommendations with respect to the required amounts and types of funding (revenue) annually over the forecast period. Also, any infrastructure funding gaps are identified, and recommendations are made regarding potential approaches to reduce and mitigate these gaps over the 10 year forecast period.

**Annual Asset Investment & Funding Gap**



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Based on an analysis of the Town's capital assets in terms of replacement cost and useful life, the following summary of optimal annual asset investment has been created.

Water / Wastewater Core Infrastructure	Replacement Cost	Weighted Average Useful Life	Annual Replacement Investment
Water Facilities & Components	4,113,567	59	69,700
Water Equipment	650,500	16	40,700
Water Well	690,000	28	24,600
Water Hydrant	1,600,000	50	32,000
Water Mains	4,455,341	100	44,600
Water System Valve	1,121,000	66	17,000
<b>Total Water</b>	<b>12,630,408</b>		<b>228,600</b>
Wastewater Facilities & Components	20,212,200	55	367,500
Wastewater Gravity Mains	4,484,227	100	44,800
Wastewater Pressure Mains	941,500	100	9,400
Wastewater Manholes	2,200,000	100	22,000
<b>Total Wastewater</b>	<b>27,837,927</b>		<b>443,700</b>

In summary, an annual asset investment of \$228,600 is needed to fund long-term asset management planning needs for water infrastructure and \$443,700 for wastewater infrastructure. This does not include other non-core assets that have been excluded from this asset management plan.

These optimal investment amounts become the funding target over the forecast period. However, this target increases over time as inflation increases this amount annually. Assuming 2% annual inflation, the target annual capital asset investment amount becomes \$273,200 and \$530,300 for water and wastewater respectively by the year 2032.

The Town's 2020 Water and Wastewater Rate Study provides for increasing contributions to water and wastewater capital reserves:

- Water: A contribution of \$346,002 by 2030
- Wastewater: A contribution of \$917,854 by 2030

The contributions are higher in the rate study, presumably to account for:

- Other non-core infrastructure assets (not included in this plan).
- Historic under investment in these assets (based on remaining asset life rather than asset useful life).

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It is recommended that the Town follow the recommendations outlined in the 2020 Water and Wastewater Rate Study to ensure the annual requirements for optimal investment in water and wastewater assets can be met.

Overall, this asset management plan is a tool to be used by the Town for capital and financial decision making. It can be tied to various existing reports (such as budget, official plan, and strategic planning reports) to ensure the asset management plan can be updated to reflect any changes in the Town of Grand Valley's priorities.

Please note that this study only focused on the Town's core assets (Water, Wastewater, Storm Water, Roads, and Bridges). The identified gap in infrastructure funding is expected to change when incorporating all of the remaining Town's asset types of which Facilities, and Vehicles are the major contributors.

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**Appendices**

Appendix A Municipality Asset Inventory & Asset Management Plan Assumptions

Appendix B Draft Data Verification and Condition Assessment Policy

Appendix C 10 Year Detailed Asset Management Strategy & Financing Strategy

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## 1.0 Introduction

### 1.1 Overview

R.J. Burnside & Associates Limited (Burnside) was retained by the Town of Grand Valley (Town) to prepare an asset management plan for core assets. This plan is intended to be a tool for the Town to use during various decision-making processes, including the annual budget process and Provincial/Federal capital grant application processes. This plan will serve as a road map for sustainable infrastructure planning going forward.

Assets included in this asset management plan are the following:

- Water (Facilities, Mains, System Valves, Hydrants, Wells, Equipment,);
- Wastewater (Facilities, Gravity Mains, Pressure Mains, Manholes);
- Storm Water (Gravity Mains, Catch Basins, Manholes, Storm Ponds, Discharge Points, Underground Enclosures);
- Roads (Bases and Surfaces - Asphalt, Gravel, Crossroad Culverts); and,
- Bridges/Culverts.

It is recommended that this plan be updated on an annual basis to ensure that it is kept up to date. All assets listed above other than water and wastewater assets are tax supported and are discussed more thoroughly in this report.

### 1.2 Plan Objectives

The Town's goals and objectives with respect to their core capital assets relate to the level of service being provided to the Town's residents and visitors. Services are currently provided at current levels of service it is recommended that the Town provided these services at expected levels, as defined within this asset management plan. The Town's infrastructure and other capital assets are anticipated to be maintained at condition levels that provide for a safe and functional environment for its residents and visitors. Therefore, the asset management plan and its implementation will be evaluated based on the Town's ability to meet these goals and objectives.

### 1.3 Plan Development

The development of the Town's asset management plan was based on the steps summarized below:

1. Develop a complete listing of core capital assets to be included in the plan, including attributes such as useful life, age, accounting valuation and current replacement valuation. Update the replacement cost of assets to 2021 dollars, and where required, using applicable inflationary indices.

2. Assess current condition of the assets, based on a combination of the following:
  - Existing reports;
  - Burnside desktop assessments;
  - Staff assessments; and,
  - Asset age analysis.
3. Assess the risk of asset failure for each asset, based on determining the probability of each asset failing, as well as the consequence of the asset failing. This risk analysis is one of the components used to identify priority projects for inclusion in the asset management plan, as well as asset risk levels that require mitigation.
4. Determine current levels of service, based on standard practices and discussions with Town staff, Town Water and Wastewater contracted service providers and discussions with Burnside Engineering staff. Further analysis of the maintenance practices and identification of additional measures that can be applied to the assets to extend their lifecycle and potentially provide a lower asset total lifecycle cost.
5. Prepare an asset management strategy (i.e., operating and capital forecast) based on the core asset inventory, identified priorities, forecast scenarios and level of service analysis discussed above.
6. Determine a financial strategy to support the asset management strategy, thus determining how the operating and capital related expenditure forecast will be funded over the plan period.
7. Prepare a final report, summarizing the process, strategy, and results of the asset management plan.

#### **1.4 Maintaining the Asset Management Plan**

The asset management plan should be updated as the capital needs and priorities of the Town changes. This can be accomplished in conjunction with the Town's budget process. With the delivery of this project spreadsheet file, the Town will have the tools available to perform updates to the plan when needed.

When updating the asset management plan, note that the state of local infrastructure, expected levels of service, asset management strategy and financing strategy are integrated and impact each other. Looking at these components in reverse order, one can see the financing strategy outlines how the asset management strategy will be funded. The asset management strategy illustrates the costs required to maintain expected levels of service at a sustainable level. The expected levels of service component summarizes and links each service area to specific assets contained in the state of local infrastructure section and thus determines how these assets will be used to provide expected service levels.

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This report covers a forecast period of 10 years; however, it is suggested that more focus and attention be put on the first 5 years of the asset management plan, to ensure accurate capital planning in the short term. It is also recommended that the Town start moving towards 50 year forecasts. This longer-term vision will ensure that future infrastructure investments are not lost in the shorter 10 year forecast window.

## **1.5 Plan Integration**

The municipal environment is continually changing and demanding when it comes to legislation and other responsibilities. Integrating the asset management plan with the Town's budget process, as well as Public Standards Accounting Board Handbook Section 3150 (tangible capital asset) requirements can make updates in all three areas more efficient.

With respect to integrating the Town's budget process with asset management planning, the Town requires a projection of capital and operating costs over a future period. The budget outlines total operating and capital requirements for the Town, while the asset management plan focuses in on specific asset related requirements. With this link to the annual budget, the budget update process can also become an asset management plan update process.

Both asset management and PSAB 3150 require a complete and accurate asset inventory. The significant difference between the two lies in valuation approaches (PSAB 3150 requires historical cost valuation, while asset management requires future replacement cost valuation). Using a single asset inventory, as developed in the asset management spreadsheets for the core assets, containing both historic and current replacement valuation methods is an effective approach to maintaining the Town's asset data (digital spreadsheets of these assets are provided in Appendix A).

## 2.0 State of Local Infrastructure

### 2.1 Scope and Process

This section of the plan provides an opportunity to develop a greater understanding of the core capital assets owned by the Town. The state of local infrastructure analysis includes:

- An asset inventory documenting asset types, sub-types including quantities, materials, and other similar asset attributes (where available);
- Financial accounting valuation (where available);
- Replacement cost valuation;
- Asset age distribution analysis and asset age as a proportion of expected useful life;
- Asset condition information (mostly based on report and/or staff assessment as well as the age of the asset);
- Draft Data Verification and Asset Condition policies; and,
- Documentation of assumptions made in creating the asset inventory.

Burnside developed a detailed asset inventory listing for the Town which was used as a starting point in fulfilling the requirements for this report. This inventory provides current financial accounting valuations (i.e., historical cost, accumulated amortization, and net book value), as well as attributes such as replacement cost, useful life, and age). With respect to replacement cost, the Town provided various recent valuations, which were inflated in order to estimate current 2021 replacement costs. Other valuations were made for assets that were not part of the PSAB 3150 asset listing using a current 2021 replacement cost and deflating the value to the year or estimated year that the asset was constructed and/or acquired.

The following data and reports were used to develop the Town's asset inventory during this project:

- Town PSAB 3150 asset inventory;
- Town reports (such as spreadsheets; documents; and notes from staff);
- Town 2022 Road Management Plan;
- Town 2021 Bridge Inspection Report;
- Town Water Tower Condition Report and Improvement Funding Application (2020, 2021)
- Recent purchase information from the Town; and,
- Discussions with Town staff.

Some adjustments to asset useful lives have been made but further analysis may reveal that the Town will want to update some useful life values in the tangible capital asset financial reporting so that they better reflect the lifecycle and remaining life of the Town’s assets. Burnside engineers have reviewed the useful lives of the core assets identified in this project and believe they now better reflect the conditions, maintenance practices and management of the Town’s assets.

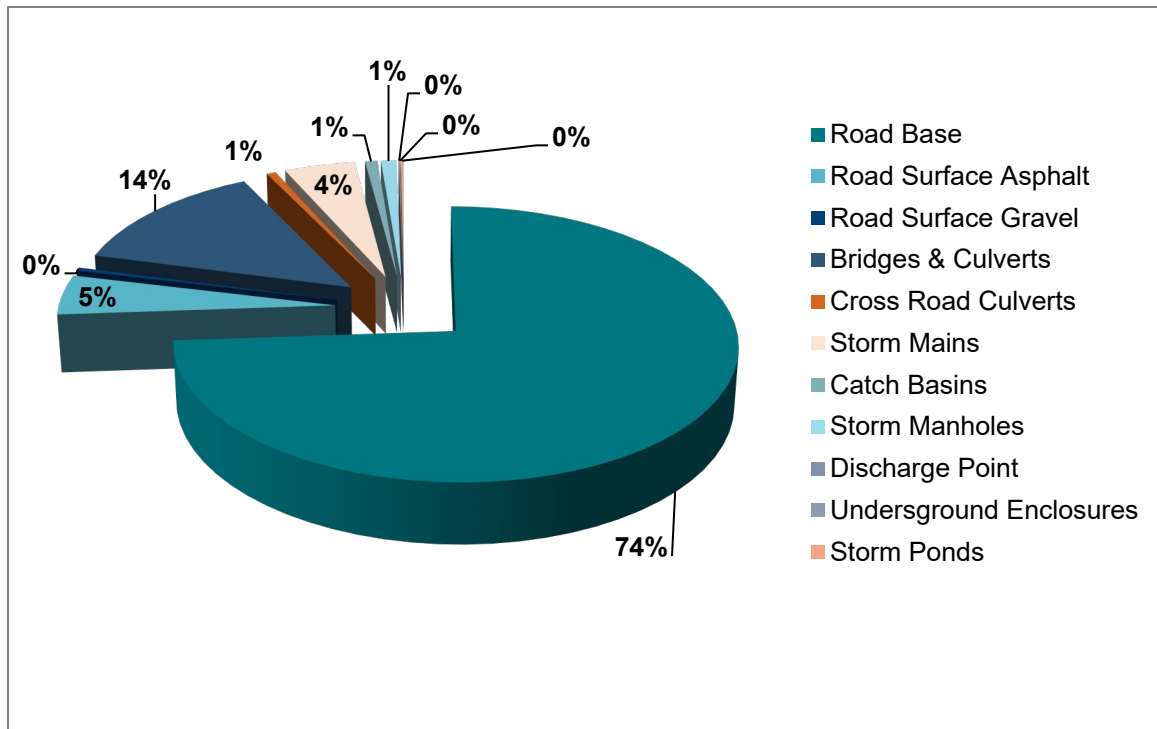
## 2.2 Capital Asset Overview

The Town presently owns core capital assets with a 2021 replacement value of approximately \$208.9 million broken out as follows:

- \$168.4 million Core tax supported assets (Roads, Bridges, Storm Water);
- \$12.6 million Water rate payers supported assets; and
- \$27.8 million Wastewater rate payers supported assets.

Over 60% of the total replacement value is contained in Road Base assets (\$124.5 million) which then results in the remaining replacement asset value of \$84.3 million or approximately \$43.9 million core tax supported assets. Table 2.1, Table 2.2, and Table 2.3, Figure 2.1, Figure 2.2, Figure 2.3, and Figure 2.4 outline the breakdown of these totals into the Town’s core asset categories.

**Figure 2.1: Tax Supported Asset Distribution Replacement Costs (2021)**



The capital asset inventory was organized in a Microsoft Excel spreadsheet and delivered to the Town in digital form shown in Appendix A. Each of the asset types were

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assessed for their age, condition (where available) and for data accuracy and completeness.

Table 2.1 and Figure 2.2 show the Town's financial accounting valuation summary by asset type for core tax supported assets. Table 2.2 and Table 2.3 and Figures 2.3 and Figure 2.4 show the Town's financial accounting valuation summary by asset type for water and wastewater rate payer supported assets respectively. Since 2009, municipalities have been required under the Public Sector Accounting Board Handbook Section 3150 (PSAB 3150) to maintain asset listings complete with historical cost (i.e., the original cost to purchase or construct an asset), accumulated amortization and net book value. These values were to be reported on the Town's audited financial statements each year. Burnside has done the additional work of developing the 2021 cost for assets that have been added to the Town's asset inventory. If the Town chooses to use the asset inventory developed in this project to report the PSAB 3150 values, the data/information is found in Appendix A.

Including all the Town's assets studied in this project, the total tangible capital asset historical cost is approximately \$45.5 million. This is approximately 22% of the total replacement cost, or 50% excluding road base historic/replacement costs. It is expected that historical cost totals are less than replacement cost totals, given inflationary adjustments that would occur between the original asset purchase/ construction date and 2021. Total accumulated amortization for the Town's project assets is approximately \$9.9 million or 22% of the total asset historical cost and \$9 million or 21% without road base costs included. This represents the proportion of tangible capital assets that have been amortized (i.e., used up) to date from a financial valuation perspective. This also leads one to understand that the Town's core assets are mostly in the first 1/4 of their lifecycle.

Clearly the Town's owned road assets have the greatest percentage tax supported replacement cost if the road base values were included in the calculation (see Table 2.1, Table 2.2, and Table 2.3). Road bases are considered assets that will never be totally replaced but will from time to time be improved and in spot locations reconstructed on an as needed basis. Therefore, by excluding road base asset values (see Figure 2.2), the Town's bridges percentage replacement costs are 52.1% for the core tax supported assets. Other core tax supported asset types studied are Road Surfaces with 19.8% (made up of Asphalt 18.3%, Gravel 1.5%, and Crossroad Culverts 2.3%), Storm Water with 25.7% (made up of Storm Mains 17.7%, Catch Basins 3.2%, Storm Manholes 3.7%, Discharge Points 0.4%, Storm Ponds 0.7%, and Underground Enclosures negligible). The Town crossroad culverts are currently being inspected and expected to provide a more accurate value. More in depth discussion of the asset types follows below.

**Table 2.1: Asset Condition/Needs Assessment Tax Supported Asset Summary**

Asset Type	Asset Sub-Type	Historic Cost	2020 Accumulated Amortization	2020 Net Book Value	2021 Replacement Cost	Condition (weighted average)		Useful Life (years)	Age (weighted average)	Remaining Life (weighted average)	Risk (weighted average)	
						Value	Text				Value	Text
Roads	Road Base	\$3,615,980	\$901,363	\$2,714,617	\$124,514,290	N/A	N/A	60	N/A	N/A	N/A	N/A
	Road Surface Asphalt	\$4,171,360	\$1,100,072	\$3,071,288	\$8,042,120	8.8	Very Good	25	16	10	1.3	Low
	Road Surface Gravel	\$737,575	\$543,471	\$194,104	\$645,810	N/A	N/A	4	N/A	N/A	N/A	N/A
	Bridges & Culverts	\$4,396,845	\$1,518,915	\$2,877,930	\$22,852,000	7.3	Good	75; 50	50	27.8	2.0	Moderate
	Cross Road Culverts	\$605,549	\$368,891	\$236,658	\$1,015,217	7.4	Good	30	21	9.4	1.8	Moderate
Storm Water	Storm Mains	\$4,976,961	\$397,180	\$4,579,780	\$7,760,689	8.1	Good	100, 50	20	79	1.4	Low
	Catch Basins	\$651,640	\$58,658	\$592,983	\$1,413,364	7.0	Good	100	30	70	1.5	Moderate
	Storm Manholes	\$712,149	\$29,147	\$683,002	\$1,630,000	8.2	Good	100	16	84	1.3	Low
	Discharge Point	\$119,015	\$5,758	\$113,256	\$179,500	8.0	Good	100, 50	18	69	1.0	Low
	Underground Enclosures	\$1,183	\$603	\$580	\$10,000	5.0	Average	100	52	48	2.0	Moderate
	Storm Ponds	\$270,978	\$42,776	\$228,202	\$325,653	8.0	Good	100	17	83	1.0	Low
	<b>Total</b>	<b>\$20,259,234</b>	<b>\$4,966,835</b>	<b>\$15,292,400</b>	<b>\$168,388,643</b>	<b>6.0</b>	<b>Average</b>		<b>21</b>	<b>39</b>	<b>1</b>	<b>Low</b>
	<b>Total without Road Base Replacement Costs</b>				<b>\$43,874,353</b>	<b>7.6</b>	<b>Good</b>		<b>35</b>	<b>37</b>	<b>2</b>	<b>Moderate</b>

**Table 2.2: Water Rate Payer Supported Asset Summary**

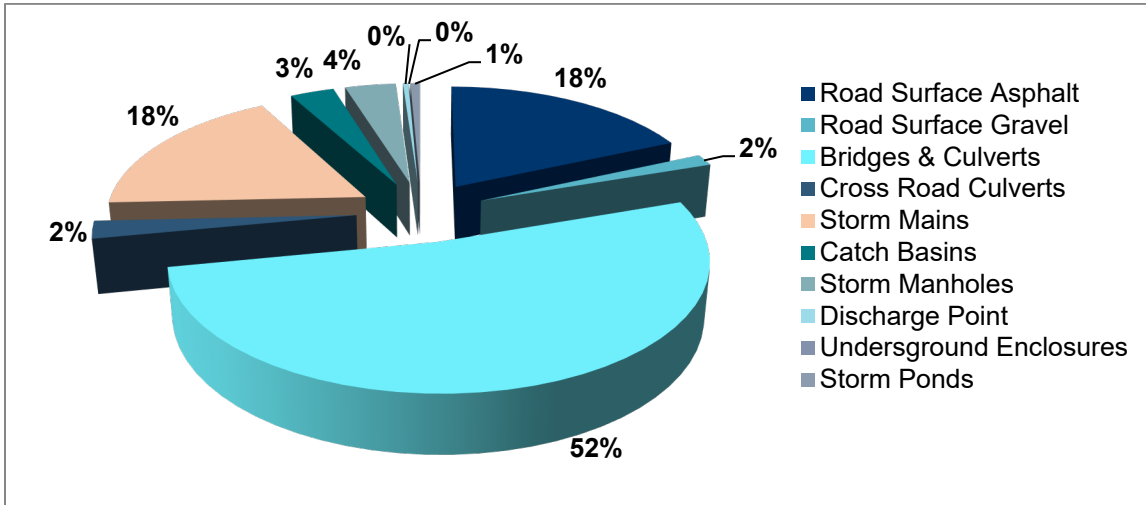
Asset Type	Asset Sub-Type	Historic Cost	2020 Accumulated Amortization	2020 Net Book Value	2021 Replacement Cost	Condition (weighted average)		Useful Life (years)	Age (weighted average)	Remaining Life (weighted average)	Risk (weighted average)	
						Value	Text				Value	Text
Water Facilities & Components	Water Tower	\$842,820	\$379,653	\$463,167	\$1,050,500	4.1	Poor	80, 50, 30, 10, 5	27	51	3.0	High
	Pumping Station - Cooper Street	\$377,930	\$297,637	\$80,292	\$907,000	6.3	Average	100, 50, 30, 25, 20, 5	22	28	2.0	Moderate
	Pumping Station - Melody Lane	\$352,088	\$282,265	\$69,822	\$566,067	6.0	Average	100, 50, 30, 20, 5	29	28	2.0	Moderate
	Pumping Station - Well #5	\$1,590,000	\$0	\$1,590,000	\$1,590,000	10.0	Very Good	100, 50, 30, 25, 20, 15, 10	0	61	1.0	Low
Equipment	Equipment	\$113,954	\$51,248	\$62,707	\$650,500	9.0	Very Good	20, 15, 10, 5	9	10	2.0	Moderate
Water Wells	Water Wells	\$616,778	\$219,604	\$397,174	\$690,000	9.3	Very Good	50, 25, 15	13	16	2.0	Moderate
Water Hydrant	Water Hydrant	\$541,355	\$172,146	\$369,209	\$1,600,000	7.0	Good	50	19	32	2.0	Moderate
Water Mains	Water Mains	\$2,311,212	\$91,875	\$2,219,337	\$4,455,341	8.0	Good	100	22	78	2.0	Moderate
Water System Valve	Water System Valve	\$236,835	\$58,184	\$178,651	\$1,121,000	7.5	Good	100, 50	20	45	1.8	Moderate
	<b>Total</b>	<b>\$6,982,972</b>	<b>\$1,552,613</b>	<b>\$5,430,359</b>	<b>\$12,630,408</b>	<b>8.0</b>	<b>Good</b>		<b>18</b>	<b>52</b>	<b>2</b>	<b>Moderate</b>

**Table 2.3 Wastewater Rate Payer Supported Asset Summary**

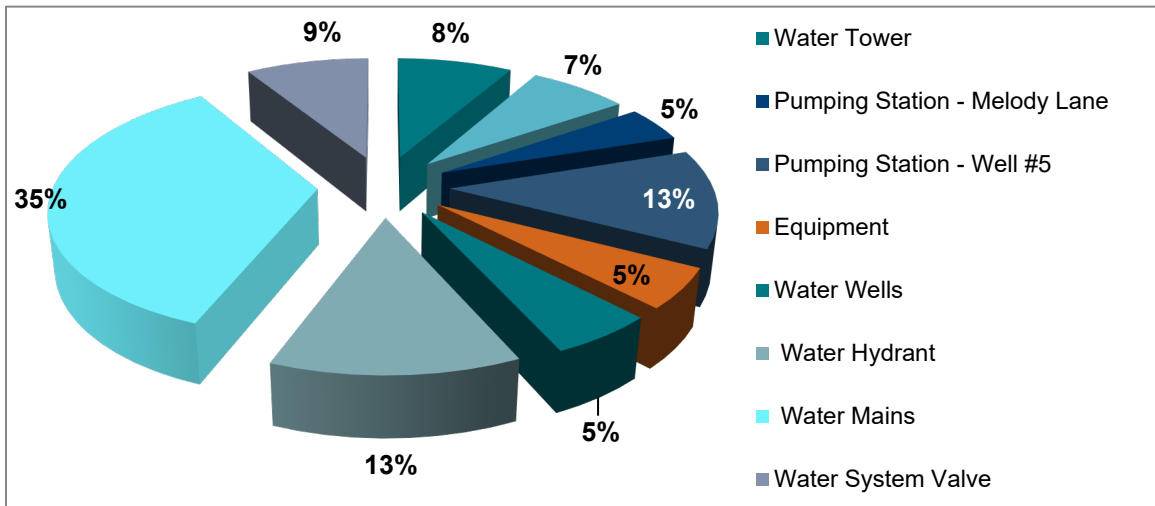
	Asset Sub-Type	Historic Cost	2020 Accumulated Amortization	2020 Net Book Value	2021 Replacement Cost	Condition (weighted average)		Useful Life (years)	Age (weighted average)	Remaining Life (weighted average)	Risk (weighted average)	
						Value	Text				Value	Text
<b>Wastewater Facilities &amp; Components</b>	WWTP Site Works & Other Assets	\$40,424	\$10,606	\$29,818	\$51,400	8.7	Very Good	100, 10	4	4	1.0	Moderate
	Admin-Maintenance-UV	\$2,388,088	\$636,063	\$1,752,026	\$2,642,500	7.6	Good	100, 50, 45, 40, 30, 25, 20, 15	9	46	2.0	Moderate
	Blower-Sludge Pumping	\$5,098,948	\$1,139,508	\$3,959,440	\$6,679,000	7.6	Good	100, 50, 30, 25, 20	9	49	2.0	Moderate
	Headworks	\$2,562,873	\$746,361	\$1,816,511	\$3,304,800	7.3	Good	100, 50, 30, 25, 20, 15	9	44	2.0	Moderate
	Bio Solids Tank	\$550,000	\$165,000	\$385,000	\$560,000	7.0	Good	30	9	21	2.0	Moderate
	Surge Tank	\$2,735,000	\$0	\$2,735,000	\$2,895,000	10.0	Very Good	75, 50, 25, 20, 15	0	48	1.0	Low
	WWTP on site Pumping Station	\$545,000	\$110,250	\$434,750	\$780,500	7.9	Good	50, 20	9	39	2.0	Moderate
	Emma Street Pumping Station	\$1,652,889	\$315,300	\$1,337,588	\$2,490,500	9.4	Very Good	100, 50, 30, 20, 15, 10	9	73	2.0	Moderate
	Air Release Chamber	\$203,000	\$20,700	\$182,300	\$228,500	8.9	Very Good	100, 10	9	90	2.0	Moderate
	Amaranth Street Pumping Station	\$92,576	\$27,500	\$65,076	\$580,000	8.8	Very Good	100, 50, 30, 20	43	47	2.0	Moderate
<b>WW Gravity Main</b>	WW Gravity Main	\$1,193,679	\$114,853	\$1,078,827	\$4,484,227	6.3	Average	100, 50	36	64	1.7	Low / Moderate
<b>WW Pressure Main</b>	WW Pressure Main	\$547,025	\$28,703	\$518,322	\$941,500	8.8	Very Good	100	9	91	2.0	Moderate
<b>WW Manhole</b>	WW Manhole	\$639,124	\$63,084	\$576,041	\$2,200,000	7.0	Good	100	29	71	2.0	Low
	<b>Total</b>	<b>\$18,248,625</b>	<b>\$3,377,927</b>	<b>\$14,870,698</b>	<b>\$27,837,927</b>	<b>8.0</b>	<b>Good</b>		<b>15</b>	<b>55</b>	<b>2</b>	<b>Moderate</b>



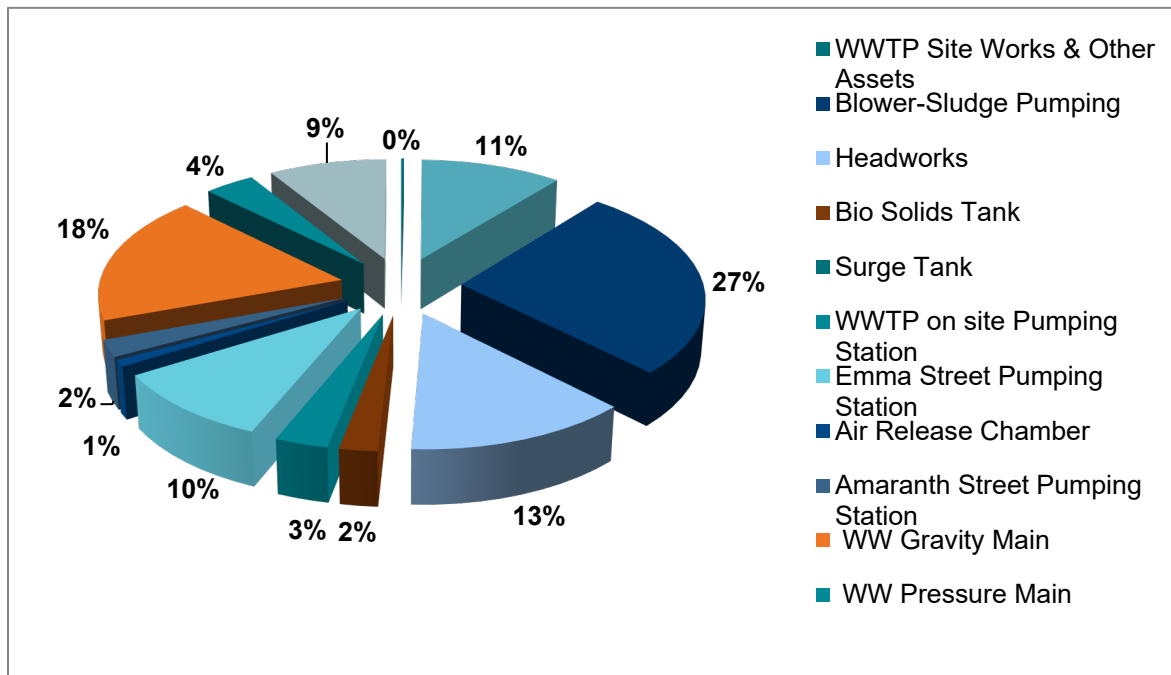
**Figure 2.2: Tax Supported Asset Distribution Replacement Costs, Without Road Bases (2021)**



**Figure 2.3: Water Rate Payer Supported Asset Distribution Replacement Costs**



**Figure 2.4: Wastewater Rate Payer Supported Asset Distribution Replacement Costs**



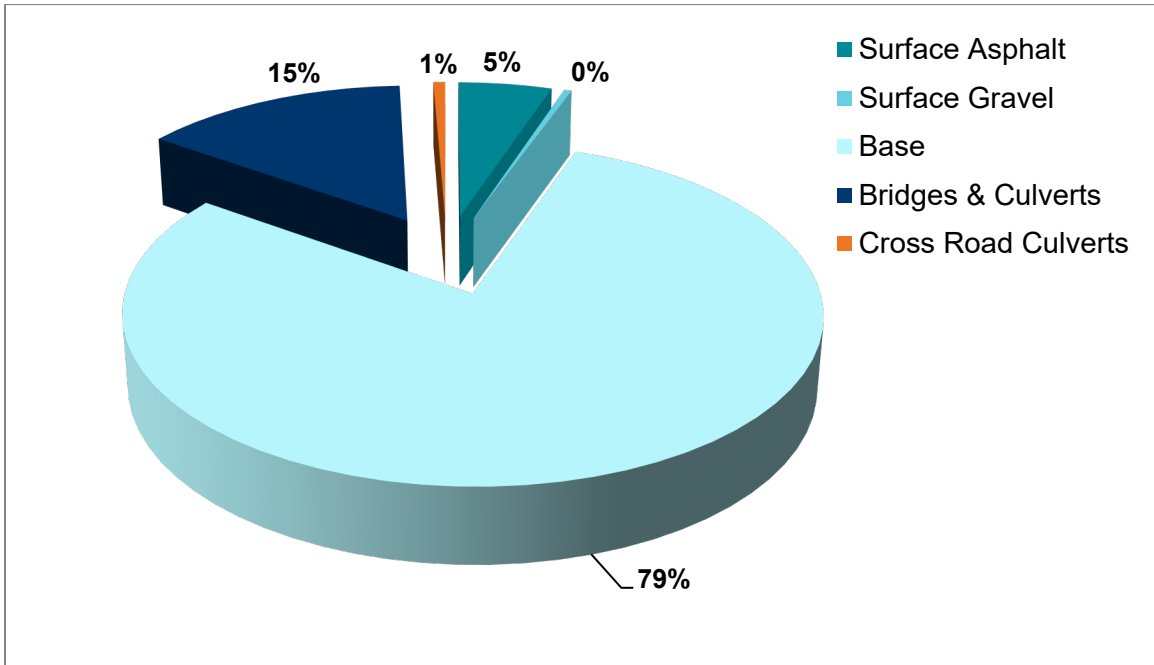
### 2.3 Road Environment Assets

The Town’s Road assets make up a key service that reflects the economic and social development of the community. The road environment assets are 93.3% of the core tax supported assets studied in this project and are made up of the following asset types:

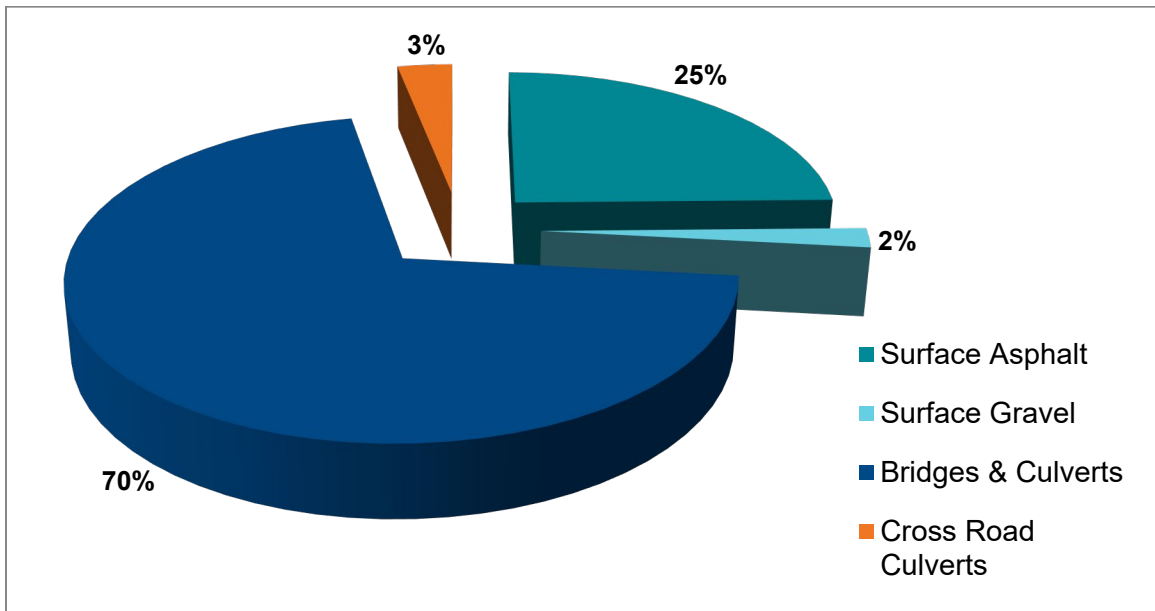
- Road Surface Asphalt – 4.8% of the total Town’s core tax supported asset replacement costs;
- Road Surface Gravel – 0.4% of the total Town’s core tax supported asset replacement costs;
- Road Bases – 73.9% of the total Town’s core tax supported asset replacement costs;
- Bridges – 13.6% of the total Town’s core asset supported asset replacement costs; and
- Crossroad Culverts – 0.6% of the total Town’s core tax supported asset replacement costs.

Figure 2.5 and Figure 2.6 outline the replacement cost distribution of Road assets with and without Road Base values included.

**Figure 2.5: Road Environment Asset Distribution Replacement Costs (2021)**



**Figure 2.6: Road Environment Asset Distribution Replacement Costs (2021) without Road Bases**



Below we provide more detail on the asset groups in the Road Environment group of tax supported assets, Roads, Crossroad Culverts, and Bridges.

### 2.3.1 Roads

At the current replacement cost the road assets account for \$133.2 million dollars, and without Road Bases included account for \$8.7 million or 79.1% of the assets studied in this project. The composition of the road surfaces is outlined in Table 2.4. A more detailed listing of the Town's road assets can be found in Appendix A.

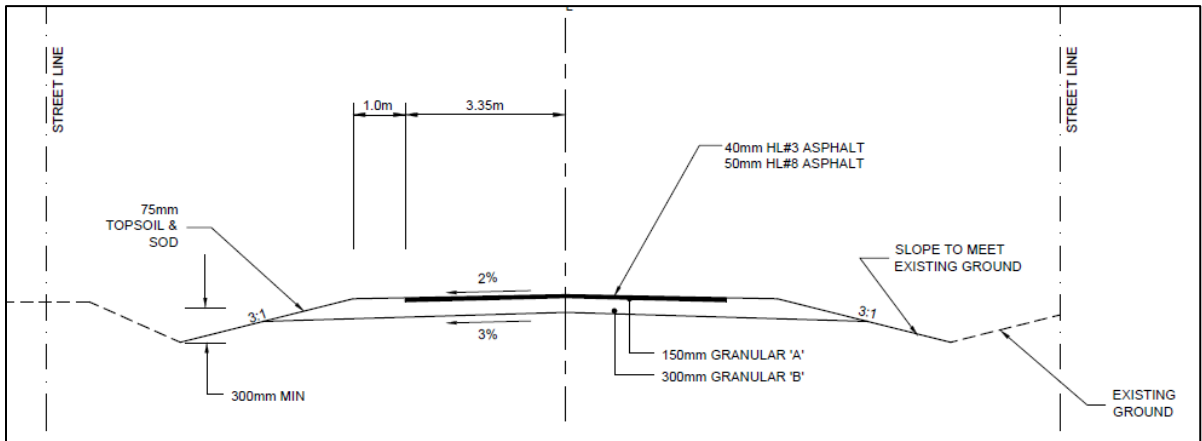
**Table 2.4: Road Surface Assets**

Road Surface	Length (m)	Replacement Cost	Remaining Life (weighted average)	Condition (weighted average)	Risk (weighted average)	
					Value	Text
Asphalt-Urban	5,327	\$2,130,816	13.3	9.6	1	Low
Asphalt - Semi-Urban	9,684	\$3,147,298	5.7	8.1	2	Moderate
Asphalt - Rural	18,426	\$2,764,006	13.3	9.0	1	Low
Gravel	92,259	\$645,810	N/A	N/A	N/A	N/A
<b>Total</b>	<b>125,696</b>	<b>\$8,687,930</b>				

The Town had completed a Road Management Plan study in 2022 and established the prioritization of both capital and operational maintenance programs for the Town. The results of the road study project are included in the asset strategy component of this project.

Key to all roads is the road base on which they are built. These road bases in most cases have been established many years ago. Hard top (asphalt, and surface treated) road surface roads provide the longest life cycle with best level of service when constructed on excellent road bases. Once the road base becomes soft it cannot economically support a hardtop road surface and it is best to convert it to a gravel road until funding is made available and the base has been reinforced. Figure 2.7 provides a typical road cross-section diagram. This can be applied for all surface types as asphalt (shown in figure), and without asphalt for gravel road surfaces. Please note that the Town has some roads located in challenging wet areas, which require more specific localized engineering design.

**Figure 2.7: Typical Asphalt Road Surface Cross-Section**



The Town's gravel surface roads are upgraded approximately every three to four years or as required with surface gravel replacement/top-up. In some locations additional gravel is at times required to help reinforce the road base.

The Road Management Plan study report provides detailed explanations of the Town's Road conditions and related deficiencies that impact longevity or operations of the roads, including road widths, drainage, surface type, alignment, and brushing maintenance where required. Results of the road study were incorporated into this asset management plan.

Figure 2.8: Ten Year Road Improvement Plan

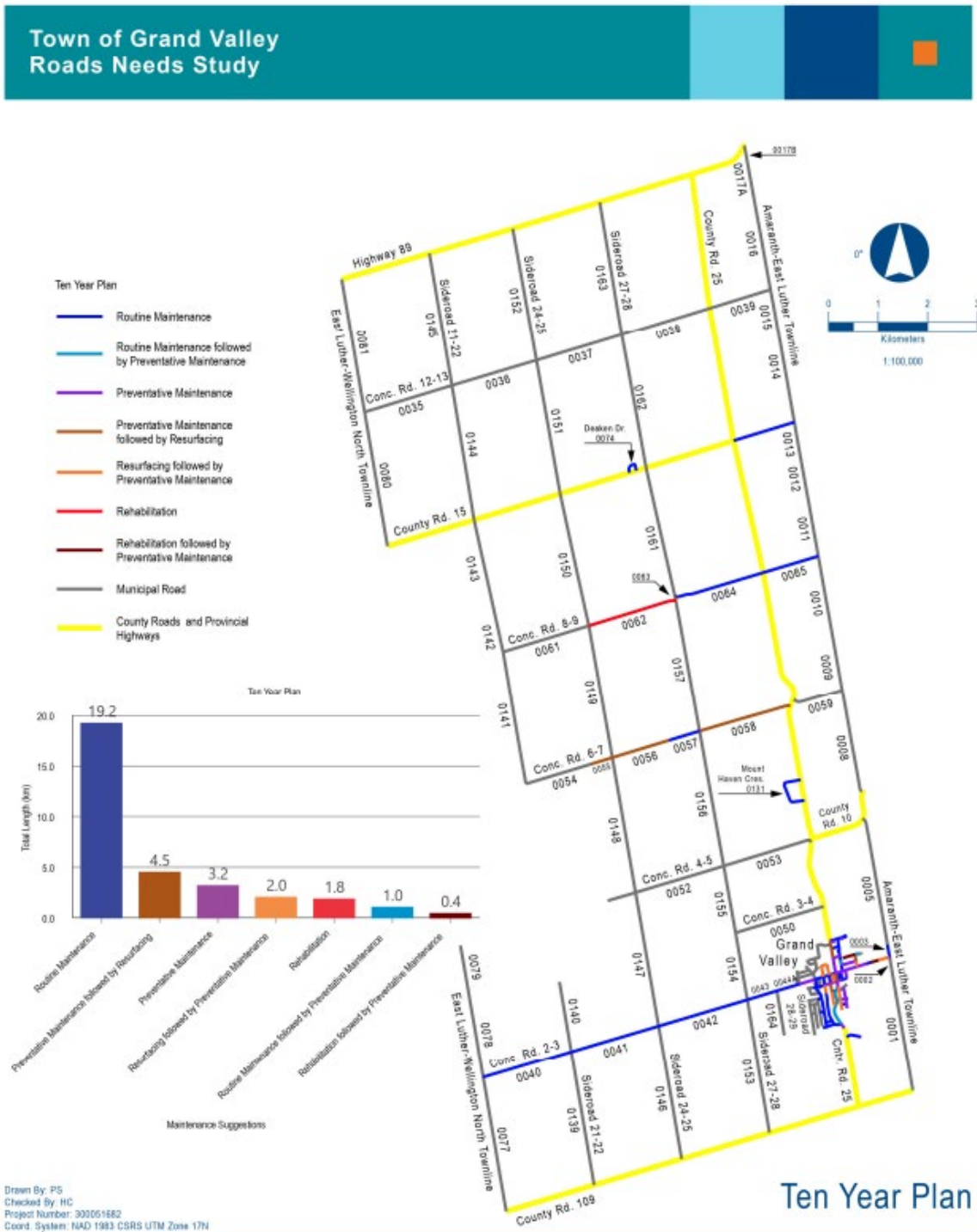


Figure: C1

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### 2.3.2 Crossroad Culverts

Crossroad culverts total \$1 million and 3% in asset replacement cost not including road bases. Crossroad culverts are key to ensuring that water stays away from the Town's road base and therefore maintain more solid foundation for the road surface. This is particularly important during extreme weather events which produce large volumes of rain over a short period of time.

The Town currently is completing the inspection of all crossroad culverts. The information being collected includes:

- Condition (relative Very Good, Good, Fair, Poor, Very Poor);
- Length (m);
- Diameter (m);
- Material; and
- Photo

This information will assist the Town with understanding where to focus upgrading these culverts to prevent the roads from extreme storm event erosion. For this asset management study age based condition was calculated and used for replacement assessment. Six crossroad culverts were identified as potentially requiring replacement.

### 2.3.3 Bridges & Culverts

The Town has seventeen bridges and culverts structures over the span of 3.0 m inspected in 2021. The inspection report was reviewed, and information used in this asset management analysis. Visual inspections are required to be carried out every two years in accordance with the Ministry of Transportation – Ontario Structure Inspection Manual (OSIM). The inspections are to be completed under the direction of a Professional Engineer to assess their condition and identify any material defects, performance deficiencies, maintenance needs, additional studies and/or repairs/rehabilitation work required on a structure-by-structure basis.

The Town has a total of just under \$22.9 million replacement cost of bridge, and culvert assets. Table 2.3 provides the distribution of the types of bridges that the Township owns. A more detailed listing of the bridge assets can be found in Appendix A.

**Table 2.3: Structure Types**

Bridge Type	Number	Replacement Cost
Modular Steel	1	#####
Brick Arch Culvert	1	\$845,000
Precast Box Culvert	1	\$598,500
Open Bottom Culvert	1	\$538,500
Box Beams of Girders	2	#####
Rigid Frame, Vertical Legs	6	#####
Precast Ridge Frame, Vertical Legs	1	\$778,500
T-Beam	4	#####
<b>Total</b>	<b>17</b>	<b>#####</b>

Load postings may be recommended for structures based on age, condition, noted performance deficiencies or based on the findings of a structural evaluation. There are currently no structures in the Town's inventory that have load postings.

The Bridge Condition Index (BCI) for each structure was determined based on the Ministry of Transportation Ontario (MTO) methodology followed in the MTO Document, MTO Bridge Condition index and Overall Measure of Bridge Condition, July 2009.

It was identified that the Town's defined PSAB 3150 Useful Life for some of the structures was not representative of true nature of the lifecycle of these assets. The useful life was adjusted and highlighted in yellow in the asset tables found in Appendix A.

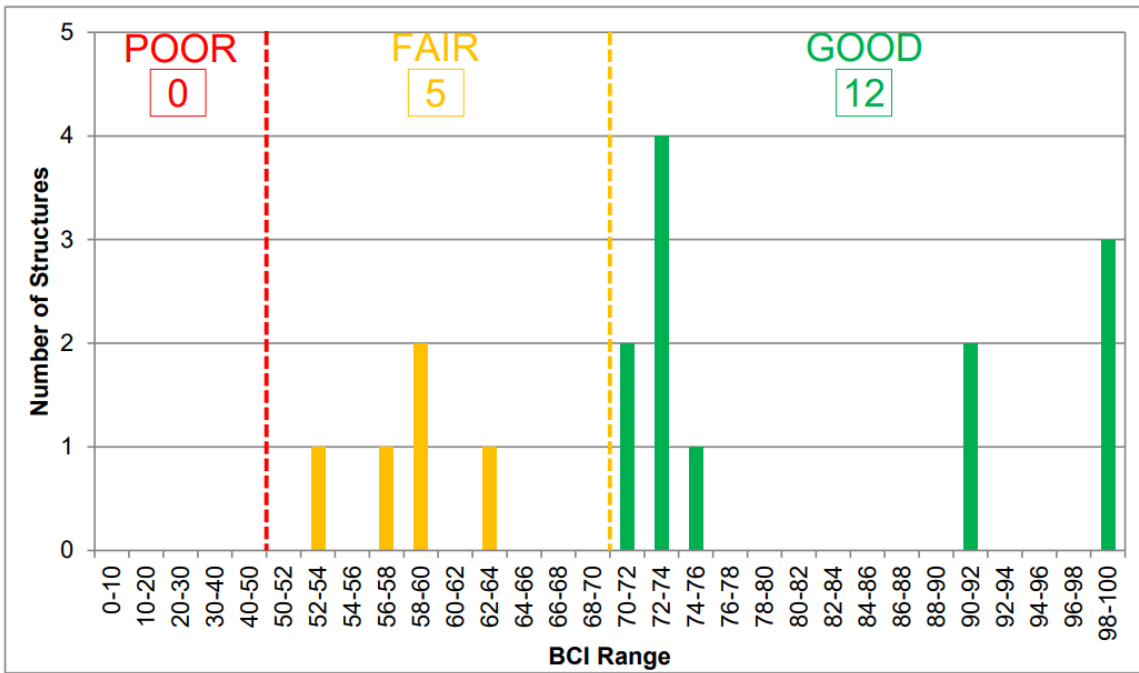
The capital works needs include any repair, rehabilitation or replacement work which would typically be completed by the Town's hired Contractor, to assist in extending the service life of a structure and increasing the Bridge Condition Index (BCI). In accordance with the OSIM report, the capital and maintenance works required are based on a priority of 6 to 10 years, 1 to 5 years, within 1 year, and urgent now needs have been estimated and incorporated into the asset management strategy.

Taking into consideration the structures estimated condition index, ten structures have been identified for some form of replacement/rehabilitation.

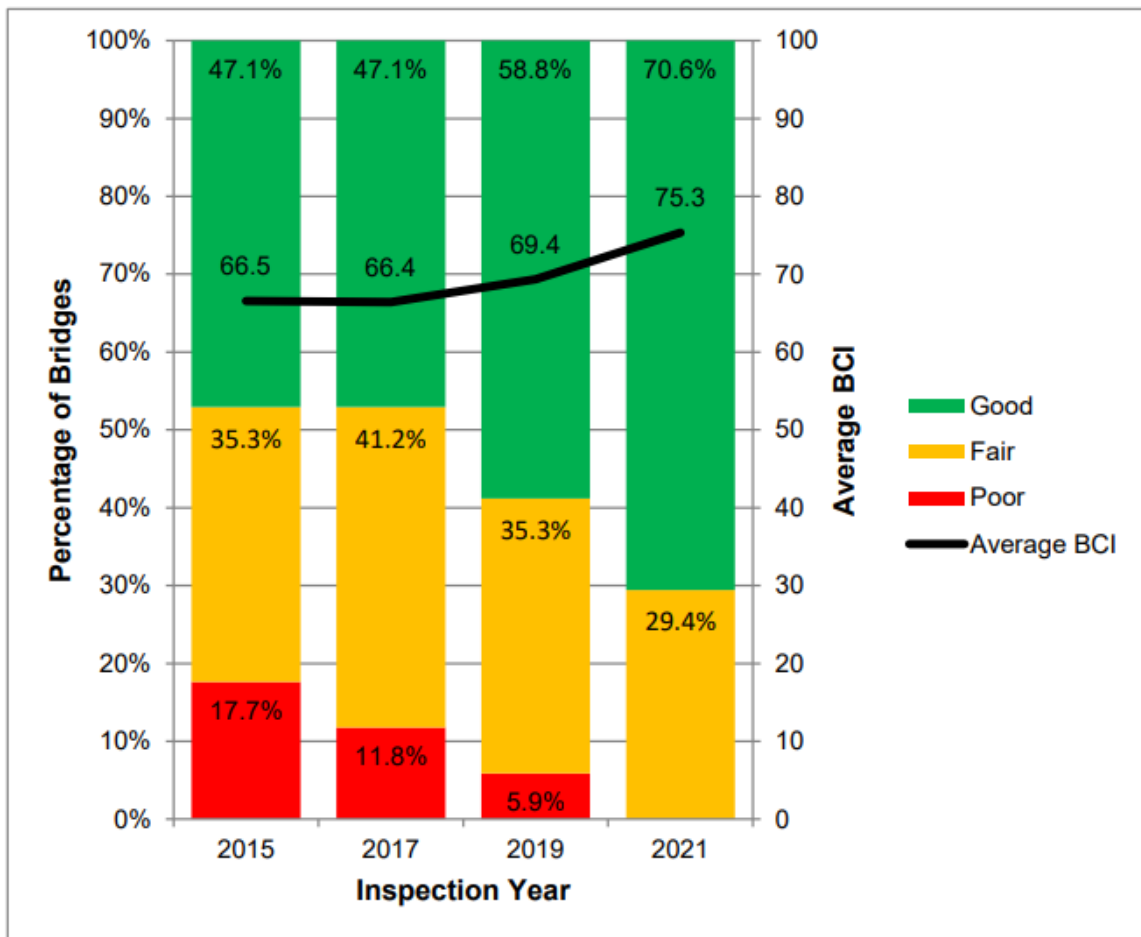
Based on the biennial inspection of each structure, the estimated Structure Condition Index Distribution graph, shown in Figure 2.9 and Figure 2.10 below, provides a summary of the current state of the Town's structures.



**Figure 2.9: Estimated Structure Condition Distribution**



**Figure 2.10: Bridge Condition Index Historical Trend**



Currently, 70.6% of the Town’s structures are within the “good” range, with 29.4% of the structures classified as “fair” and 0% classified as “poor”, as illustrated in Figure 29 above. Of interest, the Ministry of Transportation Ontario (MTO) has established a goal to have 85% of their structures in “good” condition by the year 2021, and to maintain that condition moving forward by addressing rehabilitations and replacements as necessary. Burnside recognizes that the above goal was not established by the Town. It should be noted that based on the current state of the inspected structures and the recent improvements made, the is only slightly underperforming on the management of their bridge assets when compared to the MTO’s established goal of 85% of he structures in “good” condition.

The trend in Figure 2.10 identifies that the overall average BCI of the Town’s inventory has generally increased over the last 6 years due to recently completed capital works projects completed since the 2015 inspections, which include the following:

- Structure No. 17 – Sideroad 24-25, Replacement (2020);
- Structure No. 11 – Concession Road 2-3, Replacement (2019);

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- Structure No. 1 – Sideroad 27-28, Replacement (2017);
- Structure No. 16 – Upper Grand Trailway, Repair (2016);
- Structure No. 9 – Concession Road 8-9, Replacement (2013); and
- Structure No. 13 – Sideroad 21-22, Replacement (2011).

Projects currently in design stage include:

- Structure No. 10 – Sideroad 27-28, Replacement (2024)

Continued maintenance and completion of rehabilitative or replacement works as recommended in the 2021 OSIM Bridge Inspection Report will help to continue with the upward condition trend of the 's bridge assets.

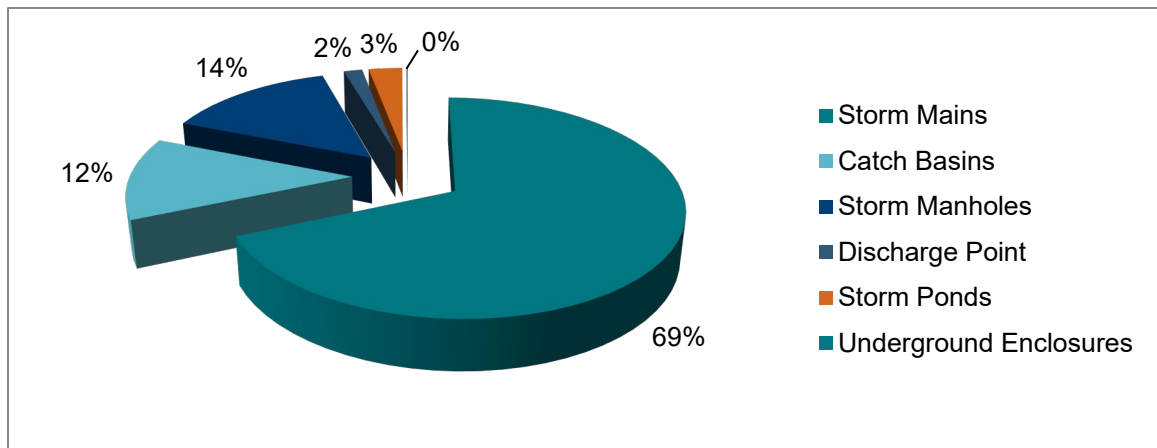
## **2.4 Storm Water Assets**

The Town has \$11.3 million of storm water assets. The majority of the storm water assets are located in the main urban area, with storm water gravity mains total replacement cost just under \$7.8 million or 17.7% of the Town's core tax supported assets not including road bases. Table 2.5 and Figure 2.11 show the distribution of Town's storm water assets. A more detailed listing of the storm water assets can be found in Appendix A. In general the storm water assets are in good condition and have a long remaining lifecycle, with low risk of failure.

**Table 2.4: Storm Water Assets**

	Length (m) / Number	Replacement Cost	Remaining Life (weighted average)	Condition (weighted average)	Risk
<b>Storm Mains</b>	12,168	\$7,760,689	79	8	Low
<b>Catch Basins</b>	426	\$1,413,364	70	7	Moderate
<b>Storm Manholes</b>	119	\$1,630,000	84	8	Low
<b>Discharge Point</b>	13	\$179,500	69	8	Low
<b>Storm Ponds</b>	5	\$325,653	83	8	Low
<b>Underground Enclosures</b>	1	\$10,000	48	5	Moderate
		<b>\$11,319,206</b>			

**Figure 2.11: Storm Water Asset Replacement Cost Distribution**



Over the last five years the Town has assumed \$3.6 million worth of storm water assets. This is an increase of approximately 30% of storm water assets, which can show an overall weighted average condition improvement. However, there is an older part of the Town which is coming to its projected half life. These older assets are recommended to have Closed Circuit Television (CCTV) inspections to ensure that there are no obstructions.

As noted above with the crossroad culvert inspection project, storm water assets are also being inspected (CCTV inspections are not part of this project). In particular emphasis is being shown to discharge points as these storm water assets are critical to ensuring storm water can flow during extreme storm events.

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The Town has completed two very large infiltration adjustment projects in the northeast portion of the urban area (Crozier/Webb/Baker/Spruyt). These projects were focussed on diverting storm water from the wastewater network. There is one identified project along Fife Street that remains to be completed sometime in the future when funding becomes available.

## **2.5 Water Rate Payer Supported Assets**

The Town water supported assets provide potable water to the Grand Valley urban community. These assets total \$12.6 million in 2021 replacement cost value which is 15% of all the Town core assets excluding the road bases. Table 2.3 provides a summary of all of the water supported assets. A more detailed review of these assets can be found in Appendix A.

Each water rate payer supported asset component identified in Table 2.3 is critical to the acquiring, treatment and distribution of potable water to the community with sufficient quantity and pressure. As this is a water rate payer supported asset grouping we shall only comment on the condition and capacity of the system.

In general the condition of the water assets are good with moderate risk of failure. The Town's water service contractor is maintaining the appropriate water distribution levels of service. The water quality and pressure are at good acceptable levels. With a new water Pumphouse – Well #5 there is an abundance supply of water to the urban part of the Town. However, the Town's water service contractor indicated that additional water storage by way of a second water tower will provide additional buffer from potential risk of water distribution shortages in the future. There was a water leak in 2022 that caused the current system to reach low water storage reserves for a short period of time.

The Town has received approval of funding and is proceeding to make necessary improvements to the Water Tower. This project will span 3 or 4 years but will move the current condition from poor to good.

Another area of concern is for the Cooper Street Pumphouse to obtain a generator that will lower any risk during a system wide power outage.

## **2.6 Wastewater Rate Payer Supported Assets**

The Town wastewater supported assets provide an environmentally acceptable safe process of returning back to nature used water supplies. The wastewater system provides services for the Grand Valley urban community. These assets total \$27.8 million in 2021 replacement cost value which is 33% of all the Town core assets excluding the road bases. Table 2.4 provides a summary of all of the wastewater rate payer supported assets. A more detailed review of these assets can be found in Appendix A.

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Each wastewater rate payer supported asset component identified in Table 2-4 is critical to the acquiring, treatment and returning of wastewater back to the environment. As this is a wastewater rate payer supported asset grouping we shall only comment on the condition and capacity of the system.

In general the wastewater system is relatively new and therefore identifies as in good condition. There are some older parts of the Town's urban area that need to have a CCTV scan completed in the next 10 to 20 years to ensure that the wastewater gravity mains are still not beyond 2/3 of their life expectancy. This then will provide the Town with the ability to install as required gravity main liners in the future and therefore extend the life of the gravity mains for an additional 30 years.

Also along Douglas Street there is one home that still requires to be connected to the Town's wastewater network. This is recommended in 2025 before the road surface is replaced.

The addition of the additional Surge Tank to the wastewater treatment plant has provided more capacity during peak flows.

## **2.7 Asset Condition**

Each asset was tracked based on estimated total useful life and remaining service life. Using this data, along with staff information, and age analysis of the Town's assets assisted in identifying potential areas of focus where inspected asset condition was not available (like subsurface or unseen assets). We want to state that asset condition is always best defined via engineering best practices. Engineering based condition assessments can provide more realistic estimates of an asset's remaining service life, which can then be used to establish asset rehabilitation and/or replacement schedules. Age related condition values can be problematic if the asset's useful life is not appropriately defined. For example, if a useful life of an asset is defined shorter than the assets true performance, this will result in a lower/poorer age assessed condition rating. This method of condition approximation was only used when inspected or staff or Town's service contractor commented conditions were not available.

A rating out of 10 was established for all assets and was based on a combination of past reported physical inspections, current inspections, staff assessment, and asset age analysis. This rating was then converted to a condition description of "Very Good" to "Very Poor" as shown in Table 2.5.

**Table 2.5: Asset Condition Format for all Assets**

Condition (Value 0-10)	Condition
9 – 10	Very Good
7 – 8	Good
5 – 6	Average
3 – 4	Poor
1 – 2	Very Poor

The condition of the assets is an important element of any lifecycle assessment process. This process also identifies maintenance and operating practices that can be applied to ensure appropriate service levels, as well as extending the life of the asset to its maximum service life.

A draft policy has been proposed that will ensure the Town's core assets are reviewed using established engineering methods and practices. Appendix B contains the draft Data Verification and Condition Assessment Policy, which identifies how often the Town's assets are recommended to be assessed.

A high-level summary of the average conditions for the Town's core assets are shown in Table 2.1, Table 2.2 and Table 2.3. The conditions listed in Table 2.1, Table 2.2 and Table 2.3 were calculated using weighted average conditions. The weighting factor used was the asset replacement costs so that the greater the cost the greater the weighting of that asset's condition used to determine the average. Using this method provides more emphasis on the more expensive to replace assets. However please note that averages are a composition of many assets in a group. Averages can be misleading with respect to immediate needs as the new assets offset the old assets requiring urgent replacement.

## 2.8 Data Accuracy and Completeness

An important element of this asset management plan is ensuring that tools and procedures are in place to maintain accuracy and completeness of the asset data and calculations moving forward. As time passes, assets are used, maintained, improved, disposed of, and replaced.

All of these lifecycle events can trigger changes to the asset database used within the asset management plan. Therefore, tools and procedures are essential to ensure the asset data remains accurate and complete. Please refer to Appendix B of this report for the draft "Data Verification and Condition Assessment Policy" for the Town. This policy illustrates how the asset data can be updated and verified going forward. This includes the timing of condition assessments for each asset type and what should be included within the condition assessment procedures.

### 3.0 Expected Levels of Service

The Town has been offering and maintaining for its residents and visitors, good service levels, during challenging economic times. The Province has demanded via Ontario Regulation 588/17 that municipalities complete asset management plans on a regular basis to ensure that appropriate investments are being made in municipal infrastructure. Reviewing past records has shown that large investments were being made into maintaining and replacing the Town's infrastructure. The last few years have seen much improvement with greater investments in Town infrastructure. It is important to note that the long term objective of the Town needs to be infrastructure sustainability. In general, the Town is performing maintenance activities when required.

#### 3.1 Scope and Process

A levels of service (LOS) analysis gives the Town an opportunity to document the levels of service that are currently being provided and compare it to the levels of service that will ensure the assets achieve their full lifecycle potential. This can be done through a review of current practices and procedures, an examination of trends or issues facing the Town and/or through an analysis of performance measures and targets that staff can use to measure performance.

Expected LOS can be impacted by a number of factors, including:

- Legislative requirements (e.g., minimum maintenance standards for roads, water, wastewater guidelines, etc.);
- Strategic planning goals and objectives;
- Resident expectations;
- Visitor expectations;
- Council expectations; and,
- Financial or resource constraints.

The previous task of determining the state of the Town's local infrastructure establishes the asset inventory and condition, as well as asset management policies and principles to guide the refinement and upkeep of asset infrastructure. The LOS analysis utilizes this information and factors in the impact of asset service level targets. It is important to document an expected LOS that is realistic to the community. It is common to strive for the highest LOS; however, these service levels usually come at a cost. It is also helpful to consider the risk associated with a certain LOS. Therefore, expected LOS should be determined in a way that balances both level of investment and associated risk to the Town.

Burnside received verbal confirmation of maintenance practices that the Town staff and service contractors undertake. We recommend that the Town revisit and update the Road Management Plan every 10 years and continue the biannual bridge inspections



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and analysis utilizing the most up to date MTO bridge/culvert degradation models. These practices provide historic condition information as well as information related to any changes to asset maintenance. This will also help better determine the remaining life of the municipality's assets.

This information will help not only identify the current needs but also future requirements due to Levels of Service changes. Ensuring that appropriate levels of service are determined and recorded helps during the Town's current rapid growth.

Figure 3.1 illustrates an example of a recommended strategy of investing more often in smaller amounts which provides higher levels of service and better asset condition with over all lower total cost over the lifecycle of the asset.

The Town's Road Management Plan Study recommended that all of the asphalt road surface improvements will be completed with the following methodology when they reach a rehabilitation point of their lifecycle requiring pulverization of the current surface and adding some gravel to reinforce the base structure and then adding the surface material. This is a practice that many rural communities are using to maintain their level of service of their hard top roads.

### **3.2 Current Levels of Service versus Expected Levels of Service**

The Town's current LOS has resulted in the current state of infrastructure as discussed in the previous section of the report. The current LOS also relates to the risk assessment discussed in later report sections. Regarding the cost of this LOS, the Town has established an operating and capital budget for the current year that includes the cost of providing this LOS. The Town is doing well with delivering levels of service as only \$63,000 per year for tax supported core assets, \$21,100 per year for water assets, and \$67,800 per year for wastewater assets was identified as additional cost to deliver identified expected levels of service for core assets.

Table 3.1 outlines broad LOS descriptions (both current and enhanced LOS). This analysis was noted through discussions with the Town's staff and engineering best practices. Based on the information provided there are a few enhanced maintenance related LOS identified. The Levels of Service cost impact analysis was factored into the financial strategy discussed in Section 5 of this report.

**Figure 3.1: Benefit of Applying Preventative Maintenance – Asphalt Road Surface Service Life**

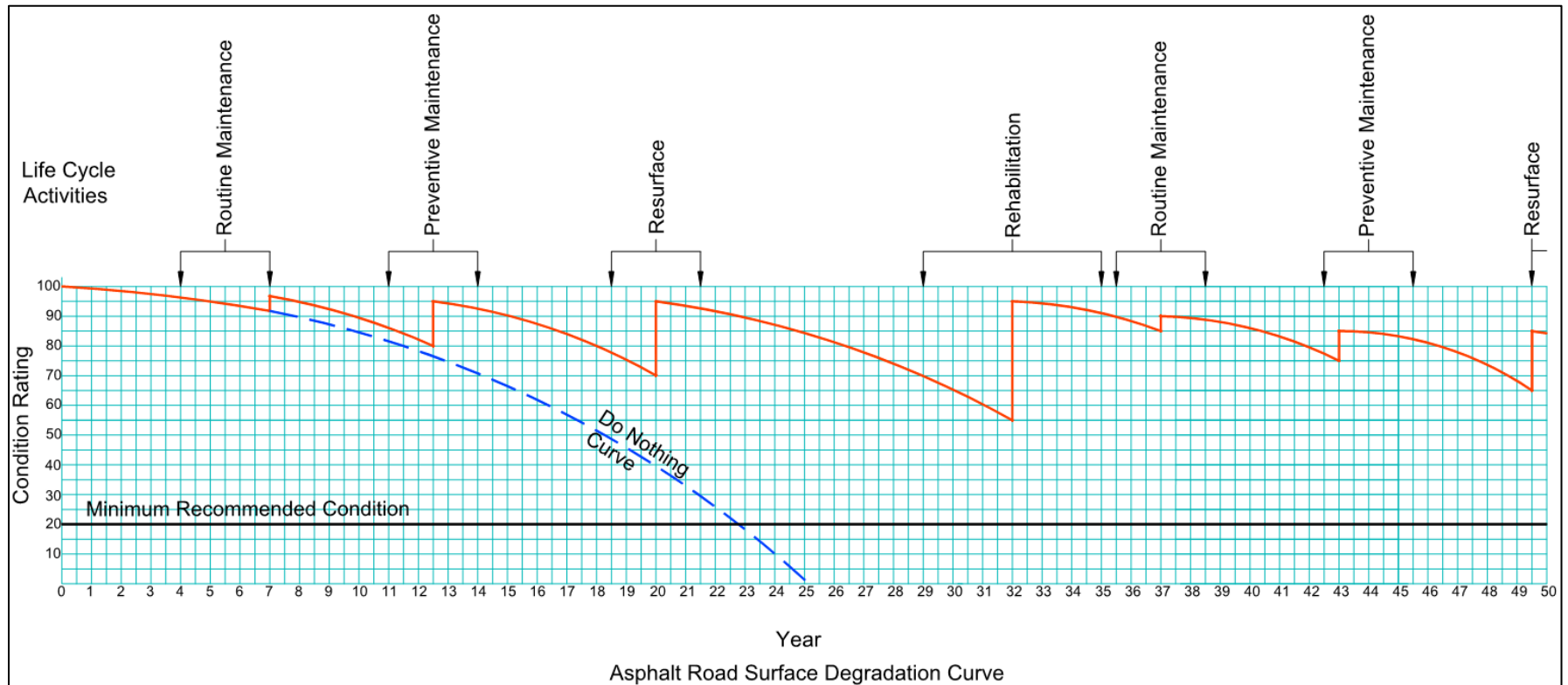


Table 3.1: Expected Levels of Service

## Roads and Road Related Assets

Expected Strategic LOS	Level of Service (LOS) Analysis					
	Current LOS	Expected LOS	Benchmark (if Applicable)	Current Cost of LOS	Estimated Cost of Expected LOS	Cost Description
<b>Safe Roads</b>	Meet "Minimum Maintenance Standards" as defined by Ontario Regulation 239/02.	Meet "Minimum Maintenance Standards" as defined by Ontario Regulation 239/02.	Regulation Standard	\$16,400	\$17,200	Town incorporates a system that assists in tracking compliance to the Provincial Regulation as well as other required maintenance activity
<b>Fix Public Identified Issues Quickly</b>	Track complaints and resolve them as quickly as possible	Track complaints by road segment.	Respond to Public Inquiry within 7 days	staff	staff	Town delivers the Level of Service well
<b>Maintain Road System Network Condition for safe use</b>	Road Maintenance is completed regularly and when required	Maintain adequate road network condition index to ensure safe roads	Standard Maintenance	\$10,000	\$40,000	Town needs to complete more annual slurry seal of roads as preventative maintenance
<b>Asphalt Roads are Clean and Clear</b>	Street sweeping and flushing are completed annually	Roads are swept and flushed to ensure they are clear of debris and safe.		\$20,000	\$20,000	Town delivers the Level of Service well
<b>Gravel Roads are well maintained and Dust Inhibited</b>	Gravel roads are smoothed when required, and Calcium Chloride applied to control dust	Gravel roads are smoothed when required, and Calcium Chloride applied to control dust		\$130,000	\$150,000	Town delivers the Level of Service well. Annual budget for surface gravel is \$60,000, and Calcium \$90,000
<b>Independent Road Condition Inspections</b>	Engineering road condition assessment via Road Needs Plan every 5-10 years. With Town staff completing in other years.	Development of on going future road capital and maintenance programs	Assess Road Conditions every 5 - 10 years with Internal assessment annually	\$45,000	\$60,000	Roads Needs Study for paved roads every 5-10 years to include Network Condition analysis
<b>Safe and well maintained Roadsides</b>	Town provides brushing, ditching, grass mowing, and shoulder maintenance to ensure roadsides are safe and well maintained	Roadsides are clear of obstructions and well maintained for safe road travel.		\$45,000	\$50,000	Town delivers the Level of Service well
<b>Winter Road Maintenance</b>	Winter roads are cleared and safe.	Roads are maintained and meet "Minimum Maintenance Standards" as defined by Ontario Regulation 239/02 and Amendments.		\$35,000	\$40,000	Town delivers this Level of Service. Cost is for Winter salt/sand.
<b>Weather forecast information</b>	Municipal staff check weather forecasts minimum 3 times per day in the Winter months (October 1 - April 30)	Weather forecasts are reviewed three times per day during the Winter Maintenance months.				Municipality delivers this Level of Service well
<b>Climate Change Extreme Weather Event Needs</b>	Town has set aside Budget for Road Repairs related to Climate Change	Municipality has set aside funds for extreme weather event maintenance/repair		\$10,000	\$20,000	Town delivers the Level of Service well
			<b>Total</b>	<b>\$311,400</b>	<b>\$397,200</b>	Capital \$227,200

**Bridge and Culvert Assets**

Expected Strategic LOS	Level of Service (LOS) Analysis					
	Current LOS	Expected LOS	Benchmark (if Applicable)	Current Cost of LOS	Estimated Cost of Expected LOS	Cost Description
<b>Safe Bridges</b>	Maintain good bridge condition and no bridges with load limits.	Maintain good condition and no load limits.	MTO bridge guides	staff	staff	Town is working out a Load Limit need on Bridge 7
<b>Bridges Maintained</b>	Follow Bridge Inspection Report recommendations for Bridge and Culvert maintenance.	Proactive Bridge and Culvert maintenance (based on bridge report).		\$35,000	\$35,000	Town is completing this LOS, as outlined in the Town's Bridge Inspection Report. Additional cost for Bridge 15 Inspections
<b>Proper Bridge Spring Maintenance</b>	Washing of all bridges, sweeping, and general cleaning are completed annually as required	Blowing out Expansion Joints & Washing of Bridges in Spring		\$15,000	\$18,000	Town is completing this LOS, with washing sweeping and general cleaning.
<b>Bridge Inspections</b>	Bridge inspections (i.e., using OSIM reports) required every 2 years.	Bridge inspections (i.e., using OSIM reports) required every 2 years.	Completed every 2 years	\$7,500	\$7,500	Town is completing this LOS, every two years
			<b>Total</b>	<b>\$57,500</b>	<b>\$60,500</b>	Capital \$7,500

**Storm Water Assets**

Expected Strategic LOS	Level of Service (LOS) Analysis					
	Current LOS	Expected LOS	Benchmark (if Applicable)	Current Cost of LOS	Estimated Cost to Move to Expected LOS	Cost Description
<b>Effective Storm Water Management</b>	Investigate and respond based on public complaints/concerns	Proper flows and clear system with little to no inhibitors	no storm water back-up incidents	\$10,000	\$15,000	Town is completing this LOS, as best it can with some flooding occurring under extreme weather events
<b>Catch Basins are clear and well Maintained</b>	Annual Catch Basin cleaning	Annual Catch Basin cleaning		\$10,000	\$10,000	Town is completing this LOS
<b>Catch Basin Manhole Upgrades</b>	Maintenance to ensure proper storm water drainage.	Regular Maintenance and Correction of Catch Basin and Manhole issues		\$15,000	\$20,000	Town is completing this LOS.
<b>Storm Ponds</b>	Storm Ponds are staff inspected from shore	Proper Storm Pond investigations are performed and remedial action taken		Staff	Staff	Town is reviewing and assessing appropriate action to be taken
<b>Foundation Drain Collector Improvements</b>	Riverhill area of Town has completed some separation of Storm water from Sanitary system, via Storm Foundation Drains	Appropriate Surface Water Management that is separated from Town Sanitary system			\$1,250,000	More has to be done to reduce the Storm Water entering the Sanitary system. Estimated cost for completing this Capital Project. Town

Expected Strategic LOS	Level of Service (LOS) Analysis					
	Current LOS	Expected LOS	Benchmark (if Applicable)	Current Cost of LOS	Estimated Cost to Move to Expected LOS	Cost Description
						seeking Grant/Funding source to pay for this project
<b>Storm Water Mains are clear and well Maintained</b>	Infiltration into Wastewater system is being investigated and project planned for correction	CCTV review and assessment completed every 15 yrs. Implement plan for repairs & maintenance that result in system efficiencies.		staff	\$5,000	CCTV program to review Town system. Town has some equipment but do not believe is good enough for detail inspections. Cost recommended for annual inspections with priority going to older mains.
			<b>Total</b>	<b>\$35,000</b>	<b>\$1,300,000</b>	Capital \$1,255,000

**Water Assets**

Expected Strategic LOS	Level of Service (LOS) Analysis					
	Current LOS	Expected LOS	Benchmark (if Applicable)	Current Cost of LOS	Estimated Cost of Expected LOS	Cost Description
<b>Source Water is well Protected</b>	Maintaining appropriate Zoning and Planning to ensure Source Water Protection	Maintaining appropriate Zoning and Planning to ensure Source Water Protection		\$19,000	\$20,000	Town is completing this LOS. Annual Monitoring Program ensures compliance with Water Permits
<b>Production Wells are well Maintained</b>	Appropriate maintenance is undertaken when required. Wells 1 and 2 are inspected daily. Wells 3 and 4 are inspected twice a year. Every 5 years there is a video inspection completed.	Appropriate maintenance is undertaken when required		\$30,000	\$35,000	Town is completing this LOS, via Contractor. Video inspections occur once every 5 years or sooner if required. Cost of \$35,000
<b>Treatment Processes Meet Legislative Requirements</b>	Meet all legislative requirements.	Meet all Provincial legislative requirements.	Provincial Guidelines	\$20,000	\$25,000	Town is completing this LOS, via Contractor. Cost identified for Schedule 23/24 water sample testing that is completed once every 3 years. Chlorine is ordered by the Contractor but paid by the Town.
<b>Well Maintained Generator</b>	Tested monthly.	Tested and well maintained generator		\$2,000	\$2,500	Town is completing this LOS on the Generator that is in service. It is recommended that the Cooper Water Pump House purchase and install a generator which will increase the annual service costs.
<b>Backup Power Supply</b>	There is no Backup Power Supply at the Cooper St Pump House	All Production Wells and Pump Houses have appropriate backup power			\$150,000	Need for a Backup Power Supply at the Cooper Street Pump House (in asset listing)

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Expected Strategic LOS	Level of Service (LOS) Analysis					
	Current LOS	Expected LOS	Benchmark (if Applicable)	Current Cost of LOS	Estimated Cost of Expected LOS	Cost Description
<b>Appropriate Water Storage for Distribution Network</b>	Water Storage is sufficient for currently approved developments. Variable Drives installed in 2017 has provided for more stability in water supply.	Water Storage meets the needs of the Water Distribution Network		\$140,400	\$145,000	Town is completing this LOS, via Contractor. Cost identified for Contractor Services.
<b>Efficient Water Distribution System</b>	Water losses plan is being developed with Contractor and Town	Water Losses are tracked and minimized		Contractor		Town is working towards completing this LOS.
<b>System Valves are exercised and well maintained</b>	System valves are exercised on a three year rotation. Replaced when required	System valves are exercised and well maintained		Contractor	Contractor	Town is completing this LOS. Contractor completing via annual service contract
<b>Scada System Software Adjustments</b>	Scada system is modified to ensure appropriate water quality and quantity distribution	Scada System is reviewed and well maintained to ensure appropriate water quality and quantity distribution		\$10,000	\$15,000	Town has system adjustments annually made as required to fulfill appropriate LOS.
<b>Sufficient Water pressure for Fire Protection</b>	Water pressure meets and exceeds Fire Protection Standards with over 50psi	Water Pressure meets Fire Protection Standards of 50psi		Contractor	Contractor	Town is completing this LOS
<b>Safe Pumphouse Buildings</b>	Meet legislative requirement (Building Code, Fire Code, Health & Safety, etc.)	Meet legislative requirement (Building Code, Fire Code, Health & Safety, etc.)	Provincial Guidelines	staff / Contractor	staff / Contractor	Town is completing this LOS
<b>Heating Systems are inspected and maintained</b>	Heating systems are well maintained to ensure proper operations	Heating systems are well maintained to ensure proper operations		\$1,500	\$1,500	Town is completing this LOS. Need to repair annually due to potential chlorine levels in Pumphouse.
<b>Hydrant Inspection and Valve turning</b>	All are inspected and valves turned in the Spring. Select Hydrants are inspected and valves turned in the late Fall	Hydrants are inspected and valves exercised completing any required maintenance		Contractor	Contractor	Town is completing this LOS, via Contractor. Approximate annual maintenance costs.
<b>Hydrants are Flushed and Swabbed</b>	All are flushed twice a year.	Flushing Program meets Guideline Standards		Contractor	Contractor	Town is completing this LOS. Annual refurbishing program
			<b>Total</b>	<b>\$222,900</b>	<b>\$394,000</b>	Capital \$150,000 (in Cooper St Pumphouse asset listing)

## Wastewater Assets

Expected Strategic LOS	Level of Service (LOS) Analysis					
	Current LOS	Expected LOS	Benchmark (if Applicable)	Current Cost of LOS	Estimated Cost of Expected LOS	Cost Description
<b>Treatment Processes Meet Legislative Requirements</b>	Meet all legislative requirements.	Meet all Provincial legislative requirements.	Provincial Guidelines	part of OCWA contract	part of OCWA contract	Town is completing this LOS
<b>Safe Treatment Buildings</b>	Meet legislative requirement (Building Code, Fire Code, Health & Safety, etc.)	Meet legislative requirement (Building Code, Fire Code, Health & Safety, etc.)	Provincial Guidelines	\$1,500	\$1,500	Town is completing this LOS
<b>Well Maintained Generator</b>	Tested monthly.	Tested and well maintained generator		\$2,000	\$2,500	Town is completing this LOS on the Treatment Plant Generator.
<b>Clean and well Maintained Treatment Facilities</b>	Town has well maintained facilities	Proactive facility maintenance.		\$350,000	\$400,000	Town is completing this LOS, via OCWA Operating Contract (\$280,000/280,000 operating/maintenance and \$60,000/110,000 system parts)
<b>Well Maintained Pumps</b>	Pumps are inspected regularly and maintained with sufficient redundancy	Proactive pump maintenance.		\$15,000	\$18,800	Town is completing this LOS
<b>Efficient Collection System</b>	Town continues to try and locate and correct storm water infiltration	Wastewater mains are clear of obstructions, infiltration and leaking.		\$4,000	\$7,500	Town has completed some separation of some storm water connections to wastewater mains. More inspection needs to be completed on annual basis - in particular the older parts of the WW network
<b>UV Disinfectant System is Well Maintained</b>	Town continues to replace as necessary UV lights and system parts.	Proactive UV System maintenance		\$7,000	\$7,000	Town is completing this LOS. Additional UV system parts are being replaced
<b>Out Buildings are Well Maintained</b>	Tank cleanout and inspections are completed regularly	Proactive maintenance is completed		\$20,000	\$20,000	Town is completing this LOS.
<b>Manholes well maintained</b>	Cleaning Flushing when required and replacing brick risers and other maintenance	Inspection and Appropriate Maintenance of Manholes		\$25,000	\$25,000	Town is completing this LOS
<b>Minimize Incidents of bypass</b>	Town Operators ensuring that the treatment system is working efficiently minimizing treatment bypasses	Wastewater treatment facility is operating effectively and efficiently minimizing potential treatment bypass		part of OCWA contract	part of OCWA contract	Town uses OCWA as their Wastewater Treatment operator. No bypass issues were recorded.

Expected Strategic LOS	Level of Service (LOS) Analysis					
	Current LOS	Expected LOS	Benchmark (if Applicable)	Current Cost of LOS	Estimated Cost of Expected LOS	Cost Description
<b>Scada System Software Adjustments</b>	Scada system is modified to ensure appropriate treatment and water quality before release into the environment	Scada system is modified to ensure appropriate treatment and water quality before release into the environment		\$5,000	\$15,000	Town has system adjustments annually made as required to fulfill appropriate LOS.
<b>Track Complaints</b>	Town tracks and follows up on all complaints	Document and track all complaints by system segment to ensure a well maintained system		part of OCWA contract	part of OCWA contract	Town is completing this LOS. Only one issue reported when flushing system in 2021. Different process will be used for flushing in 2022.
			<b>Total</b>	<b>\$429,500</b>	<b>\$497,300</b>	



### 3.3 Town Growth

The Town continues to grow at one of the highest rural rates across the Province. As such it is important to recognize that as this rapid growth continues that the Town will need to invest in more equipment and staff to maintain appropriate asset service levels. As an example Table 3.2 outlines the potential growth over the next ten years. Please note that the information is not fully approved only preliminary and also does not have all the asset types identified.

**Table 3.2: Current Identified Potential Growth**

Development	Asphalt Road (m)	Sidewalk (m)	Street Lights	Water Main (m)	Hydrants	Water System Valve	Wastewater Gravity Main (m)	Wastewater Manhole	Storm Water Gravity Main (m)	Storm Water Manhole	Catch Basin	Storm Ponds
Corseed	812	945		1,150	1		1,188	26	1,150	25	14	1
Moco	2,030	2,880	43	1,194	20	23	2,550	42	2,322	46	50	1
Mayberry 3a	1,100	1,226	28	1,155	16	11	1,303	21	1,178	23	37	
Mayberry 3b	1,668	1,439					1,596	25	1,950	34		1
Rivers Edge	1,090								1,100			2
<b>Total</b>	<b>6,700</b>	<b>6,490</b>	<b>71</b>	<b>3,499</b>	<b>37</b>	<b>34</b>	<b>6,637</b>	<b>114</b>	<b>7,700</b>	<b>128</b>	<b>101</b>	<b>5</b>

With such rapid growth the Town must not forget the older assets that will require improvements/replacement to maintain good levels of service.

## 4.0 Asset Management Strategy

### 4.1 Scope and Process

The asset management strategy provides the recommended course of actions required to maintain (or move towards) a sustainable asset position while delivering the levels of service discussed in the previous section. The course of actions, when combined together, form a long-term operating and capital forecast that includes:

- **Non-infrastructure solutions:** Reduce costs and/or extend expected useful life estimates;
- **Maintenance activities:** Regularly scheduled activities to maintain existing levels of service levels, or repairs needed due to unplanned events;
- **Renewal/Rehabilitation:** Significant repairs or maintenance planned to maintain the levels of service and increase the remaining life of assets; and,
- **Replacement/Disposal:** Complete disposal and replacement of assets when renewal or rehabilitation is no longer an option.

Priority identification becomes a critical process during the development of an asset management strategy. Priorities have been determined based on assessment of the overall risk of asset failure, which is determined by looking at both the probability of an asset failing, as well as the consequences of asset failure. The consequences of the municipality not meeting desired levels of service must also be considered in determining risk. As discussed in Section 3.0, adding enhanced levels of service results in both operating and capital budget impacts over the 10 year forecast period. This has to be taken into consideration, with the overall objective of reaching sustainable levels while mitigating risk.

### 4.2 Risk Assessment

The risk of an asset failing is defined by the following calculation:

**Risk of Asset Failure = Probability of Failure X Consequence of Failure**

Probability of failure has been linked to the condition assessment for each asset, assuming that an asset in “very good” condition has a “rare” probability of failure. The following table outlines the probability factor tied to each condition rating:

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**Table 4.1: Probability of Failure Matrix**

Condition (Value)	Condition	Probability of Failure
9 – 10	Very Good	Rare
7 – 8	Good	Unlikely
5 – 6	Average	Possible
3 – 4	Poor	Likely
1 – 2	Very Poor	Almost Certain

Consequence of failure has been determined by examining each asset type separately. Consequence refers to the impact on the municipality if a particular asset were to fail.

Types of impacts include the following:

- **Cost impacts:** the cost of failure to the Town (i.e., capital replacement, rehabilitation, fines and penalties, damages, etc.);
- **Social impacts:** potential injury or death to residents/public;
- **Environmental impacts:** the impact of the asset failure on the environment; and,
- **Service delivery impacts:** the impact of the asset failure on the Town’s ability to provide services at desired levels.

Each type of impact was reviewed and consequence of failure for each asset type was determined by using the information contained in Table 4.2 as a guide to assess the level of impact. Levels of impact were documented as ranging from “significant” to “insignificant”.

**Table 4.2: Consequence of Failure Matrix**

	<b>Cost</b>	<b>Social</b>	<b>Environmental</b>	<b>Service Delivery</b>
<b>Significant</b>	Significant Cost – Difficult to Recover	Death, Serious Injury	Long-term Impact – Permanent	Major Interruptions
<b>Major</b>	Substantial Cost – Multi-year Budget Impacts	Major Injury	Long-term Impact – Fixable	Significant Interruptions
<b>Moderate</b>	Considerable Cost – Requires Revisions to Budget	Moderate Injury	Medium-term Impact – Fixable	Moderate Interruptions
<b>Minor</b>	Small/Minor Cost – within Budget Allocations	Minor Injury	Short-term/Minor Impact – Fixable	Minor Interruptions
<b>Insignificant</b>	Negligible or Insignificant Cost	No Injury	No Impact	No Interruptions

With both probability of failure and consequence of failure documented, total risk of asset failure was determined using the matrix contained in Table 4-3. Total risk has been classified under the following categories:

- **Extreme Risk (E):** Risk beyond acceptable levels;
- **High Risk (H):** Risk slightly beyond acceptable levels;
- **Medium/Moderate Risk (M):** Risk at acceptable levels, monitoring required to ensure risk does not become high; and,
- **Low Risk (L):** Very little risk.

**Table 4.3: Total Risk of Asset Failure Matrix**

<b>Probability of Failure</b>	<b>Consequence of Failure</b>				
	<b>Significant</b>	<b>Major</b>	<b>Moderate</b>	<b>Minor</b>	<b>Insignificant</b>
<b>Almost Certain</b>	E	E	H	H	M
<b>Likely</b>	E	E	H	M	M
<b>Possible</b>	H	H	M	M	L
<b>Unlikely</b>	H	M	M	L	L
<b>Rare</b>	M	M	L	L	L

Risk levels can be reduced or mitigated through planned maintenance, rehabilitation and/or replacement of an asset. An objective of this asset management plan is to identify ways to reduce risk levels where they are deemed to be too high, as well as ensure assets are maintained in a way that keeps risk at acceptable levels.

### 4.3 Priority Identification

Through a review of the asset risk of failure assessment, the assets/categories listed below were identified as being priorities of the Town for over the next few years. These lists of capital asset improvements/replacements is only for the next few years, and do not limit the needs that the Town requires to become fully sustainable. The Finance Strategy will further outline the needs for investing in assets annually via reserves to ensure that funds are available for future asset replacements.

#### 4.3.1 Roads

- Leeson Street from 175m south of Mill Street to Mill Street – asphalt resurfacing (recommended improvement in 2023, approximate cost \$28,560)
- West Alley from Mill Street to Amaranth Street – asphalt resurfacing (recommended improvement in 2023, approximate cost \$33,696)
- Bielby Street from Amaranth St. to Gier Street – asphalt resurfacing (recommended improvement in 2025, approximate cost \$18,480)
- Concession Road 8-9 from Sideroad 24-25 to Sideroad 27-28 – rehabilitation of asphalt surface and road base. Pulverization of surface asphalt and adding some gravel to provide more structure to the road base (recommended improvement in 2025, approximate cost surface \$252,167, and base \$201,433)
- Douglas Street from Leeson Street to Emma Street – asphalt resurfacing is a current need, however will wait for the design and installation of a wastewater connection of one final home at the centre of this road segment (recommended improvement in 2025, approximate cost road surface \$20,160)
- Emma Street from Amaranth Street to Douglas Street – asphalt resurfacing is a current need, however there is a storm water gravity main issue along this road segment that requires the gravity main to be replaced at a deeper depth to avoid potential winter freezing (recommended improvement in 2025, approximate cost \$36,960)
- Leeson Street from Amaranth Street to Douglas Street – asphalt resurfacing is a current need, however there needs to be a CCTV inspection of the wastewater gravity main to ensure the condition of this sewer main has at minimum 25 more years of service life (recommended improvement in 2025, approximate cost road surface \$38,640)
- MainStreet from Parkview Street to End/Park Entrance – asphalt resurfacing and review of off road catch basins (recommended improvement in 2025, approximate cost \$15,120)
- The Town is currently inspecting all their crossroad culverts and storm water outfalls via the Federation of Canadian Municipalities (FCM) asset management funding. This project will better identify crossroad culverts that require maintenance or replacement. There are six crossroad culverts identified based on their age that

potentially require replacement in 2023 for approximate total cost of \$17,960. It is recommended that the Town wait for the results of the current inspection project to assess which culverts require replacement or just flushing.

#### **4.3.2 Bridges**

All bridges and large culverts (over 3 m diameter) are a concern to the Town as a failure of this type of asset can result in a major consequence of failure.

- Bridge 7 on Sideroad 24-25 – requires engineering feasibility study and geotechnical investigation (recommended improvement in 2023, approximate cost \$25,000)
- Bridge 10 on Sideroad 27-28 – requires completion of the engineering design (recommended improvement in 2023, approximate cost \$10,000)
- Bridge 7 on Sideroad 24-25 – requires engineering design and permits (recommended improvement in 2024, approximate cost \$60,000)
- Bridge 10 on Sideroad 27-28 – bridge replacement (recommended improvement in 2024, approximate cost \$1,139,500)
- Bridge 3 on Sideroad 21-22 – requires engineering design and permits (recommended improvement in 2025, approximate cost \$20,000)
- Bridge 4 on Sideroad 24-25 – requires engineering design and permits (recommended improvement in 2025, approximate cost \$21,000)
- Bridge 12 on Sideroad 27-28 – requires engineering design and permits (recommended improvement in 2025, approximate cost \$21,000)

#### **4.3.3 Storm Water**

- Storm water headwall and discharge point/outfall into the Grand River just east of Bielby Street – requires replacement both age based and initial inspection from the FCM storm water inspection project indicates need for replacement (recommended improvement in 2023, approximate cost \$7,500)
- Emma Street from Amaranth Street to Douglas Street Storm Water Gravity Main and Catch Basins – There is a need to replace the storm water gravity main too a deeper depth as the current gravity main can at times freeze up during the winter, and at the same time replace the catch basins (recommended improvement in 2025, approximate cost gravity main \$36,120, catch basins \$12,000)

#### **4.3.4 Water**

- Water Tower – requires some necessary improvements to upgrade the water tower condition (recommended and funding approved for 2023, 2024, 2025, approximate cost to the Town \$49,273, \$98,546, \$98,545.65 respectively)
- Cooper St Water Pumping Station – the Town's water system service provider indicated that the Town requires a generator that will ensure power during electrical power outages (recommended improvement in 2023, approximate cost \$150,000)

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- Melody Lane Water Pumping Station – based on age the chemical analyser requires replacement (recommended improvement in 2024, approximate cost \$5,000)
- Town Office - based on age the chemical analyser requires replacement (recommended improvement in 2023, approximate cost \$7,500)
- Water Meters – Based on discussions with Town staff it is recommended that the water meters be replaced over a five year period (recommended improvement in 2023, 2024, 2025, 2026, and 2027, approximate cost \$10,000 per year)

#### 4.3.5 Wastewater

- Wastewater Treatment Plant Blower-Sludge Pumping Building – The Town’s service provider identified that there needs to be an improvement to the Screw Centrifugal Pumps (recommended improvement in 2023, approximate cost \$4,000)
- Wastewater Treatment Plant Blower-Sludge Pumping Building – The Town’s service provider identified that there needs to be an improvement to the Biosolids Mixing Pumps (recommended improvement in 2024, approximate cost \$15,000)
- Wastewater Treatment Plant Headworks Building – The Town’s service provider identified that there needs to be an improvement to the Septage Transfer Pumps (recommended improvement in 2023, approximate cost \$6,500, and in 2025 approximate cost \$2,500)
- Wastewater Treatment Plant Headworks Building – The Town’s service provider identified that there needs to be an improvement to the Automatic Screening System (recommended improvement in 2023, approximate cost \$5,500)
- Wastewater Treatment Plant Headworks Building – The Town’s service provider identified that there needs to be an improvement to the Automatic Degritting System (recommended improvement in 2023, approximate cost \$5,500)
- Emma Street Wastewater Pumping Station – The Town’s service provider identified that the Submersible Sewage Pumps need to be improved (recommended improvement in 2023, approximate cost \$25,000 and in 2024 for approximately \$15,000)
- Wastewater Air Release Chamber – Based on age of the Air Release Valve indicates that it needs to be replaced (recommended improvement in 2023, approximate cost \$3,500)
- Amaranth Street Wastewater Pumping Station – The Town’s service provider identified that there needs to be an improvement to Pump 2 (recommended improvement in 2023, approximate cost \$5,500, again in 2025, at a cost of \$5,500)
- Amaranth Street Wastewater Pumping Station – The Town’s service provider identified that there needs to be an improvement to Pump 1 (recommended improvement in 2024, approximate cost \$5,500)
- Douglas Street Wastewater service connection – Prior to resurfacing Douglas Street providing a wastewater service connection to the last home on the street (recommended improvement in 2025, approximate cost \$10,000)

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- Leeson Street Wastewater gravity main from Amaranth to Douglas – CCTV scanning of the sewer gravity main is recommended before repaving work is to be done (recommended improvement in 2025, approximate cost \$2,900)
- Wastewater Treatment Plant Administration – Maintenance – UV Building – The Town's service provider identified that there needs to be a replacement to the UV bulbs/ballast (recommended improvement in 2025, approximate cost \$5,000)

#### 4.4 Climate Change

Over the past decade there has been increased numbers of extreme weather events which are putting greater stress on municipal infrastructure, and pressure to ensure levels of service are maintained. Climate change poses a real risk management question which needs to be addressed within the context of municipal decision making.

Some climate change projections (Federation of Canadian Municipalities):

- Warmer summer temperatures;
- Warmer winter temperatures;
- More intense storms;
- Longer droughts;
- Increased frequency and amount of ice;
- Summers stretching longer; and,
- Sea level rising.

The Town of Grand Valley has witnessed some of these climate change projections already causing potential challenges with road washouts from extreme weather events, or quick winter thaw runoff. Many roads as well as crossroad culverts have not been designed for such intense high-volume rainstorms.

Identifying areas of concern will help the Town to design road and storm water assets to improve resiliency to extreme weather events. This type of investment will reduce risk of failure of infrastructure and ensure appropriate levels of service are maintained for the public.

Another factor to climate change issues is the materials used in asset construction. The focus is to reduce the total carbon footprint on the construction of infrastructure assets. Investing in infrastructure with a long-term view provides both better levels of service as well as reducing the total carbon footprint.

As noted above the Town is completing a project that is inspecting all of the crossroad culverts which will provide condition size and material information. The project will provide the Town with areas of concern and focus for upgrading over a 10 year period. This will help the Town make good progress to becoming a more climate change resilient municipality.



## 4.5 Long-term Forecast

For many years, lifecycle costing has been used in the field of engineering to evaluate the advantages of using alternative materials in construction or production design. The method has gained wider acceptance and use recently in the management of capital assets. By definition, lifecycle costs are **all** the costs which are incurred during the lifecycle of a capital asset, from the time it is purchased or constructed, to the time it is taken out of service for disposal/replacement.

In defining the long-term forecast for the Town's asset management strategy, costs incurred through an asset's lifecycle, the asset's condition, expected LOS, and risk were considered and documented. Asset replacement analysis in forecasting the Town's asset replacement needs are summarized in Figure 4-1, Figure 4-2, and Figure 4-3 which we are calling Asset Strategy based on expected levels of service.

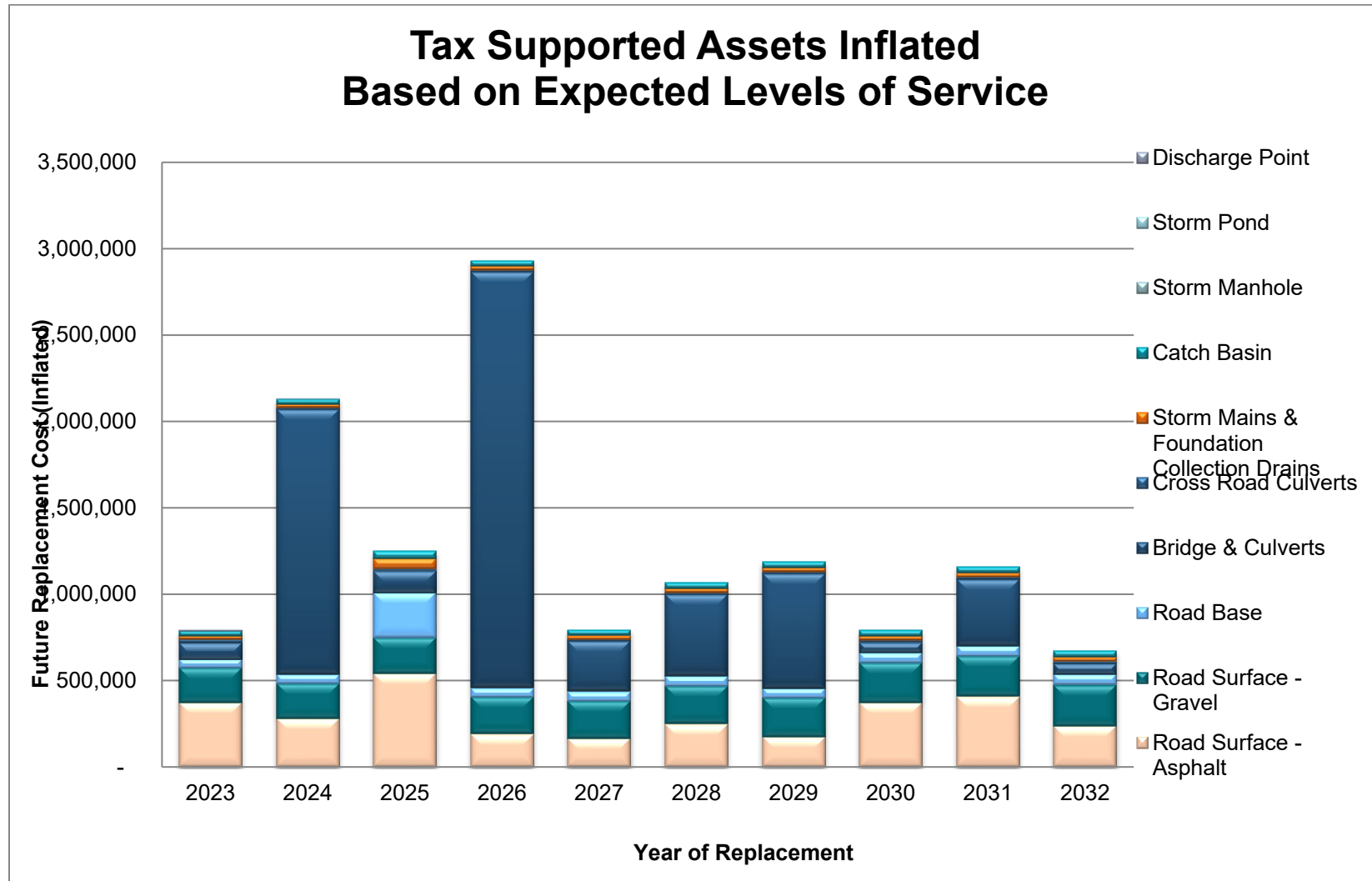
The asset strategy incorporated all of the information discussed above in this report and based on the information provided by the Town, past reports, staff input, and understanding of the asset's reaction in their current environment as well as the expected asset maintenance levels, and the current asset condition, which is expected to produce a reduced asset potential risk of failure. The outcome of this scenario approach was to provide appropriate asset service levels, and the assets were expected to meet or exceed their useful life which reduces expected infrastructure deficits. In total (all core tax supported assets), \$12.8 million in assets (inflated to appropriate year) are shown as maintenance, improvement, rehabilitation and replacement needs over the 10 year forecast. The water rate payer supported assets \$2.9 million, and wastewater rate payers supported assets \$5.9 million over the 10 year forecast period. This is the recommended asset strategy for the Town of Grand Valley.

Assets like Bridges, and major culverts, are not expected to be replaced for usually over 50 years. It needs to be stated, to ensure that these assets have reserve funding for their rehabilitation/replacement schedule in the future. The Financial Strategy provides the Town with an investment plan into their reserve accounts.

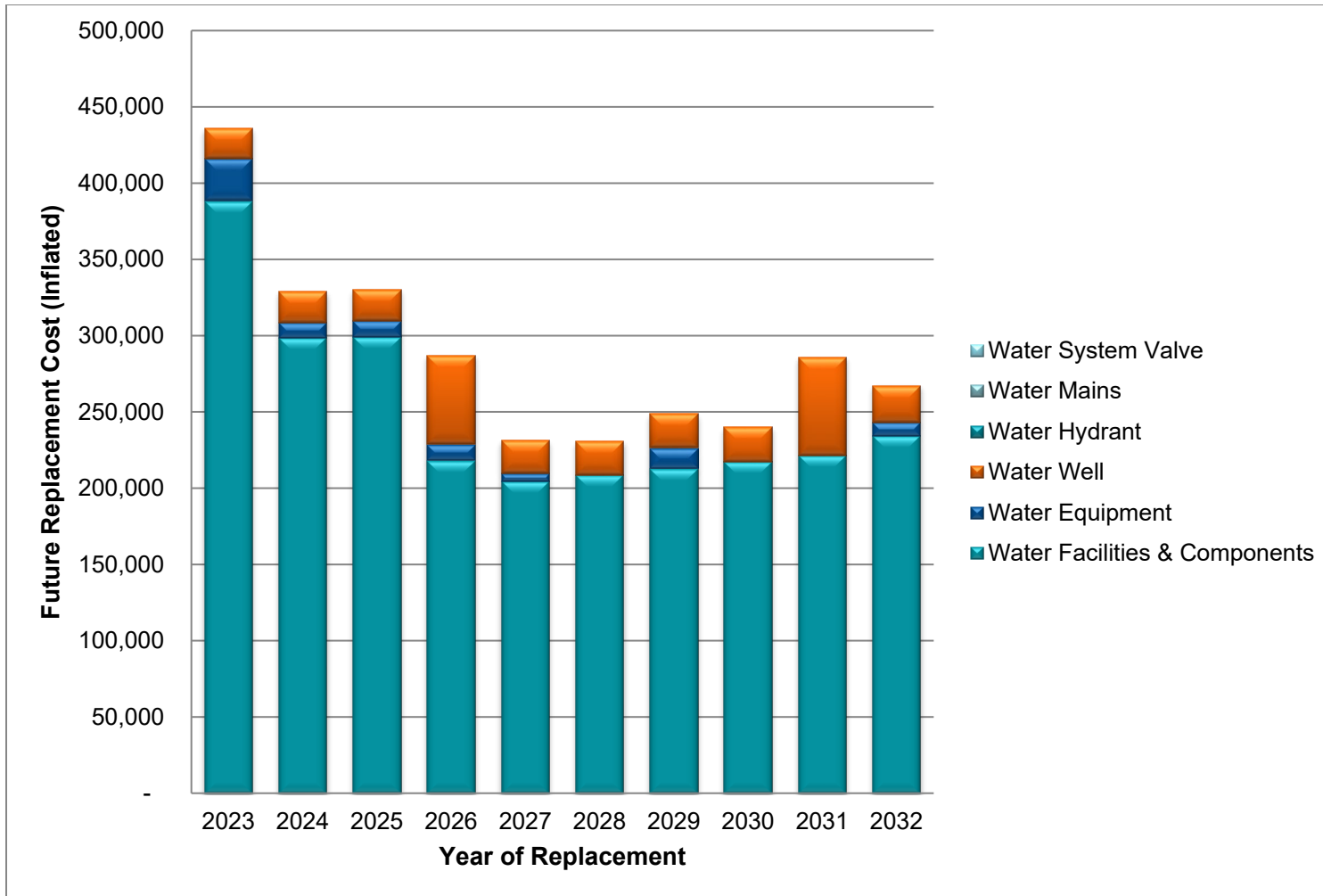
For the recommended asset strategy to be feasible, the expected level of service adjustments discussed in Section 3 are needed in conjunction with the current level of service amounts in order to effectively maintain and rehabilitate the assets as required.

The financing strategy discussed in the next section will incorporate the level of service adjustments into the recommended financing analysis.

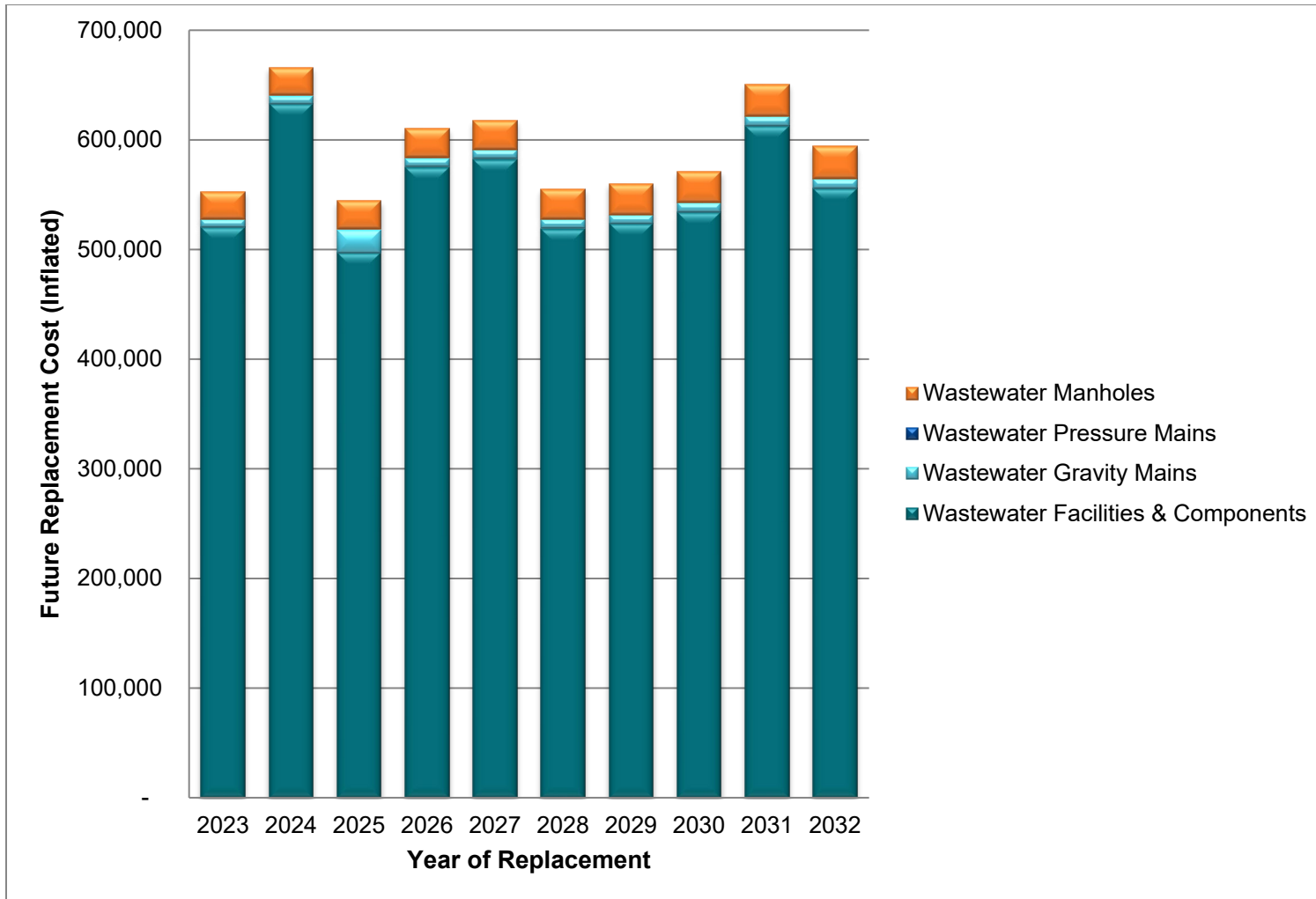
Figure 4.1: Proposed Asset Strategy Based on Expected Levels of Service



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## 5.0 Financing Strategy

### 5.1 Scope and Process

The financing strategy provides the recommended use of various funding sources to finance the asset management strategy and levels of service recommendations discussed in Sections 3.0 and 4.0. The financing strategy also provides recommendations to increase annual investments in assets that will be used beyond this report's 10 year forecast period.

### 5.2 Funding Sources

The following funding sources have been used within the financing strategy:

**Grant Funding:** It has been assumed that Gas Tax Funding (now called the Canada Community Building Fund) will continue throughout the forecast period. The Town's allocation is expected to reach \$97,826 by 2023 and it has been assumed that funding will remain constant at this amount moving forward.

It has been assumed that Ontario Community Infrastructure Fund (OCIF) annual amounts will increase to 2022 levels and remain constant at this amount, \$239,926 per year, over the forecast period. The province is currently reviewing the formula for OCIF funding and has dedicated additional funding to this program.

The Town has been successful in obtaining "Investing in Canada Infrastructure Program" (ICIP) funding. While a significant portion of this relates to non-core assets, there is approved ICIP funding that is water related.

**Operating Budget:** The Town includes annual amounts in the tax supported operating budget to fund capital. It has been assumed that \$400,000 of this funding will be dedicated to tax supported core infrastructure annually throughout the forecast period. This is equivalent to the annual amount invested in tax supported core infrastructure capital historically.

Given that there are levels of service recommendations that are operating in nature, it has been assumed that these costs will be funded from the annual operating budget. This could be through existing funding or proposed increases each year.

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- Reserves:** The Town’s existing “Roads & Bridges Reserve” has been utilized as a funding source for tax supported core infrastructure capital needs over the forecast period. Water and Wastewater capital reserves exist for water and wastewater supported assets. Reserves becomes the primary source of capital funding over the forecast period. It is recommended that increases in annual asset investment for core infrastructure be allocated to reserves for capital use.
- Water/Wastewater:** The Town has a Water and Wastewater Rate Study that sets current and future water/wastewater rates to support ongoing operating costs and capital needs. Rates are established in a manner that allows for transfers from water and wastewater operating budgets to water and wastewater capital reserves annually to fund asset investments.
- DC & Developer:** Development Charges (DCs) are in place to fund costs considered growth-related in nature. While the capital forecast in this asset management plan is net of growth-related costs, DCs will be discussed in this chapter. Developer contributions (including front ending agreements) are also a funding source available to the Town that will be discussed below.
- Debt:** If all other funding sources fall short in funding recommended lifecycle needs each year, debt financing is recommended. Debt financing is anticipated within the forecast period for core infrastructure (see the analysis provided below).

### **5.3 Historic Asset Investment (Tax Supported Core Asstes)**

The following table outlines the Town’s historic capital investment in assets. As shown, the annual investment has fluctuated over the last two years.

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**Table 5.1: Historic Asset Investment - Capital**

<b>Funding Type - Tax Supported</b>	<b>2021</b>	<b>2022</b>
Canada Community Building Fund (Gas Tax)	93,750	93,750
OCIF Funding	119,067	239,926
Transfer from Operating (Core Infrastructure)	374,850	400,000
Contribution to Roads & Bridges Reserve	-	-
<b>Total Annual Asset Investment - Capital</b>	<b>587,667</b>	<b>733,676</b>
Less: One-time top-up of the Canada Community Building Fund (Gas Tax)		
<b>Total 2021 Asset Investment - Capital (Sustainable)</b>	<b>587,667</b>	<b>733,676</b>

\* Excludes the Safe Restart and OMPF grants as they are operating in nature. Excludes ICIP grants as they are one-time contributions.

\*\* OCIF Funding Formula for 2023 is under review, however a province wide sustainable increase in funding has been announced.

\*\*\* Transfer from operating not available for 2022. Assumed to be \$400,000 for future planning purposes.

Therefore, a capital asset investment in 2022 of \$733,676 becomes the starting point for recommending increases in annual asset investments over the forecast period.

#### 5.4 Optimal Asset Investment (Tax Supported Core Assets)

Based on an analysis of the Town's capital assets in terms of replacement cost and useful life, the following summary of optimal annual asset investment has been created.

**Table 5.2: Optimal Asset Investment Summary**

<b>Tax Supported Core Infrastructure</b>	<b>Replacement Cost</b>	<b>Weighted Average Useful Life</b>	<b>Annual Replacement Investment</b>
Roads	8,042,120	25	321,700
Road Base	124,514,290	60	50,000
Bridges & Culverts	22,852,000	72	317,400
Cross Road Culverts	1,015,217	30	33,800
Storm Mains	7,760,689	98	79,200
Catch Basin	1,413,364	100	14,100
Storm Manhole	1,630,000	100	16,300
Storm Pond	325,653	100	3,300
Discharge Point	179,500	86	2,100
Underground Enclosures	10,000	100	100
<b>Total</b>	<b>167,742,833</b>		<b>838,000</b>

\* excludes non-core infrastructure assets

\*\* Road Base annual investment for maintenance only

In summary, an annual asset investment of \$838,000 is needed to fund long-term asset management planning needs for core infrastructure. This does not include other non-

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core assets that have been excluded from this asset management plan. In addition, annual asset investments for road base assets are based on level of service costs identified in this asset management plan and not full replacement.

This \$838,000 annual asset investment becomes the funding target over the forecast period. However, this target increases over time as inflation increases this amount annually. Assuming 2% annual inflation, the target annual capital asset investment amount becomes \$1,001,756 by the year 2032.

### **5.5 Financing Strategy (Tax Supported Core Assets)**

The detailed 10-year financing strategy is provided in Appendix C to this report.

As the 2022 Budget has already been developed and passed by the Town, all recommendations provided in this chapter are recommended to be implemented starting in 2023. Also, similar to Section 4, a 2% inflation factor has been applied annually to all costs.

The following table provides a high-level summary of the 10-year forecast by cost type (i.e., asset replacement needs, asset rehabilitation needs, and levels of service recommendations) for tax supported core assets.



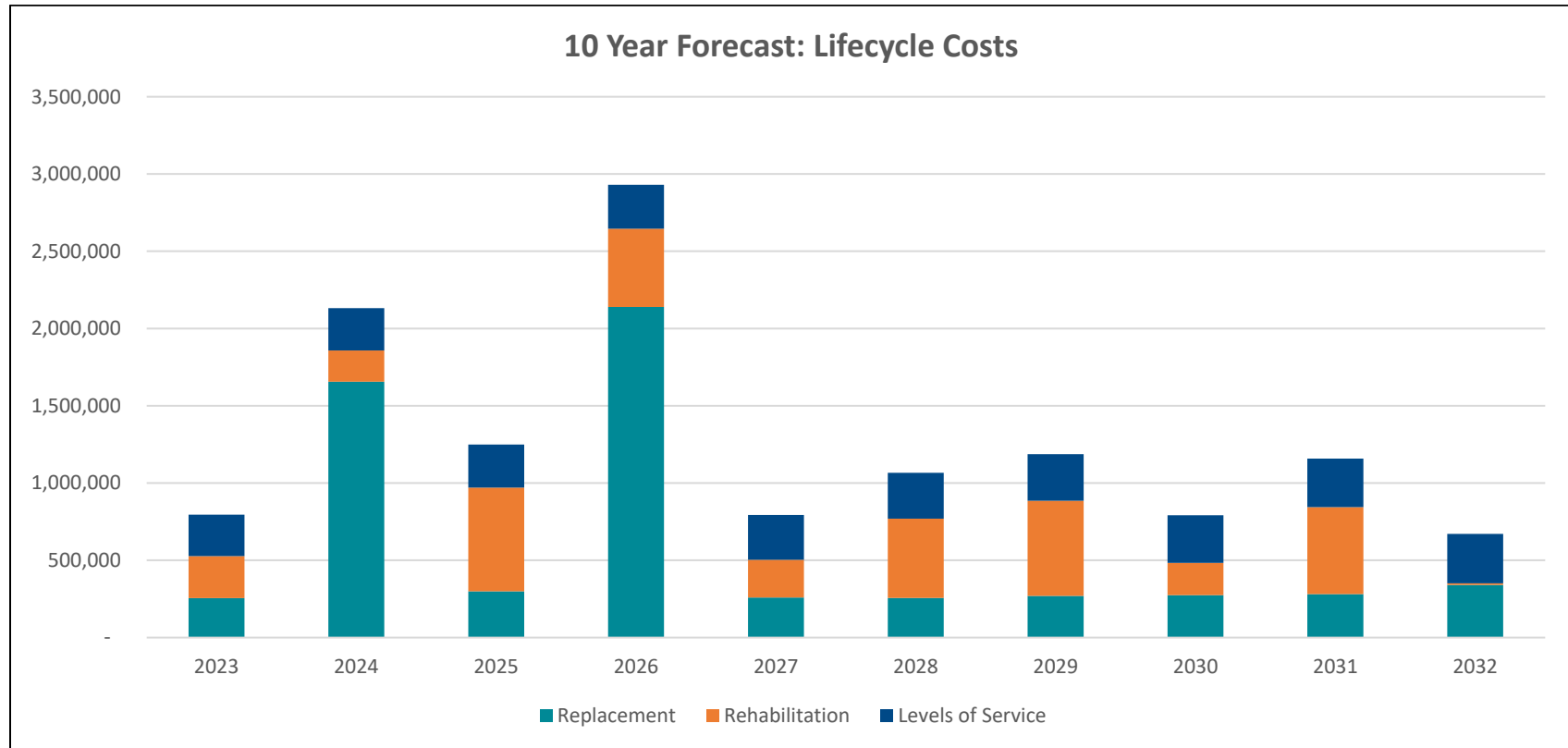
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**Table 5.3: Forecast Summary**

Forecast - Tax Supported	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032
Replacement	255,160	1,656,174	249,384	2,139,607	259,459	256,367	269,942	274,023	280,846	340,819
Rehabilitation	461,397	140,798	536,431	506,655	243,734	513,472	637,295	219,162	540,806	-
Levels of Service	268,000	273,360	278,827	284,402	290,092	295,893	301,812	307,847	314,006	320,286
<b>Total</b>	<b>984,557</b>	<b>2,070,332</b>	<b>1,064,642</b>	<b>2,930,664</b>	<b>793,285</b>	<b>1,065,732</b>	<b>1,209,049</b>	<b>801,032</b>	<b>1,135,658</b>	<b>661,105</b>

Figure 5.1 shows the same forecast in graph form. As illustrated, there are minor fluctuations in annual lifecycle needs throughout the forecast.

**Figure 5.1: Forecast Summary**



As shown in Appendix C, the 10-year forecast has a recommended funding plan as follows:

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Table 5.4: Capital Forecast with Funding Sources

Asset Class	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
<b>Totals by Asset Class (Replacement, Rehabilitation and Levels of Service)</b>											
Road Surface - Asphalt	374,237	279,722	539,684	191,688	166,557	249,266	174,308	374,411	407,847	237,325	2,995,045
Road Surface - Gravel	200,000	204,000	208,080	212,241	216,487	220,816	225,233	229,737	234,332	239,019	2,189,945
Road Base	50,000	51,000	261,591	53,060	54,122	55,204	56,308	57,434	58,583	59,755	757,057
Bridge & Culverts	95,500	1,534,590	127,449	2,410,003	291,174	474,202	663,873	60,880	387,233	63,340	6,108,244
Cross Road Culverts	17,960	10,200	10,404	10,612	10,824	11,041	11,262	11,487	11,717	11,951	117,458
Storm Mains & Foundation Collection Drains	20,000	20,400	58,387	21,224	21,648	22,081	22,523	22,973	23,433	23,901	256,570
Catch Basin	30,000	30,600	43,697	31,836	32,473	33,122	33,785	34,461	35,150	35,853	340,977
Storm Manhole	-	-	-	-	-	-	-	-	-	-	-
Storm Pond	-	-	-	-	-	-	-	-	-	-	-
Discharge Point	7,500	1,020	-	-	-	-	-	-	-	-	8,520
Underground Enclosures	-	-	-	-	-	-	-	-	-	-	-
<b>Total</b>	<b>795,197</b>	<b>2,131,532</b>	<b>1,249,292</b>	<b>2,930,664</b>	<b>793,285</b>	<b>1,065,732</b>	<b>1,187,292</b>	<b>791,383</b>	<b>1,158,295</b>	<b>671,144</b>	<b>12,773,816</b>
Funding Analysis											
Canada Community Building Fund (Gas Tax)	97,826	97,826	97,826	97,826	97,826	97,826	97,826	97,826	97,826	97,826	978,260
OCIF Funding (estimate)	239,926	239,926	239,926	239,926	239,926	239,926	239,926	239,926	239,926	239,926	2,399,260
Transfer from Operations (Core Infrastructure)	400,000	400,000	400,000	400,000	400,000	400,000	400,000	400,000	400,000	400,000	4,000,000
Transfer from/(to) Capital Reserves:											
Roads & Bridges Reserve	(210,555)	870,420	32,710	108,502	(234,567)	32,080	147,720	(254,229)	106,523	(386,908)	211,696
Operating Funding (LOS Impacts)	268,000	273,360	278,830	284,410	290,100	295,900	301,820	307,860	314,020	320,300	2,934,600
Debt Funding (see section 2)	-	250,000	200,000	1,800,000	-	-	-	-	-	-	2,250,000
<b>Total</b>	<b>795,197</b>	<b>2,131,532</b>	<b>1,249,292</b>	<b>2,930,664</b>	<b>793,285</b>	<b>1,065,732</b>	<b>1,187,292</b>	<b>791,383</b>	<b>1,158,295</b>	<b>671,144</b>	<b>12,773,816</b>

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As noted in Section 5.2 above, Canada Community Building Fund (Gas Tax) and OCIF funding are shown as funding sources in each year of the forecast period, reserves are used as a primary funding source, operating budget funding is used for a fixed \$400,000 in capital funding annually as well as for levels of service recommendations that are considered operating in nature, and debt funding is used to finance the remaining funding needs each year.

#### **Debt Funding (Tax Supported Core Infrastructure Only)**

Debt funding is anticipated within the forecast period for core infrastructure. As shown above in Table 5.4, debt principal amounts of \$2,250,000 is required in total from 2023 to 2032 to fund recommended tax supported core asset lifecycle needs. Debt needs for water, wastewater, and growth-related needs are excluded from this analysis. This assessment should be reviewed when other non-core assets are added to the asset management plan. Given that the Town's ability to use debt funding is restricted based on the province's debt capacity (annual repayment limit) calculations, an analysis of all current and proposed debt was completed (see Figures 5.2 and 5.3).

Figure 5.2: Summary of Current and Proposed Debt Payments

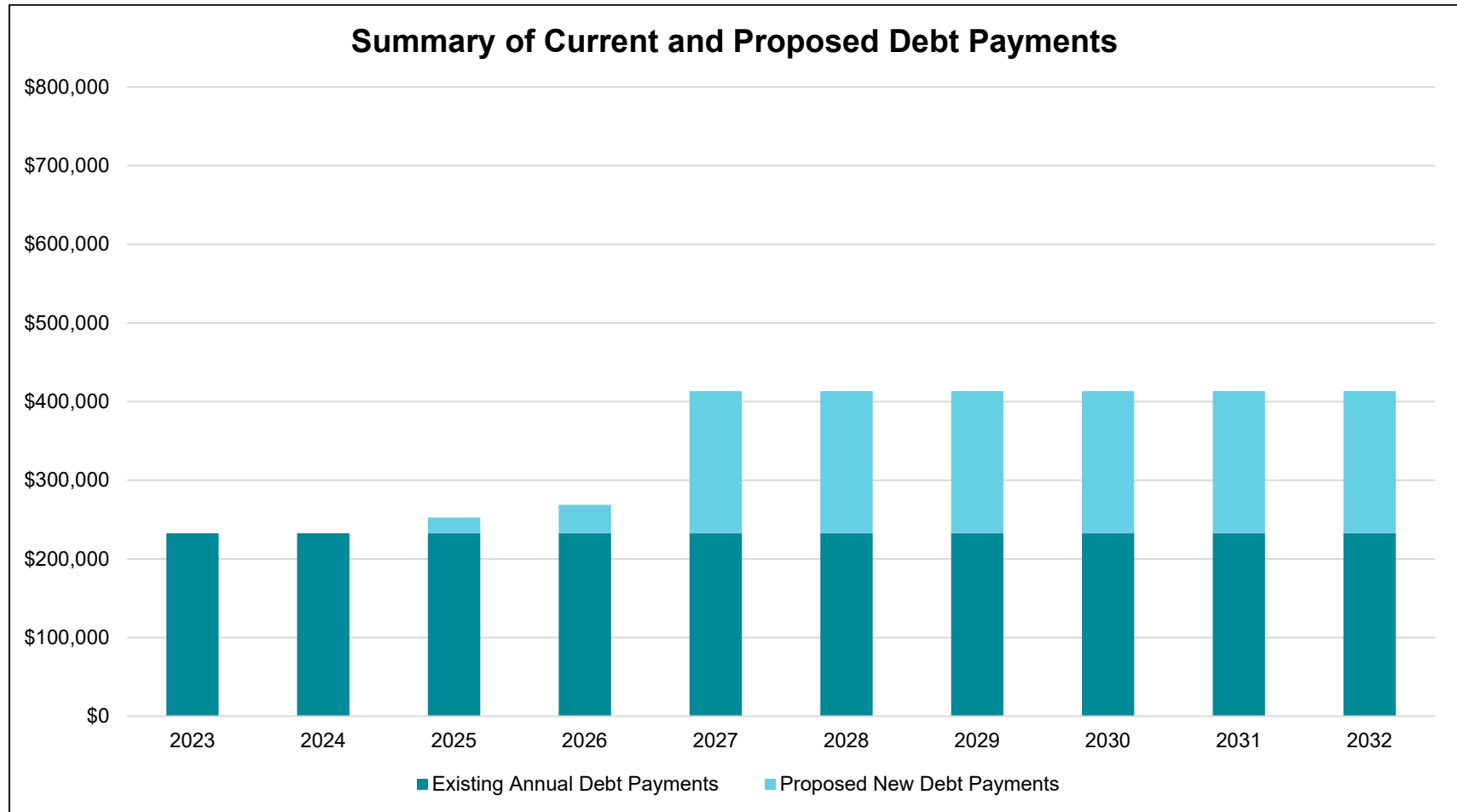
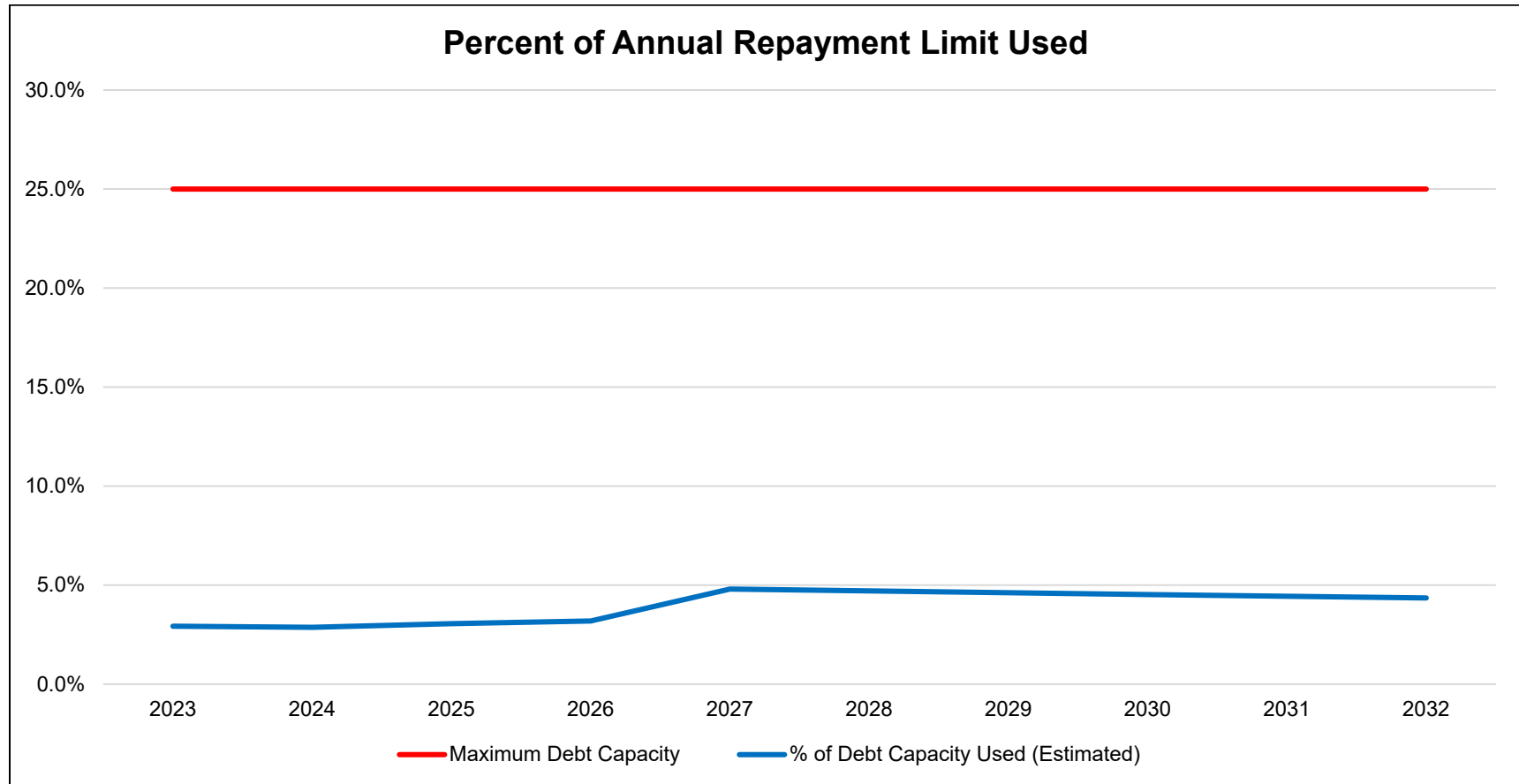


Figure 5.3: Percent of Annual Repayment Limit Used



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Figures 5.2 and 5.3 above show that current and projected debt requirements are well within the annual debt capacity limits of 25% of Town revenues, reaching a maximum level of 4.8% of revenues in 2027. This leaves significant capacity for water/wastewater related debt, or debt required due to growth related needs. Future debt payments have been estimated assuming an interest rate of 5.0% over a 20-year term.

### **Reserve Funding (Tax Supported Core Infrastructure Only)**

With reserve funding becoming a primary source of funding within this financing strategy, a recommended phased-in approach to increasing contributions to reserves is provided. Table 5.5 below outlines that no transfer was provided for in 2022, however recommendations include a transfer of \$24,110 in 2023 with increasing transfers annually, reaching \$264,004 by 2032. This combined with anticipated grant funding and transfers from operations allows the Town to reach an annual asset capital investment amount of \$1,001,756 by 2032. This represents 100% of the optimal annual asset investment amount in 2032.

**Table 5.5: Contributions to Reserves**

Funding Type - Tax Supported	Actual	Forecast									
	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032
Contribution to Roads & Bridges Reserve	-	24,110	48,703	73,788	99,374	125,472	152,092	179,244	206,940	235,189	264,004
<b>Total</b>	<b>-</b>	<b>24,110</b>	<b>48,703</b>	<b>73,788</b>	<b>99,374</b>	<b>125,472</b>	<b>152,092</b>	<b>179,244</b>	<b>206,940</b>	<b>235,189</b>	<b>264,004</b>
Transfer from Operations (Core Infrast.)	400,000	400,000	400,000	400,000	400,000	400,000	400,000	400,000	400,000	400,000	400,000
Gas Tax Funding	93,750	97,826	97,826	97,826	97,826	97,826	97,826	97,826	97,826	97,826	97,826
OCIF Funding	239,926	239,926	239,926	239,926	239,926	239,926	239,926	239,926	239,926	239,926	239,926
<b>Total Asset Investment</b>	<b>733,676</b>	<b>761,862</b>	<b>786,455</b>	<b>811,540</b>	<b>837,126</b>	<b>863,224</b>	<b>889,844</b>	<b>916,996</b>	<b>944,692</b>	<b>972,941</b>	<b>1,001,756</b>

This analysis should be updated once other non-core assets have been included in this asset management plan. It is recommended that the existing "Roads & Bridges Reserve" be used to fund core infrastructure capital needs.

#### Operating Budget Funding (Tax Supported Core Infrastructure Only)

As discussed earlier in this chapter, the recommended financing strategy assumes that \$400,000 will be available annually from the operating budget to fund core infrastructure capital needs.

From a levels of service perspective, many recommendations outlined in Section 3 are already implemented by the Town. Section 4 of Appendix C to this report outlines that some adjustments are needed to the Town's operating budget to account for further levels of service impacts that are not currently funded.

If debt financing is needed to fund the recommended financing strategy, this has an impact on the Town's operating budget going forward. It has also been assumed that when existing debt payments are complete, the budget space created will be used to either fund new debt or to increase transfers to reserves. This is outlined in Appendix C and summarized below in Table 5.6.

**Table 5.6: Increase in Funding Summary**

Increase in Funding	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032
Increase (Decrease) in Transfers to Reserves	24,110	24,593	25,085	25,586	26,098	26,620	27,152	27,696	28,249	28,814
Increase (Decrease) in Operating - LOS	63,000	5,360	5,470	5,580	5,690	5,800	5,920	6,040	6,160	6,280
Increase (Decrease) in Operating - Debt	-	-	20,060	16,050	144,440	-	-	-	-	-
<b>Total Impact on Annual Tax Supported Budget</b>	<b>87,110</b>	<b>29,953</b>	<b>50,615</b>	<b>47,216</b>	<b>176,228</b>	<b>32,420</b>	<b>33,072</b>	<b>33,736</b>	<b>34,409</b>	<b>35,094</b>
Estimated Taxation Impact (1% in 2023 = \$40,865)	2.13%	0.72%	1.19%	1.09%	3.98%	0.72%	0.72%	0.72%	0.72%	0.72%



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Table 5.6 above outlines the total annual increase in funding recommended from 2023 to 2032. These increases can be incorporated through:

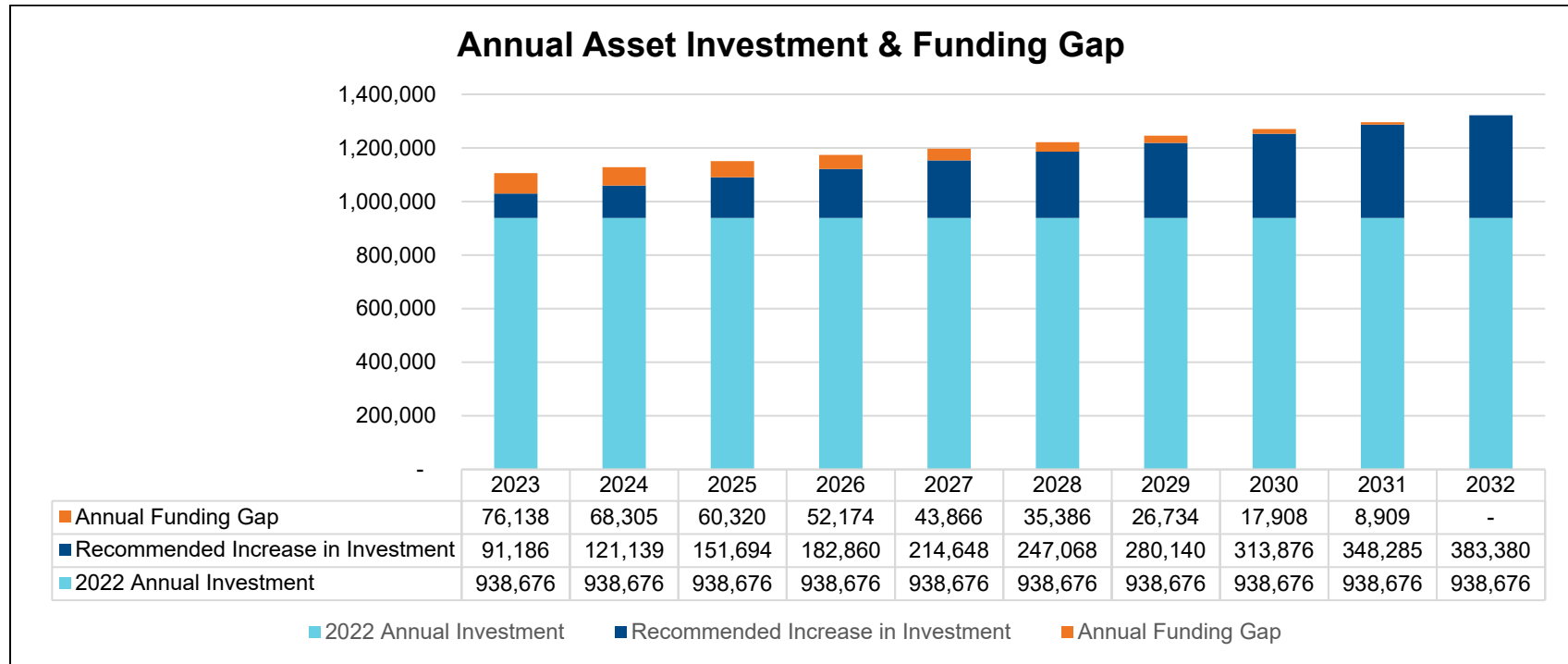
1. Finding efficiencies in the annual budget.
2. Increase in external funding (i.e., grants or third party contributions).
3. Allocations of annual Town surpluses to capital reserves (if available).
4. Recommending budget (taxation) increases.

As shown in Table 5.6, if taxation increases are required each year to allow for the total recommended increases in funding (i.e., items a, b, and c above are not available), an increase in taxation would be required annually, ranging from 0.72% to 3.98%. The years with higher rate increases (i.e., 2023, 2025, and 2027) are due to impacts of new debt and/or operating level of service adjustments.

#### **Funding Gap (Tax Supported Core Infrastructure Only)**

Figure 5.4 below provides an overall summary of the recommended annual investment levels (shown in orange and gray) as well as the funding gap (shown in yellow). The funding recommendations outlined in this chapter ensure the funding gap is eliminated (for core infrastructure only) by 2032.

**Figure 5.4: Annual Asset Investment & Funding Gap**



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Figure 5.4 is also provided in Appendix C to this report, along with detailed figures to support the calculations.

## 5.6 Water and Wastewater Related Assets

Based on an analysis of the Town's capital assets in terms of replacement cost and useful life, the following summary of optimal annual asset investment has been created.

**Table 5.7: Optimal Asset Investment Summary (Environmental Supported Core Assets)**

Water / Wastewater Core Infrastructure	Replacement Cost	Weighted Average Useful Life	Annual Replacement Investment
Water Facilities & Components	4,113,567	59	69,700
Water Equipment	650,500	16	40,700
Water Well	690,000	28	24,600
Water Hydrant	1,600,000	50	32,000
Water Mains	4,455,341	100	44,600
Water System Valve	1,121,000	66	17,000
<b>Total Water</b>	<b>12,630,408</b>		<b>228,600</b>
Wastewater Facilities & Components	20,212,200	55	367,500
Wastewater Gravity Mains	4,484,227	100	44,800
Wastewater Pressure Mains	941,500	100	9,400
Wastewater Manholes	2,200,000	100	22,000
<b>Total Wastewater</b>	<b>27,837,927</b>		<b>443,700</b>

\* excludes other non-core assets

In summary, an annual asset investment of \$228,600 is needed to fund long-term asset management planning needs for water infrastructure and \$443,700 for wastewater infrastructure. This does not include other non-core assets that have been excluded from this asset management plan.

These optimal investment amounts become the funding target over the forecast period. However, this target increases over time as inflation increases this amount annually. Assuming 2% annual inflation, the target annual capital asset investment amount becomes \$273,200 and \$530,300 for water and wastewater respectively by the year 2032.

The Town's 2020 Water and Wastewater Rate Study provides for increasing contributions to water and wastewater capital reserves:

- Water: A contribution of \$346,002 by 2030

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- Wastewater: A contribution of \$917,854 by 2030

The contributions are higher in the rate study, presumably to account for:

- Other non-core infrastructure assets (not included in this plan).
- Historic under investment in these assets (based on remaining asset life rather than asset useful life).

It is recommended that the Town follow the recommendations outlined in the 2020 Water and Wastewater Rate Study to ensure the annual requirements for optimal investment in water and wastewater assets can be met.

## 5.7 Growth Related Impacts

There are growth related capital needs outlined both in the Town's 2021 Development Charges Update Study and the 2020 Water and Wastewater Rate Study. In addition, there are future projects that include developer contributions and/or front ending agreements. While a growth-related assessment on the financing strategy is not required in this asset management plan, the following overview is provided:

- The analysis provided in this chapter excludes growth-related costs and financing impacts. The asset management regulation (Ontario Regulation 588/17) requires a growth-related assessment in asset management plans for municipalities with a population of 25,000 or more. However, it is recommended that a future asset management plan update include an integrated analysis of growth-related impacts to the Town.
- DCs are used to finance the portion of projects (assets) that are considered growth related. The calculation of DC rates, based on growth projections, ensures the necessary funding is collected for this, however the timing of projects relative to the timing of growth can be an issue.
  - Many projects are required before growth can occur. In this situation, the Town must consider existing balances in DC Reserve Funds while considering growth related debt and developer agreements. Growth related debt allows the Town to fund future debt payments from development charges, however this impacts the Town's available debt capacity.
  - The Town's 2020 Water and Wastewater Rate Study suggests the use of growth-related debt for both water and wastewater growth related needs in the future.
  - Front ending agreements can be used, allowing developers to finance growth related costs, with the promise of being paid back through DC credits. Alternatively, "early payment agreements" can be established to require developers to pay DCs early.
  - Growth (or expansion) of the Town's assets adds to the required annual optimal investment discussed within this chapter. DC Studies are required to address financial sustainability of these assets going forward.

## 5.8 Summary of Financing Strategy Recommendations

The following represents a list of financing strategy recommendations:

5. Use the “Roads & Bridges Reserve” to fund core infrastructure capital needs.
6. Use capital reserves as a primary source of asset investment annually. Funds should flow from the operating budget to these reserves, which are then used to fund capital projects.
7. Ensure a minimum of \$400,000 is available from the annual operating budget to fund core-infrastructure capital needs.
8. Increase asset management funding annually for core infrastructure as outlined in Table 5-6.
9. Transfer any annual Town surpluses to capital reserves annually.
10. Dedicate any budget savings from the elimination of debt payments to funding asset management needs (i.e., either new debt or transfers to reserves).
11. Update this financing strategy to account for other non-core assets as well as the impacts of growth.
12. Follow the recommendations outlined in the Town’s 2020 Water and Wastewater Rate Study.

## 6.0 Recommendations

The following recommendations have been provided for the Town of Grand Valley’s consideration:

- that this Asset Management Plan be received and approved by the Town of Grand Valley Council; and,
- that consideration of this Asset Management Plan be given as part of the annual budgeting process to ensure sufficient capital funds are available to fund capital requirements over the 10-year period.

The current level of funding for asset replacement and renewal at the Town will not sufficiently fund required capital needs or close the infrastructure funding gap. As such, it is recommended that the following be considered:

- That the “levels of service” strategies discussed in this report be approved;
- The Town use the “Roads & Bridges Reserve” to fund core infrastructure capital needs;

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- The Town use capital reserves as the primary source of asset investment annually. Funds should flow from the operating budget to these reserves, which are then used to fund capital projects;
- The Town ensure a minimum of \$400,000 is available from the annual operating budget to fund core tax supported infrastructure capital needs;
- The Town increase asset management funding as outlined in Table 5.6;
- The Town transfer annual surpluses to capital reserves;
- The Town dedicate any budget savings from the elimination of debt payments to funding asset management needs (i.e., either new debt or transfers to reserves);
- The Town update the financing strategy to account for other non-core as well as any road base replacement needs in the future;
- The Town follow the recommendations outlined in the Town's 2020 Water and Wastewater Rate Study;
- That this Asset Management Plan be updated as per the Town's Asset Management Strategy Policy; and,
- The Town consider the capital priorities identified within this report when applying for future grants or deciding on how to utilize Gas Tax, OCIF funding, and/or other funding that becomes available.

Substantial investment in asset capital needs will be required over the 10 year forecast period and beyond. Through the recommendations provided above, proactive steps will be made to increase capital investment, as well as reduce the annual infrastructure funding gap for the Town's core tax supported assets. Enhanced maintenance plans will assist in maintaining adequate asset conditions, mitigate asset risk as well as potentially defer capital needs within the forecast period. In addition, the Town of Grand Valley is recommended to pursue all available capital grants wherever possible to further reduce the infrastructure funding gap.

Through the creation of this plan, the Town has been provided with Excel spreadsheets in which amendments and revisions can be made as needed by the Town. It is anticipated that this plan adopted by the Town of Grand Valley Council will be monitored and updated frequently as part of the budget process, with refinements and specific recommendations being provided with respect to the priority of each individual project.



BURNSIDE

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## Appendix A

### Municipality Asset Inventory & Asset Management Plan Assumptions

## **Appendix A: Asset Management Plan Assumptions**

The following assumptions were made and applied during the creation of the Town of Grand Valley's asset management plan.

### **1. State of Local Infrastructure**

- a) All replacement costs were estimates based on current 2021 pricing;
- b) Historic Costs of assets that were added to the Town's asset inventory and did not have a historic cost identified made use of deflation tables from estimated current 2021 costs back to the installation date of the asset. Indexes were using Non-Residential Building Construction Price Index (NRBCPI);
- c) Amortization of assets was using the Town's PSAB 1350 data tables where possible but assets that were added to the Town's asset inventory a straight line amortization was used;
- d) Useful life of an asset was provided by the Town, or reports provided to the Town by engineering consultants;
- e) Condition was extracted from Town reports, from staff's understanding of the asset's relative condition, and finally via estimation from the asset's age; and
- f) Condition values were used to provide estimated remaining life to the assets.

### **2. Asset Management Strategy**

- a) Capital inflation rate was assumed to be 2.0% annually;
- b) Operating budget inflation rate was assumed to be 2.0% annually; and
- c) Regarding operating expenses included in the Town's current budget, it is assumed that they will increase at an operating inflation rate annually.

### **3. Financing Strategy**

- a) Gas Tax and OCIF Formula Based Funding revenue have been identified as a funding source for the purposes of this analysis (i.e., for asset replacement purposes), and has been assumed to continue throughout the forecast period; and
- b) Interest rate earned on a Capital Replacement Reserve Funds will be 1.0% annually.



Grand Valley  
Water - Pressurized Main Inventory

Fixed Asset #	Subtype	Asset Name	Note	Project Number	Diameter (mm)	Length (m)	Material	Install Year	Useful Life	Remaining Useful Life	Age	Historic Cost	2020 Accumulated Amortization	2020 Net Book Value	Replacement Cost Including Labour	Condition Based On Useful Life	Condition from Town	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected Condition)	Consequence of Failure	Risk of Failure	Numerical Value of Risk	Year Replacement due to minimal maintenance practices	Current Levels of Service % benefit
						14,713.2				78	22	\$2,311,212	\$91,875	\$2,219,337	\$4,455,341			8.0					2.0		
4924	Water - Pressurized Main	300 mm PVC Distribution Main - River Street	111005-Mayberry Hill Subdivi	MSO22445	300	71.3	PVC	2013	100	93	7	\$ 21,818	\$ 1,109	\$ 20,709	\$ 24,955	9		9	Very Good	Rare	Moderate	L	1	2103	10
4925	Water - Pressurized Main	200 mm PVC Distribution Main - William Street	150731_Complete As-Built Dr	MSA11544	200	254.1	PVC	2013	100	93	7	\$ 72,673	\$ 3,694	\$ 68,979	\$ 78,771	9		9	Very Good	Rare	Moderate	L	1	2103	10
4926	Water - Pressurized Main	200 mm PVC Distribution Main - Cooper Street	scan-m-796-5-21.pdf	M-796	200	57.9	PVC	1993	100	73	27	\$ 8,106	\$ 498	\$ 7,608	\$ 17,949	7		7	Good	Unlikely	Moderate	M	2	2083	10
4927	Water - Pressurized Main	200 mm PVC Distribution Main - George Street	scan-m-796-5-32.pdf	M-796	200	88.4	PVC	1993	100	73	27	\$ 12,376	\$ 760	\$ 11,616	\$ 27,404	7		7	Good	Unlikely	Moderate	M	2	2083	10
4928	Water - Pressurized Main	150 mm PVC Distribution Main - George Street	scan-m-796-5-23.pdf	M-796	150	42.7	PVC	1993	100	73	27	\$ 5,338	\$ 328	\$ 5,010	\$ 11,743	7		7	Good	Unlikely	Moderate	M	2	2083	10
4929	Water - Pressurized Main	150 mm PVC Distribution Main - Main Street	150731_Complete As-Built Dr	M-796	150	75.3	PVC	1993	100	73	27	\$ 9,413	\$ 578	\$ 8,834	\$ 20,708	7		7	Good	Unlikely	Moderate	M	2	2083	10
4930	Water - Pressurized Main	150 mm PVC Distribution Main - Main Street	C49 S-41-5.pdf	S-41-71	150	83.5	PVC	1969	100	49	51	\$ 3,758	\$ 318	\$ 3,439	\$ 22,963	5		5	Average	Possible	Moderate	M	2	2059	10
4931	Water - Pressurized Main	300 mm PVC Distribution Main - Main Street	scan-m-796-4-12.pdf	M-796	300	159.1	PVC	1993	100	73	27	\$ 23,865	\$ 1,466	\$ 22,399	\$ 55,685	7		7	Good	Unlikely	Moderate	M	2	2083	10
4932	Water - Pressurized Main	300 mm PVC Distribution Main - Main Street	scan-m-796-5-19.pdf	M-796	300	59.4	PVC	1993	100	73	27	\$ 8,910	\$ 547	\$ 8,363	\$ 20,790	7		7	Good	Unlikely	Moderate	M	2	2083	10
4933	Water - Pressurized Main	300 mm PVC Distribution Main - Main Street	scan-m-796-4-19.pdf	M-796	300	66.4	PVC	1993	100	73	27	\$ 9,960	\$ 612	\$ 9,348	\$ 23,240	7		7	Good	Unlikely	Moderate	M	2	2083	10
4934	Water - Pressurized Main	300 mm PVC Distribution Main - Main Street	scan-m-796-5-23.pdf	M-796	300	2.1	PVC	1993	100	73	27	\$ 315	\$ 19	\$ 296	\$ 735	7		7	Good	Unlikely	Moderate	M	2	2083	10
4935	Water - Pressurized Main	200 mm PVC Distribution Main - Amaranth Street	scan-m-796-4-17.pdf	M-796	200	51.7	PVC	1993	100	73	27	\$ 7,238	\$ 445	\$ 6,793	\$ 16,027	7		7	Good	Unlikely	Moderate	M	2	2083	10
4936	Water - Pressurized Main	150 mm PVC Distribution Main - Emma Street	scan-m-796-4-11.pdf	M-796	150	159.2	PVC	1993	100	73	27	\$ 19,900	\$ 1,222	\$ 18,678	\$ 43,780	7		7	Good	Unlikely	Moderate	M	2	2083	10
4937	Water - Pressurized Main	200 mm PVC Distribution Main - Amaranth Street	scan-m-796-4-20.pdf	M-796	200	63.6	PVC	1993	100	73	27	\$ 8,904	\$ 547	\$ 8,357	\$ 19,716	7		7	Good	Unlikely	Moderate	M	2	2083	10
4938	Water - Pressurized Main	200 mm PVC Distribution Main - Concession Road 2-3	scan-m-796-5-22.pdf	M-796	200	199.9	PVC	1993	100	73	27	\$ 27,986	\$ 1,719	\$ 26,267	\$ 61,969	7		7	Good	Unlikely	Moderate	M	2	2083	10
4939	Water - Pressurized Main	150 mm PVC Distribution Main - Leeson Street	scan-m-796-4-17.pdf	M-796	150	106.2	PVC	1993	100	73	27	\$ 13,275	\$ 815	\$ 12,460	\$ 29,205	7		7	Good	Unlikely	Moderate	M	2	2083	10
4940	Water - Pressurized Main	150 mm PVC Distribution Main - Emma Street	scan-m-796-4-9.pdf	M-796	150	344.2	PVC	1993	100	73	27	\$ 43,025	\$ 2,643	\$ 40,382	\$ 94,655	7		7	Good	Unlikely	Moderate	M	2	2083	10
4941	Water - Pressurized Main	150 mm PVC Distribution Main - Leeson Street	111005-Mayberry Hill Subdivi	M-796	150	78.2	PVC	1992	100	72	28	\$ 9,775	\$ 607	\$ 9,168	\$ 21,505	7		7	Good	Unlikely	Moderate	M	2	2083	10
4942	Water - Pressurized Main	150 mm PVC Distribution Main - Leeson Street	111005-Mayberry Hill Subdivi	MSO22445	150	43.7	PVC	2013	100	93	7	\$ 11,144	\$ 566	\$ 10,577	\$ 12,018	9		9	Very Good	Rare	Moderate	L	1	2103	10
4943	Water - Pressurized Main	300 mm PVC Distribution Main - Leeson Street	scan-m-796-5-28.pdf	M-796	300	195.1	PVC	1993	100	73	27	\$ 29,265	\$ 1,798	\$ 27,467	\$ 68,285	7		7	Good	Unlikely	Moderate	M	2	2083	10
4944	Water - Pressurized Main	150 mm PVC Distribution Main - Emma Street	C49 S-41-4.pdf	S-41-71	150	166.8	PVC	1969	100	49	51	\$ 7,506	\$ 636	\$ 6,870	\$ 45,870	5		5	Average	Possible	Moderate	M	2	2059	10
4945	Water - Pressurized Main	150 mm PVC Distribution Main - Emma Street	scan-m-796-5-26.pdf	M-796	150	156.1	PVC	1993	100	73	27	\$ 19,513	\$ 1,199	\$ 18,314	\$ 42,928	7		7	Good	Unlikely	Moderate	M	2	2083	10
4946	Water - Pressurized Main	150 mm PVC Distribution Main - Emma Street	scan-m-796-5-30.pdf	M-796	150	44.4	PVC	1993	100	73	27	\$ 5,550	\$ 341	\$ 5,209	\$ 12,210	7		7	Good	Unlikely	Moderate	M	2	2083	10
4947	Water - Pressurized Main	150 mm PVC Distribution Main - Emma Street	scan-m-796-5-30.pdf	M-796	150	130.1	PVC	1993	100	73	27	\$ 16,263	\$ 999	\$ 15,264	\$ 35,778	7		7	Good	Unlikely	Moderate	M	2	2083	10
4948	Water - Pressurized Main	150 mm PVC Distribution Main - Spruyt Avenue	SCAN-C49-03.pdf	S0910	150	21.3	PVC	1969	100	49	51	\$ 959	\$ 81	\$ 877	\$ 5,858	5		5	Average	Possible	Moderate	M	2	2059	10
4949	Water - Pressurized Main	150 mm PVC Distribution Main - Webb Street	scan-m-796-5-18.pdf	M-796	150	127.9	PVC	1993	100	73	27	\$ 15,988	\$ 982	\$ 15,005	\$ 35,173	7		7	Good	Unlikely	Moderate	M	2	2083	10
4950	Water - Pressurized Main	150 mm PVC Distribution Main - Crozier Street	scan-m-796-4-20.pdf	M-796	150	11.5	PVC	1993	100	73	27	\$ 1,438	\$ 88	\$ 1,349	\$ 3,163	7		7	Good	Unlikely	Moderate	M	2	2083	10
4951	Water - Pressurized Main	150 mm PVC Distribution Main - Crozier Street	scan-m-796-4-8.pdf	M-796	150	51.4	PVC	1993	100	73	27	\$ 6,425	\$ 395	\$ 6,030	\$ 14,135	7		7	Good	Unlikely	Moderate	M	2	2083	10
4952	Water - Pressurized Main	150 mm PVC Distribution Main - Crozier Street	scan-m-796-4-11.pdf	M-796	150	210.8	PVC	1993	100	73	27	\$ 26,350	\$ 1,619	\$ 24,731	\$ 57,970	7		7	Good	Unlikely	Moderate	M	2	2083	10
4953	Water - Pressurized Main	200 mm PVC Distribution Main - Amaranth Street	scan-m-796-4-20.pdf	M-796	200	130.3	PVC	1993	100	73	27	\$ 18,242	\$ 1,121	\$ 17,121	\$ 40,393	7		7	Good	Unlikely	Moderate	M	2	2083	10
4954	Water - Pressurized Main	200 mm PVC Distribution Main - Amaranth Street	scan-m-796-4-20.pdf	M-796	200	51.4	PVC	1993	100	73	27	\$ 7,196	\$ 442	\$ 6,754	\$ 15,934	7		7	Good	Unlikely	Moderate	M	2	2083	10
4955	Water - Pressurized Main	150 mm PVC Distribution Main - Scott Street	SCAN-C49-04.pdf	S0910	150	84.8	PVC	1969	100	49	51	\$ 3,816	\$ 323	\$ 3,493	\$ 23,320	5		5	Average	Possible	Moderate	M	2	2059	10
4956	Water - Pressurized Main	200 mm PVC Distribution Main - Scott Street	111005-Mayberry Hill Subdivi	M-796	200	96.3	PVC	1992	100	72	28	\$ 13,482	\$ 837	\$ 12,645	\$ 29,853	7		7	Good	Unlikely	Moderate	M	2	2083	10
4957	Water - Pressurized Main	200 mm PVC Distribution Main - Bielby Street	scan-m-796-5-31.pdf	M-796	200	118	PVC	1993	100	73	27	\$ 16,520	\$ 1,015	\$ 15,505	\$ 36,580	7		7	Good	Unlikely	Moderate	M	2	2083	10
4958	Water - Pressurized Main	150 mm PVC Distribution Main - Gier Street	scan-m-796-4-14.pdf	M-796	150	87.7	PVC	1993	100	73	27	\$ 10,963	\$ 673	\$ 10,289	\$ 24,118	7		7	Good	Unlikely	Moderate	M	2	2083	10
4959	Water - Pressurized Main	200 mm PVC Distribution Main - Bielby Street	scan-m-796-5-31.pdf	M-796	200	116.7	PVC	1993	100	73	27	\$ 16,338	\$ 1,004	\$ 15,334	\$ 36,177	7		7	Good	Unlikely	Moderate	M	2	2083	10
4960	Water - Pressurized Main	200 mm PVC Distribution Main - Concession Road 2-3	scan-m-796-5-22.pdf	M-796	200	251	PVC	1993	100	73	27	\$ 35,140	\$ 2,159	\$ 32,981	\$ 77,810	7		7	Good	Unlikely	Moderate	M	2	2083	10
4961	Water - Pressurized Main	200 mm PVC Distribution Main - Amaranth Street	scan-m-796-5-21.pdf	M-796	200	62	PVC	1993	100	73	27	\$ 8,680	\$ 533	\$ 8,147	\$ 19,220	7		7	Good	Unlikely	Moderate	M	2	2083	10
4962	Water - Pressurized Main	200 mm PVC Distribution Main - Amaranth Street	scan-m-796-5-21.pdf	M-796	200	117	PVC	1993	100	73	27	\$ 16,380	\$ 1,006	\$ 15,374	\$ 36,270	7		7	Good	Unlikely	Moderate	M	2	2083	10
4963	Water - Pressurized Main	300 mm PVC Distribution Main - West Bank Alley	scan-m-796-5-29.pdf	M-796	300	57.2	PVC	1993	100	73	27	\$ 8,580	\$ 527	\$ 8,053	\$ 20,020	7		7	Good	Unlikely	Moderate	M	2	2083	10
4964	Water - Pressurized Main	300 mm PVC Distribution Main - Mill Street	scan-m-796-4-20.pdf	M-796	300	55.3	PVC	1993	100	73	27	\$ 8,295	\$ 510	\$ 7,785	\$ 19,355	7		7	Good	Unlikely	Moderate	M	2	2083	10
4965	Water - Pressurized Main	300 mm PVC Distribution Main - Mill Street	111005-Mayberry Hill Subdivi	MSO22445	300	6.9	PVC	2013	100	93	7	\$ 2,111	\$ 107	\$ 2,004	\$ 2,415	9		9	Very Good	Rare	Moderate	L	1	2103	10
4966	Water - Pressurized Main	300 mm PVC Distribution Main - Mill Street	111005-Mayberry Hill Subdivi	MSO22445	300	58.6	PVC	2013	100	93	7	\$ 17,932	\$ 911	\$ 17,020	\$ 20,510	9		9	Very Good	Rare	Moderate	L	1	2103	10
4967	Water - Pressurized Main	50 mm PVC Distribution Main - Main Street	scan-m-796-4-6.pdf	M-796	50	21.8	PVC	1993	100	73	27	\$ 2,616	\$ 161	\$ 2,455	\$ 5,668	7		7	Good	Unlikely	Moderate	M	2	2083	10
4968	Water - Pressurized Main	150 mm PVC Distribution Main - Mill Street	C49 S-41-5.pdf	S-41-71	150	11.1	PVC	1969	100	49	51	\$ 500	\$ 42	\$ 457	\$ 3,053	5		5	Average	Possible	Moderate	M	2	2059	10
4969	Water - Pressurized Main	100 mm PVC Distribution Main - East Back Lane	scan-m-796-5-32.pdf	M-796	100	115.3	PVC	1993	100	73	27	\$ 19,872	\$ 1,163	\$ 18,708	\$ 28,825	7		7	Good	Unlikely	Moderate	M	2	2083	10
4970	Water - Pressurized Main	150 mm PVC Distribution Main - King Street	scan-m-796-4-17.pdf	M-796																					

Grand Valley  
Water - Pressurized Main Inventory

Fixed Asset #	Subtype	Asset Name	Note	Project Number	Diameter (mm)	Length (m)	Material	Install Year	Useful Life	Remaining Useful Life	Age	Historic Cost	2020 Accumulated Amortization	2020 Net Book Value	Replacement Cost Including Labour	Condition Based On Useful Life	Condition from Town	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected Condition)	Consequence of Failure	Risk of Failure	Numerical Value of Risk	Year Replacement due to minimal maintenance practices	Current Levels of Service % benefit
						14,713.2				78	22	\$2,311,212	\$91,875	\$2,219,337	\$4,455,341			8.0				2.0			
4996	Water - Pressurized Main	250 mm PVC Distribution Main - Taylor Drive	111005-Mayberry Hill Subdivis	MSO22445	250	3	PVC	2013	100	93	7	\$ 888	\$ 9	\$ 879	\$ 960	9		9	Very Good	Rare	Moderate	L	1	2103	10
4997	Water - Pressurized Main	250 mm PVC Distribution Main - Taylor Drive	111005-Mayberry Hill Subdivis	MSO22445	250	100.9	PVC	2013	100	93	7	\$ 29,866	\$ 318	\$ 29,549	\$ 32,288	9		9	Very Good	Rare	Moderate	L	1	2103	10
4998	Water - Pressurized Main	250 mm PVC Distribution Main - Taylor Drive	111005-Mayberry Hill Subdivis	MSO22445	250	99.9	PVC	2013	100	93	7	\$ 29,570	\$ 315	\$ 29,256	\$ 31,968	9		9	Very Good	Rare	Moderate	L	1	2103	10
4999	Water - Pressurized Main	250 mm PVC Distribution Main - Taylor Drive	111005-Mayberry Hill Subdivis	MSO22445	250	24.2	PVC	2013	100	93	7	\$ 7,163	\$ 76	\$ 7,087	\$ 7,744	9		9	Very Good	Rare	Moderate	L	1	2103	10
5000	Water - Pressurized Main	250 mm PVC Distribution Main - Taylor Drive	111005-Mayberry Hill Subdivis	MSO22445	250	21.9	PVC	2013	100	93	7	\$ 6,482	\$ 69	\$ 6,413	\$ 7,008	9		9	Very Good	Rare	Moderate	L	1	2103	10
5001	Water - Pressurized Main	200 mm PVC Distribution Main - Melody Lane	111005-Mayberry Hill Subdivis	MSO22445	200	59.3	PVC	2013	100	93	7	\$ 16,960	\$ 180	\$ 16,779	\$ 18,383	9		9	Very Good	Rare	Moderate	L	1	2103	10
5002	Water - Pressurized Main	200 mm PVC Distribution Main - Melody Lane	111005-Mayberry Hill Subdivis	MSO22445	200	44.9	PVC	2013	100	93	7	\$ 12,841	\$ 137	\$ 12,705	\$ 13,919	9		9	Very Good	Rare	Moderate	L	1	2103	10
5003	Water - Pressurized Main	300 mm PVC Distribution Main - Mill Street	111005-Mayberry Hill Subdivis	MSO22445	300	35.6	PVC	2013	100	93	7	\$ 10,894	\$ 116	\$ 10,778	\$ 12,460	9		9	Very Good	Rare	Moderate	L	1	2103	10
5004	Water - Pressurized Main	300 mm PVC Distribution Main - Mill Street	111005-Mayberry Hill Subdivis	MSO22445	300	95.2	PVC	2013	100	93	7	\$ 29,131	\$ 310	\$ 28,821	\$ 33,320	9		9	Very Good	Rare	Moderate	L	1	2103	10
5005	Water - Pressurized Main	200 mm PVC Distribution Main - Mill Street	111005-Mayberry Hill Subdivis	MSO22445	200	113.5	PVC	2013	100	93	7	\$ 32,461	\$ 345	\$ 32,116	\$ 35,185	9		9	Very Good	Rare	Moderate	L	1	2103	10
5006	Water - Pressurized Main	200 mm PVC Distribution Main - Amaranth Street	scan-m-796-5-25.pdf	M-796	200	48.8	PVC	1993	100	73	27	\$ 6,832	\$ 92	\$ 6,740	\$ 15,128	7		7	Good	Unlikely	Moderate	M	2	2083	10
5007	Water - Pressurized Main	150 mm PVC Distribution Main - Monty Avenue	SCAN-C49-05.pdf	S0910	150	88.2	PVC	1969	100	49	51	\$ 3,969	\$ 336	\$ 3,633	\$ 24,255	5		5	Average	Possible	Moderate	M	2	2059	10
5008	Water - Pressurized Main	150 mm PVC Distribution Main - Monty Avenue	SCAN-C49-03.pdf	S0910	150	90.3	PVC	1969	100	49	51	\$ 4,064	\$ 81	\$ 3,982	\$ 24,833	5		5	Average	Possible	Moderate	M	2	2059	10
5009	Water - Pressurized Main	200 mm PVC Distribution Main - Melody Lane	111005-Mayberry Hill Subdivis	MSO22445	200	52.9	PVC	2013	100	93	7	\$ 15,129	\$ 769	\$ 14,360	\$ 16,399	9		9	Very Good	Rare	Moderate	L	1	2103	10
5010	Water - Pressurized Main	300 mm PVC Distribution Main - Leeson Street	scan-m-796-4-27.pdf	M-796	300	120.1	PVC	1993	100	73	27	\$ 18,015	\$ 1,107	\$ 16,908	\$ 42,035	7		7	Good	Unlikely	Moderate	M	2	2083	10
5011	Water - Pressurized Main	300 mm PVC Distribution Main - Water Street	scan-m-412-1.pdf	13041200	300	485.9	PVC	1992	100	72	28	\$ 72,885	\$ 4,527	\$ 68,358	\$ 170,065	7		7	Good	Unlikely	Moderate	M	2	2082	10
5012	Water - Pressurized Main	150 mm PVC Distribution Main - Industrial Road	scan-m-796-4-13.pdf	M-796	150	103.4	PVC	1993	100	73	27	\$ 12,925	\$ 794	\$ 12,131	\$ 28,435	7		7	Good	Unlikely	Moderate	M	2	2083	10
5013	Water - Pressurized Main	200 mm PVC Distribution Main - Industrial Road	111005-Mayberry Hill Subdivis	MSO22445	200	41.9	PVC	2013	100	93	7	\$ 11,983	\$ 609	\$ 11,374	\$ 12,989	9		9	Very Good	Rare	Moderate	L	1	2103	10
5014	Water - Pressurized Main	300 mm PVC Distribution Main - Leeson Street	scan-m-796-4-27.pdf	M-796	300	197	PVC	1993	100	73	27	\$ 29,550	\$ 1,815	\$ 27,735	\$ 68,950	7		7	Good	Unlikely	Moderate	M	2	2083	10
5015	Water - Pressurized Main	150 mm PVC Distribution Main - Crozier Street	scan-m-796-4-8.pdf	M-796	150	212.3	PVC	1993	100	73	27	\$ 26,538	\$ 1,630	\$ 24,907	\$ 58,383	7		7	Good	Unlikely	Moderate	M	2	2083	10
5016	Water - Pressurized Main	150 mm PVC Distribution Main - Crozier Street	scan-m-796-4-7.pdf	M-796	150	183.1	PVC	1993	100	73	27	\$ 22,888	\$ 1,406	\$ 21,482	\$ 50,353	7		7	Good	Unlikely	Moderate	M	2	2083	10
5017	Water - Pressurized Main	150 mm PVC Distribution Main - Baker Court	scan-m-796-4-17.pdf	M-796	150	99.2	PVC	1993	100	73	27	\$ 12,400	\$ 762	\$ 11,638	\$ 27,280	7		7	Good	Unlikely	Moderate	M	2	2083	10
5018	Water - Pressurized Main	150 mm PVC Distribution Main - Crozier Street	scan-m-796-4-10.pdf	M-796	150	157.1	PVC	1993	100	73	27	\$ 19,638	\$ 1,206	\$ 18,431	\$ 43,203	7		7	Good	Unlikely	Moderate	M	2	2083	10
5019	Water - Pressurized Main	300 mm PVC Distribution Main - Driveway to Water Tower	scan-m-796-5-28.pdf	M-796	300	177.8	PVC	1993	100	73	27	\$ 26,670	\$ 1,638	\$ 25,032	\$ 62,230	7		7	Good	Unlikely	Moderate	M	2	2083	10
5020	Water - Pressurized Main	150 mm PVC Distribution Main - Fife Road	scan-m-796-5-25.pdf	M-796	150	320.8	PVC	1993	100	73	27	\$ 40,100	\$ 2,463	\$ 37,637	\$ 88,220	7		7	Good	Unlikely	Moderate	M	2	2083	10
5021	Water - Pressurized Main	150 mm PVC Distribution Main - Mary Court	C49 S-41-4.pdf	S-41-71	150	92	PVC	1969	100	49	51	\$ 4,140	\$ 351	\$ 3,789	\$ 25,300	5		5	Average	Possible	Moderate	M	2	2059	10
5022	Water - Pressurized Main	150 mm PVC Distribution Main - Fife Road	scan-m-796-5-24.pdf	M-796	150	309.7	PVC	1993	100	73	27	\$ 38,713	\$ 2,378	\$ 36,334	\$ 85,168	7		7	Good	Unlikely	Moderate	M	2	2083	10
5023	Water - Pressurized Main	150 mm PVC Distribution Main - Fife Road	scan-m-796-5-23.pdf	M-796	150	64	PVC	1993	100	73	27	\$ 8,000	\$ 491	\$ 7,509	\$ 17,600	7		7	Good	Unlikely	Moderate	M	2	2083	10
5024	Water - Pressurized Main	150 mm PVC Distribution Main - Fife Road	scan-m-796-5-33.pdf	M-796	150	157.5	PVC	1993	100	73	27	\$ 19,688	\$ 1,209	\$ 18,478	\$ 43,313	7		7	Good	Unlikely	Moderate	M	2	2083	10
5025	Water - Pressurized Main	150 mm PVC Distribution Main - Crozier Street	scan-m-796-5-19.pdf	M-796	150	12.1	PVC	1993	100	73	27	\$ 1,513	\$ 93	\$ 1,420	\$ 3,328	7		7	Good	Unlikely	Moderate	M	2	2083	10
5026	Water - Pressurized Main	150 mm PVC Distribution Main - Joyce Court	scan-m-796-4-17.pdf	M-796	150	100.8	PVC	1993	100	73	27	\$ 12,600	\$ 774	\$ 11,826	\$ 27,720	7		7	Good	Unlikely	Moderate	M	2	2083	10
5027	Water - Pressurized Main	300 mm PVC Distribution Main - Leeson Street	scan-m-796-4-7.pdf	M-796	300	186.8	PVC	1993	100	73	27	\$ 28,020	\$ 1,721	\$ 26,299	\$ 65,380	7		7	Good	Unlikely	Moderate	M	2	2083	10
5028	Water - Pressurized Main	150 mm PVC Distribution Main - Fife Road	scan-m-796-5-34.pdf	M-796	150	287.5	PVC	1993	100	73	27	\$ 35,938	\$ 2,208	\$ 33,730	\$ 79,063	7		7	Good	Unlikely	Moderate	M	2	2083	10
5029	Water - Pressurized Main	150 mm PVC Distribution Main - Emma Street	scan-m-796-5-30.pdf	M-796	150	118.4	PVC	1993	100	73	27	\$ 14,800	\$ 909	\$ 13,891	\$ 32,560	7		7	Good	Unlikely	Moderate	M	2	2083	10
5030	Water - Pressurized Main	300 mm PVC Distribution Main - Main Street	scan-m-796-4-6.pdf	M-796	300	200.8	PVC	1993	100	73	27	\$ 30,120	\$ 1,850	\$ 28,270	\$ 70,280	7		7	Good	Unlikely	Moderate	M	2	2083	10
5031	Water - Pressurized Main	250 mm PVC Distribution Main - Taylor Drive	111005-Mayberry Hill Subdivis	MSO22445	250	68.6	PVC	2013	100	93	7	\$ 20,306	\$ 216	\$ 20,090	\$ 21,952	9		9	Very Good	Rare	Moderate	L	1	2103	10
5345	Water - Pressurized Main	150mm - DistributionMain - Wastewater Treatment Plant - Industrial Road			150	224	PVC	2013	100	93	7	\$ 57,120.00	\$ 2,903	\$ 54,217	\$ 61,600	9		9	Very Good	Rare	Moderate	L	1	2103	10
5346	Water - Pressurized Main	150mm - DistributionMain - Wastewater Treatment Plant - Industrial Road			150	28.9	PVC	2013	100	93	7	\$ 7,369.50	\$ 375	\$ 6,995	\$ 7,948	9		9	Very Good	Rare	Moderate	L	1	2103	10
7001	Water - Pressurized Main	300 mm PVC Distribution Main - Concession Rd 2-3			300	350.6	PVC	2015	100	94	6	\$ 71,768.87	\$ -	\$ 71,769	\$ 122,710.00	9		9	Very Good	Rare	Moderate	L	1	2105	10
7002	Water - Pressurized Main	150 mm PVC Distribution Main - Beam St			150	243.3	PVC	2015	100	94	6	\$ 28,121.03	\$ -	\$ 28,121	\$ 66,907.50	9		9	Very Good	Rare	Moderate	L	1	2105	10
7003	Water - Pressurized Main	150 mm PVC Distribution Main - MacIntyre Lane			150	238.6	PVC	2015	100	94	6	\$ 2,739.90	\$ -	\$ 2,740	\$ 65,615.00	9		9	Very Good	Rare	Moderate	L	1	2105	10
7004	Water - Pressurized Main	250 mm PVC Distribution Main - Mayberry Drive			250	183.7	PVC	2015	100	94	6	\$ 30,701.43	\$ 326.61	\$ 30,374.82	\$ 58,784.00	9		9	Very Good	Rare	Moderate	L	1	2105	10
7005	Water - Pressurized Main	250 mm PVC Distribution Main - Mayberry Drive			250	110.8	PVC	2015	100	94	6	\$ 21,954.86	\$ 233.56	\$ 21,721.30	\$ 35,456.00	9		9	Very Good	Rare	Moderate	L	1	2105	10
7006	Water - Pressurized Main	150 mm PVC Distribution Main - Hillborn St			150	20.5	PVC	2015	100	94	6	\$ 10,295.35	\$ 109.53	\$ 10,185.82	\$ 5,637.50	9		9	Very Good	Rare	Moderate	L	1	2105	10
7007	Water - Pressurized Main	150 mm PVC Distribution Main - Hillborn St			150	294.6	PVC	2015	100	94	6	\$ 32,222.88	\$ 342.80	\$ 31,880.08	\$ 81,015.00	9		9	Very Good	Rare	Moderate	L	1	2105	10
7008	Water - Pressurized Main	200 mm PVC Distribution Main - Ritchie Drive			200	327.3	PVC	2015	100	94	6	\$ 41,389.13	\$ 440.31	\$ 40,948.82	\$ 101,463.00	9		9	Very Good	Rare	Moderate	L	1	2105	10
7009	Water - Pressurized Main	200 mm PVC Distribution Main - Jenkins St			200	32.6	PVC	2015	100	94	6														

Grand Valley  
Water - Pressurized Main Inventory

Fixed Asset #	Subtype	Asset Name	Current Levels of Service Replacement/Improvement Year Based on Current Levels Service					Expected Levels of Service + Town Input Replacement/Improvement Year Based on Expected Levels					
			Revised Levels Service Replacement Year	Year Replacement Applying Risk Score	Subsequent Replacement Year	Revised Remaining Useful Life	Proposed Rehabilitation Cost (2015 \$)	Year for Rehabilitation	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current + Condition better than expected for age	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year
							\$0						
4924	Water - Pressurized Main	300 mm PVC Distribution Main - River Street	2113	2113	2213	92			0	2113	2113	2213	92
4925	Water - Pressurized Main	200 mm PVC Distribution Main - William Street	2113	2113	2213	92			0	2113	2113	2213	92
4926	Water - Pressurized Main	200 mm PVC Distribution Main - Cooper Street	2093	2093	2193	72			0	2093	2093	2193	72
4927	Water - Pressurized Main	200 mm PVC Distribution Main - George Street	2093	2093	2193	72			0	2093	2093	2193	72
4928	Water - Pressurized Main	150 mm PVC Distribution Main - George Street	2093	2093	2193	72			0	2093	2093	2193	72
4929	Water - Pressurized Main	150 mm PVC Distribution Main - Main Street	2093	2093	2193	72			0	2093	2093	2193	72
4930	Water - Pressurized Main	150 mm PVC Distribution Main - Main Street	2069	2069	2169	48			0	2069	2069	2169	48
4931	Water - Pressurized Main	300 mm PVC Distribution Main - Main Street	2093	2093	2193	72			0	2093	2093	2193	72
4932	Water - Pressurized Main	300 mm PVC Distribution Main - Main Street	2093	2093	2193	72			0	2093	2093	2193	72
4933	Water - Pressurized Main	300 mm PVC Distribution Main - Main Street	2093	2093	2193	72			0	2093	2093	2193	72
4934	Water - Pressurized Main	300 mm PVC Distribution Main - Main Street	2093	2093	2193	72			0	2093	2093	2193	72
4935	Water - Pressurized Main	200 mm PVC Distribution Main - Amaranth Street	2093	2093	2193	72			0	2093	2093	2193	72
4936	Water - Pressurized Main	150 mm PVC Distribution Main - Emma Street	2093	2093	2193	72			0	2093	2093	2193	72
4937	Water - Pressurized Main	200 mm PVC Distribution Main - Amaranth Street	2093	2093	2193	72			0	2093	2093	2193	72
4938	Water - Pressurized Main	200 mm PVC Distribution Main - Concession Road 2-3	2093	2093	2193	72			0	2093	2093	2193	72
4939	Water - Pressurized Main	150 mm PVC Distribution Main - Leeson Street	2093	2093	2193	72			0	2093	2093	2193	72
4940	Water - Pressurized Main	150 mm PVC Distribution Main - Emma Street	2093	2093	2193	72			0	2093	2093	2193	72
4941	Water - Pressurized Main	150 mm PVC Distribution Main - Leeson Street	2092	2092	2192	71			0	2092	2092	2192	71
4942	Water - Pressurized Main	150 mm PVC Distribution Main - Leeson Street	2113	2113	2213	92			0	2113	2113	2213	92
4943	Water - Pressurized Main	300 mm PVC Distribution Main - Leeson Street	2093	2093	2193	72			0	2093	2093	2193	72
4944	Water - Pressurized Main	150 mm PVC Distribution Main - Emma Street	2069	2069	2169	48			0	2069	2069	2169	48
4945	Water - Pressurized Main	150 mm PVC Distribution Main - Emma Street	2093	2093	2193	72			0	2093	2093	2193	72
4946	Water - Pressurized Main	150 mm PVC Distribution Main - Emma Street	2093	2093	2193	72			0	2093	2093	2193	72
4947	Water - Pressurized Main	150 mm PVC Distribution Main - Emma Street	2093	2093	2193	72			0	2093	2093	2193	72
4948	Water - Pressurized Main	150 mm PVC Distribution Main - Spruyt Avenue	2069	2069	2169	48			0	2069	2069	2169	48
4949	Water - Pressurized Main	150 mm PVC Distribution Main - Webb Street	2093	2093	2193	72			0	2093	2093	2193	72
4950	Water - Pressurized Main	150 mm PVC Distribution Main - Crozier Street	2093	2093	2193	72			0	2093	2093	2193	72
4951	Water - Pressurized Main	150 mm PVC Distribution Main - Crozier Street	2093	2093	2193	72			0	2093	2093	2193	72
4952	Water - Pressurized Main	150 mm PVC Distribution Main - Crozier Street	2093	2093	2193	72			0	2093	2093	2193	72
4953	Water - Pressurized Main	200 mm PVC Distribution Main - Amaranth Street	2093	2093	2193	72			0	2093	2093	2193	72
4954	Water - Pressurized Main	200 mm PVC Distribution Main - Amaranth Street	2093	2093	2193	72			0	2093	2093	2193	72
4955	Water - Pressurized Main	150 mm PVC Distribution Main - Scott Street	2069	2069	2169	48			0	2069	2069	2169	48
4956	Water - Pressurized Main	200 mm PVC Distribution Main - Scott Street	2092	2092	2192	71			0	2092	2092	2192	71
4957	Water - Pressurized Main	200 mm PVC Distribution Main - Bielby Street	2093	2093	2193	72			0	2093	2093	2193	72
4958	Water - Pressurized Main	150 mm PVC Distribution Main - Gier Street	2093	2093	2193	72			0	2093	2093	2193	72
4959	Water - Pressurized Main	200 mm PVC Distribution Main - Bielby Street	2093	2093	2193	72			0	2093	2093	2193	72
4960	Water - Pressurized Main	200 mm PVC Distribution Main - Concession Road 2-3	2093	2093	2193	72			0	2093	2093	2193	72
4961	Water - Pressurized Main	200 mm PVC Distribution Main - Amaranth Street	2093	2093	2193	72			0	2093	2093	2193	72
4962	Water - Pressurized Main	200 mm PVC Distribution Main - Amaranth Street	2093	2093	2193	72			0	2093	2093	2193	72
4963	Water - Pressurized Main	300 mm PVC Distribution Main - West Bank Alley	2093	2093	2193	72			0	2093	2093	2193	72
4964	Water - Pressurized Main	300 mm PVC Distribution Main - Mill Street	2093	2093	2193	72			0	2093	2093	2193	72
4965	Water - Pressurized Main	300 mm PVC Distribution Main - Mill Street	2113	2113	2213	92			0	2113	2113	2213	92
4966	Water - Pressurized Main	300 mm PVC Distribution Main - Mill Street	2113	2113	2213	92			0	2113	2113	2213	92
4967	Water - Pressurized Main	50 mm PVC Distribution Main - Main Street	2093	2093	2193	72			0	2093	2093	2193	72
4968	Water - Pressurized Main	150 mm PVC Distribution Main - Mill Street	2069	2069	2169	48			0	2069	2069	2169	48
4969	Water - Pressurized Main	100 mm PVC Distribution Main - East Back Lane	2093	2093	2193	72			0	2093	2093	2193	72
4970	Water - Pressurized Main	150 mm PVC Distribution Main - King Street	2093	2093	2193	72			0	2093	2093	2193	72
4971	Water - Pressurized Main	150 mm PVC Distribution Main - Ponsford Street	2069	2069	2169	48			0	2069	2069	2169	48
4972	Water - Pressurized Main	150 mm PVC Distribution Main - Mill Street	2069	2069	2169	48			0	2069	2069	2169	48
4973	Water - Pressurized Main	300 mm PVC Distribution Main - Mill Street	2113	2113	2213	92			0	2113	2113	2213	92
4974	Water - Pressurized Main	300 mm PVC Distribution Main - Main Street	2093	2093	2193	72			0	2093	2093	2193	72
4975	Water - Pressurized Main	150 mm PVC Distribution Main - River Street	2069	2069	2169	48			0	2069	2069	2169	48
4976	Water - Pressurized Main	150 mm PVC Distribution Main - Main Street	2069	2069	2169	48			0	2069	2069	2169	48
4977	Water - Pressurized Main	150 mm PVC Distribution Main - Cooper Street	2093	2093	2193	72			0	2093	2093	2193	72
4978	Water - Pressurized Main	150 mm PVC Distribution Main - Park View Street	2069	2069	2169	48			0	2069	2069	2169	48
4979	Water - Pressurized Main	150 mm PVC Distribution Main - Cooper Street	2093	2093	2193	72			0	2093	2093	2193	72
4980	Water - Pressurized Main	300 mm PVC Distribution Main - Amaranth Street	2093	2093	2193	72			0	2093	2093	2193	72
4981	Water - Pressurized Main	200 mm PVC Distribution Main - Main Street	2113	2113	2213	92			0	2113	2113	2213	92
4982	Water - Pressurized Main	100 mm PVC Distribution Main - Main Street	2093	2093	2193	72			0	2093	2093	2193	72
4983	Water - Pressurized Main	300 mm PVC Distribution Main - Taylor Drive	2092	2092	2192	71			0	2092	2092	2192	71
4984	Water - Pressurized Main	300 mm PVC Distribution Main - Taylor Drive	2093	2093	2193	72			0	2093	2093	2193	72
4985	Water - Pressurized Main	300 mm PVC Distribution Main - Taylor Drive	2113	2113	2213	92			0	2113	2113	2213	92
4986	Water - Pressurized Main	300 mm PVC Distribution Main - Taylor Drive	2093	2093	2193	72			0	2093	2093	2193	72
4987	Water - Pressurized Main	250 mm PVC Distribution Main - Taylor Drive	2113	2113	2213	92			0	2113	2113	2213	92
4988	Water - Pressurized Main	250 mm PVC Distribution Main - Taylor Drive	2113	2113	2213	92			0	2113	2113	2213	92
4989	Water - Pressurized Main	250 mm PVC Distribution Main - Taylor Drive	2113	2113	2213	92			0	2113	2113	2213	92
4990	Water - Pressurized Main	250 mm PVC Distribution Main - Taylor Drive	2113	2113	2213	92			0	2113	2113	2213	92
4991	Water - Pressurized Main	200 mm PVC Distribution Main - Thomasfield	2093	2093	2193	72			0	2093	2093	2193	72
4992	Water - Pressurized Main	250 mm PVC Distribution Main - Taylor Drive	2113	2113	2213	92			0	2113	2113	2213	92
4993	Water - Pressurized Main	250 mm PVC Distribution Main - Taylor Drive	2113	2113	2213	92			0	2113	2113	2213	92
4994	Water - Pressurized Main	250 mm PVC Distribution Main - Taylor Drive	2113	2113	2213	92			0	2113	2113	2213	92
4995	Water - Pressurized Main	201 mm PVC Distribution Main - Thomasfield	2093	2093	2193	72			0	2093	2093	2193	72

Grand Valley  
Water - Pressurized Main Inventory

Fixed Asset #	Subtype	Asset Name	Current Levels of Service Replacement/Improvement Year Based on Current Levels Service						Expected Levels of Service + Town Input Replacement/Improvement Year Based on Expected Levels					
			Revised Levels Service Replacement Year	Year Replacement Applying Risk Score	Subsequent Replacement Year	Revised Remaining Useful Life	Proposed Rehabilitation Cost (2015 \$)	Year for Rehabilitation	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current + Condition better than expected for age	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life
								\$0						
4996	Water - Pressurized Main	250 mm PVC Distribution Main - Taylor Drive	2113	2113	2213	92			0	2113	2113	2213	92	
4997	Water - Pressurized Main	250 mm PVC Distribution Main - Taylor Drive	2113	2113	2213	92			0	2113	2113	2213	92	
4998	Water - Pressurized Main	250 mm PVC Distribution Main - Taylor Drive	2113	2113	2213	92			0	2113	2113	2213	92	
4999	Water - Pressurized Main	250 mm PVC Distribution Main - Taylor Drive	2113	2113	2213	92			0	2113	2113	2213	92	
5000	Water - Pressurized Main	250 mm PVC Distribution Main - Taylor Drive	2113	2113	2213	92			0	2113	2113	2213	92	
5001	Water - Pressurized Main	200 mm PVC Distribution Main - Melody Lane	2113	2113	2213	92			0	2113	2113	2213	92	
5002	Water - Pressurized Main	200 mm PVC Distribution Main - Melody Lane	2113	2113	2213	92			0	2113	2113	2213	92	
5003	Water - Pressurized Main	300 mm PVC Distribution Main - Mill Street	2113	2113	2213	92			0	2113	2113	2213	92	
5004	Water - Pressurized Main	300 mm PVC Distribution Main - Mill Street	2113	2113	2213	92			0	2113	2113	2213	92	
5005	Water - Pressurized Main	200 mm PVC Distribution Main - Mill Street	2113	2113	2213	92			0	2113	2113	2213	92	
5006	Water - Pressurized Main	200 mm PVC Distribution Main - Amaranth Street	2093	2093	2193	72			0	2093	2093	2193	72	
5007	Water - Pressurized Main	150 mm PVC Distribution Main - Monty Avenue	2069	2069	2169	48			0	2069	2069	2169	48	
5008	Water - Pressurized Main	150 mm PVC Distribution Main - Monty Avenue	2069	2069	2169	48			0	2069	2069	2169	48	
5009	Water - Pressurized Main	200 mm PVC Distribution Main - Melody Lane	2113	2113	2213	92			0	2113	2113	2213	92	
5010	Water - Pressurized Main	300 mm PVC Distribution Main - Leeson Street	2093	2093	2193	72			0	2093	2093	2193	72	
5011	Water - Pressurized Main	300 mm PVC Distribution Main - Water Street	2092	2092	2192	71			0	2092	2092	2192	71	
5012	Water - Pressurized Main	150 mm PVC Distribution Main - Industrial Road	2093	2093	2193	72			0	2093	2093	2193	72	
5013	Water - Pressurized Main	200 mm PVC Distribution Main - Industrial Road	2113	2113	2213	92			0	2113	2113	2213	92	
5014	Water - Pressurized Main	300 mm PVC Distribution Main - Leeson Street	2093	2093	2193	72			0	2093	2093	2193	72	
5015	Water - Pressurized Main	150 mm PVC Distribution Main - Crozier Street	2093	2093	2193	72			0	2093	2093	2193	72	
5016	Water - Pressurized Main	150 mm PVC Distribution Main - Crozier Street	2093	2093	2193	72			0	2093	2093	2193	72	
5017	Water - Pressurized Main	150 mm PVC Distribution Main - Baker Court	2093	2093	2193	72			0	2093	2093	2193	72	
5018	Water - Pressurized Main	150 mm PVC Distribution Main - Crozier Street	2093	2093	2193	72			0	2093	2093	2193	72	
5019	Water - Pressurized Main	300 mm PVC Distribution Main - Driveway to Water Tower	2093	2093	2193	72			0	2093	2093	2193	72	
5020	Water - Pressurized Main	150 mm PVC Distribution Main - Fife Road	2093	2093	2193	72			0	2093	2093	2193	72	
5021	Water - Pressurized Main	150 mm PVC Distribution Main - Mary Court	2069	2069	2169	48			0	2069	2069	2169	48	
5022	Water - Pressurized Main	150 mm PVC Distribution Main - Fife Road	2093	2093	2193	72			0	2093	2093	2193	72	
5023	Water - Pressurized Main	150 mm PVC Distribution Main - Fife Road	2093	2093	2193	72			0	2093	2093	2193	72	
5024	Water - Pressurized Main	150 mm PVC Distribution Main - Fife Road	2093	2093	2193	72			0	2093	2093	2193	72	
5025	Water - Pressurized Main	150 mm PVC Distribution Main - Crozier Street	2093	2093	2193	72			0	2093	2093	2193	72	
5026	Water - Pressurized Main	150 mm PVC Distribution Main - Joyce Court	2093	2093	2193	72			0	2093	2093	2193	72	
5027	Water - Pressurized Main	300 mm PVC Distribution Main - Leeson Street	2093	2093	2193	72			0	2093	2093	2193	72	
5028	Water - Pressurized Main	150 mm PVC Distribution Main - Fife Road	2093	2093	2193	72			0	2093	2093	2193	72	
5029	Water - Pressurized Main	150 mm PVC Distribution Main - Emma Street	2093	2093	2193	72			0	2093	2093	2193	72	
5030	Water - Pressurized Main	300 mm PVC Distribution Main - Main Street	2093	2093	2193	72			0	2093	2093	2193	72	
5031	Water - Pressurized Main	250 mm PVC Distribution Main - Taylor Drive	2113	2113	2213	92			0	2113	2113	2213	92	
5345	Water - Pressurized Main	150mm - DistributionMain - Wastewater Treatment Plant - Industrial Road	2113	2113	2213	92			0	2113	2113	2213	92	
5346	Water - Pressurized Main	150mm - DistributionMain - Wastewater Treatment Plant - Industrial Road	2113	2113	2213	92			0	2113	2113	2213	92	
7001	Water - Pressurized Main	300 mm PVC Distribution Main - Concession Rd 2-3	2115	2115	2215	94			0	2115	2115	2215	94	
7002	Water - Pressurized Main	150 mm PVC Distribution Main - Beam St	2115	2115	2215	94			0	2115	2115	2215	94	
7003	Water - Pressurized Main	150 mm PVC Distribution Main- MacIntyre Lane	2115	2115	2215	94			0	2115	2115	2215	94	
7004	Water - Pressurized Main	250 mm PVC Distribution Main- Mayberry Drive	2115	2115	2215	94			0	2115	2115	2215	94	
7005	Water - Pressurized Main	250 mm PVC Distribution Main- Mayberry Drive	2115	2115	2215	94			0	2115	2115	2215	94	
7006	Water - Pressurized Main	150 mm PVC Distribution Main - Hillborn St	2115	2115	2215	94			0	2115	2115	2215	94	
7007	Water - Pressurized Main	150 mm PVC Distribution Main - Hillborn St	2115	2115	2215	94			0	2115	2115	2215	94	
7008	Water - Pressurized Main	200 mm PVC Distribution Main - Ritchie Drive	2115	2115	2215	94			0	2115	2115	2215	94	
7009	Water - Pressurized Main	200 mm PVC Distribution Main - Jenkins St	2115	2115	2215	94			0	2115	2115	2215	94	
7010	Water - Pressurized Main	150 mm PVC Distribution Main - Stuckey Lane	2115	2115	2215	94			0	2115	2115	2215	94	
7011	Water - Pressurized Main	200 mm PVC Distribution Main - Ritchie Drive	2115	2115	2215	94			0	2115	2115	2215	94	
7020	Water - Pressurized Main	150 mm PVC Distribution Main - Sparrow Cres	2115	2115	2215	94			0	2115	2115	2215	94	
7021	Water - Pressurized Main	150 mm PVC Distribution Main - Unkown St (PVT)	2115	2115	2215	94			0	2115	2115	2215	94	
7022	Water - Pressurized Main	150 mm PVC Distribution Main - Reith St (PVT)	2115	2115	2215	94			0	2115	2115	2215	94	
7023	Water - Pressurized Main	150 mm PVC Distribution Main - Lawson St (PVT)	2115	2115	2215	94			0	2115	2115	2215	94	
7024	Water - Pressurized Main	150 mm PVC Distribution Main - Reith St (PVT)	2131	2131	2247	110			0	2131	2131	2231	110	

Grand Valley  
Water - System Valve Inventory

FIXED ASSET ID	Asset Type	Asset Name	Asset Sub-Type	Road Name	Project or Source data	Size	Install Year	Useful Life	Remaining Useful Life	Age	Historic Cost	2020 Accumulated Amortization System	2020 Net Book Value System	Replacement Cost Including Labour	Condition Based On Age	Condition (from Staff Assessment)	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected Condition)	Consequence of Failure	Risk of Failure	Numerical Value of Risk of Failure
									45	20	\$ 236,835	\$ 58,184	\$ 178,651	\$ 1,121,000			7.5					1.8
5032	Water - System Valve	Valve & Chamber - Emma St Old Wastewater Plan	Water Meter Chamber Manhole	Emma Street	150731 Complete As-Built D	50mm	2013	100	93	7	\$ 17,664.00	\$ 1,236.48	\$ 16,428	\$ 18,000	9		9	Very Good	Rare	Moderate	L	1
5033	Water - System Valve	150 mm Valve&Box - Main Street	Valve&Box	Main Street	scan-m-796-4-14.pdf	150 mm	1993	50	23	27	\$721	\$649	\$72	\$6,000	5	7	7	Good	Unlikely	Moderate	M	2
5034	Water - System Valve	300 mm Valve&Chamber - River Street	Valve&Chamber	River Street	scan-m-796-4-14.pdf	300 mm	1993	100	73	27	\$3,366	\$909	\$2,457	\$18,000	7	7	7	Good	Unlikely	Major	M	2
5035	Water - System Valve	200 mm Valve&Chamber - Cooper Street	Valve&Chamber	Cooper Street	scan-m-796-4-17.pdf	200 mm	1993	100	73	27	\$2,885	\$779	\$2,106	\$15,000	7	7	7	Good	Unlikely	Major	M	2
5036	Water - System Valve	200 mm Valve&Box - Cooper Street	Valve&Box	Cooper Street	scan-m-796-4-17.pdf	200 mm	1993	50	23	27	\$962	\$866	\$96	\$7,000	5	7	7	Good	Unlikely	Moderate	M	2
5037	Water - System Valve	200 mm Valve&Box - Cooper Street	Valve&Box	Cooper Street	scan-m-796-4-17.pdf	200 mm	1993	50	23	27	\$962	\$866	\$96	\$7,000	5	7	7	Good	Unlikely	Moderate	M	2
5038	Water - System Valve	150 mm Valve&Box - George Street	Valve&Box	George Street	scan-m-796-4-17.pdf	150 mm	1993	50	23	27	\$721	\$649	\$72	\$6,000	5	7	7	Good	Unlikely	Moderate	M	2
5039	Water - System Valve	200 mm Valve&Box - George Street	Valve&Box	George Street	scan-m-796-4-17.pdf	200 mm	1993	50	23	27	\$962	\$866	\$96	\$7,000	5	7	7	Good	Unlikely	Moderate	M	2
5040	Water - System Valve	150 mm Valve&Box - Cooper Street	Valve&Box	Cooper Street	scan-m-796-4-17.pdf	150 mm	1993	50	23	27	\$721	\$649	\$72	\$6,000	5	7	7	Good	Unlikely	Moderate	M	2
5041	Water - System Valve	150 mm Valve&Box - Park View Street	Valve&Box	Park View Street	scan-m-796-4-17.pdf	150 mm	1993	50	23	27	\$721	\$649	\$72	\$6,000	5	7	7	Good	Unlikely	Moderate	M	2
5042	Water - System Valve	150 mm Valve&Box - Park View Street	Valve&Box	Park View Street	scan-m-796-4-17.pdf	150 mm	1993	50	23	27	\$721	\$649	\$72	\$6,000	5	7	7	Good	Unlikely	Moderate	M	2
5043	Water - System Valve	150 mm Valve&Box - Main Street	Valve&Box	Main Street	scan-m-796-4-17.pdf	150 mm	1993	50	23	27	\$721	\$649	\$72	\$6,000	5	7	7	Good	Unlikely	Moderate	M	2
5044	Water - System Valve	150 mm Valve&Box - Webb Street	Valve&Box	Webb Street	scan-m-796-5-26.pdf	150 mm	1993	50	23	27	\$721	\$649	\$72	\$6,000	5	7	7	Good	Unlikely	Moderate	M	2
5045	Water - System Valve	150 mm Valve&Box - Crozier Street	Valve&Box	Crozier Street	scan-m-796-5-30.pdf	150 mm	1993	50	23	27	\$721	\$649	\$72	\$6,000	5	7	7	Good	Unlikely	Moderate	M	2
5046	Water - System Valve	150 mm Valve&Box - Crozier Street	Valve&Box	Crozier Street	scan-m-796-5-25.pdf	150 mm	1993	50	23	27	\$721	\$649	\$72	\$6,000	5	7	7	Good	Unlikely	Moderate	M	2
5047	Water - System Valve	150 mm Valve&Box - Scott Street	Valve&Box	Scott Street	scan-m-796-5-25.pdf	150 mm	1993	50	23	27	\$721	\$649	\$72	\$6,000	5	7	7	Good	Unlikely	Moderate	M	2
5048	Water - System Valve	150 mm Valve&Box - Scott Street	Valve&Box	Scott Street	scan-m-796-5-25.pdf	150 mm	1993	50	23	27	\$721	\$649	\$72	\$6,000	5	7	7	Good	Unlikely	Moderate	M	2
5049	Water - System Valve	200 mm Valve&Box - Bielby Street	Valve&Box	Bielby Street	scan-m-796-5-31.pdf	200 mm	1993	50	23	27	\$962	\$866	\$96	\$7,000	5	7	7	Good	Unlikely	Moderate	M	2
5050	Water - System Valve	150 mm Valve&Box - Gier Street	Valve&Box	Gier Street	scan-m-796-5-24.pdf	150 mm	1993	50	23	27	\$721	\$649	\$72	\$6,000	5	7	7	Good	Unlikely	Moderate	M	2
5051	Water - System Valve	150 mm Valve&Box - Gier Street	Valve&Box	Gier Street	scan-m-796-5-24.pdf	150 mm	1993	50	23	27	\$721	\$649	\$72	\$6,000	5	7	7	Good	Unlikely	Moderate	M	2
5052	Water - System Valve	200 mm Valve&Box - Amaranth Street	Valve&Box	Amaranth Street	scan-m-796-5-21.pdf	200 mm	1993	50	23	27	\$962	\$866	\$96	\$7,000	5	7	7	Good	Unlikely	Moderate	M	2
5053	Water - System Valve	200 mm Valve&Box - Amaranth Street	Valve&Box	Amaranth Street	scan-m-796-5-21.pdf	200 mm	1993	50	23	27	\$962	\$866	\$96	\$7,000	5	7	7	Good	Unlikely	Moderate	M	2
5054	Water - System Valve	150 mm Valve&Box - Crozier Street	Valve&Box	Crozier Street	scan-m-796-5-30.pdf	150 mm	1993	50	23	27	\$721	\$649	\$72	\$6,000	5	7	7	Good	Unlikely	Moderate	M	2
5055	Water - System Valve	150 mm Valve&Box - Ponsford Street	Valve&Box	Ponsford Street	scan-m-796-5-34.pdf	150 mm	1993	50	23	27	\$721	\$649	\$72	\$6,000	5	7	7	Good	Unlikely	Moderate	M	2
5056	Water - System Valve	200 mm Valve&Box - Amaranth Street	Valve&Box	Amaranth Street	scan-m-796-5-22.pdf	200 mm	1993	50	23	27	\$962	\$866	\$96	\$7,000	5	7	7	Good	Unlikely	Moderate	M	2
5057	Water - System Valve	200 mm Valve&Box - Amaranth Street	Valve&Box	Amaranth Street	scan-m-796-5-22.pdf	200 mm	1993	50	23	27	\$962	\$866	\$96	\$7,000	5	7	7	Good	Unlikely	Moderate	M	2
5058	Water - System Valve	200 mm Valve&Box - Bielby Street	Valve&Box	Bielby Street	scan-m-796-5-31.pdf	200 mm	1993	50	23	27	\$962	\$866	\$96	\$7,000	5	7	7	Good	Unlikely	Moderate	M	2
5059	Water - System Valve	150 mm Valve&Box - Mill Street	Valve&Box	Mill Street	scan-m-796-5-34.pdf	150 mm	1993	50	23	27	\$721	\$649	\$72	\$6,000	5	7	7	Good	Unlikely	Moderate	M	2
5060	Water - System Valve	150 mm Valve&Box - King Street	Valve&Box	King Street	scan-m-796-5-33.pdf	150 mm	1993	50	23	27	\$721	\$649	\$72	\$6,000	5	7	7	Good	Unlikely	Moderate	M	2
5061	Water - System Valve	150 mm Valve&Box - George Street	Valve&Box	George Street	scan-m-796-4-17.pdf	150 mm	1993	50	23	27	\$721	\$649	\$72	\$6,000	5	7	7	Good	Unlikely	Moderate	M	2
5062	Water - System Valve	150 mm Valve&Chamber - West Bank Alley	Valve&Chamber	West Bank Alley	scan-m-796-4-12.pdf	150 mm	1993	100	73	27	\$2,645	\$714	\$1,931	\$15,000	7	7	7	Good	Unlikely	Major	M	2
5063	Water - System Valve	300 mm Valve&Box - Taylor Drive	Valve&Box	Taylor Drive	111005-Mayberry Hill Subdiv	300 mm	2013	50	43	7	\$2,944	\$67	\$2,877	\$9,000	9	7	7	Good	Unlikely	Moderate	M	2
5064	Water - System Valve	300 mm Valve&Box - Taylor Drive	Valve&Box	Taylor Drive	111005-Mayberry Hill Subdiv	300 mm	2013	50	43	7	\$2,944	\$67	\$2,877	\$9,000	9	7	7	Good	Unlikely	Moderate	M	2
5065	Water - System Valve	300 mm Valve&Box - Taylor Drive	Valve&Box	Taylor Drive	111005-Mayberry Hill Subdiv	300 mm	2013	50	43	7	\$2,944	\$67	\$2,877	\$9,000	9	7	7	Good	Unlikely	Moderate	M	2
5066	Water - System Valve	300 mm Valve&Box - Taylor Drive	Valve&Box	Taylor Drive	111005-Mayberry Hill Subdiv	300 mm	2013	50	43	7	\$2,944	\$67	\$2,877	\$9,000	9	7	7	Good	Unlikely	Moderate	M	2
5067	Water - System Valve	300 mm Valve&Box - Taylor Drive	Valve&Box	Taylor Drive	111005-Mayberry Hill Subdiv	300 mm	2013	50	43	7	\$2,944	\$67	\$2,877	\$9,000	9	7	7	Good	Unlikely	Moderate	M	2
5068	Water - System Valve	300 mm Valve&Box - Taylor Drive	Valve&Box	Taylor Drive	111005-Mayberry Hill Subdiv	300 mm	2013	50	43	7	\$2,944	\$67	\$2,877	\$9,000	9	7	7	Good	Unlikely	Moderate	M	2
5069	Water - System Valve	250 mm Valve&Box - Taylor Drive	Valve&Box	Taylor Drive	111005-Mayberry Hill Subdiv	250 mm	2013	50	43	7	\$2,453	\$56	\$2,397	\$8,000	9	7	7	Good	Unlikely	Moderate	M	2
5070	Water - System Valve	200 mm Valve&Box - Taylor Drive	Valve&Box	Taylor Drive	111005-Mayberry Hill Subdiv	200 mm	2013	50	43	7	\$1,963	\$45	\$1,918	\$7,000	9	7	7	Good	Unlikely	Moderate	M	2
5071	Water - System Valve	200 mm Valve&Box - Industrial Road	Valve&Box	Industrial Road	150731 Complete As-Built D	200 mm	1993	50	23	27	\$962	\$866	\$96	\$7,000	5	7	7	Good	Unlikely	Moderate	M	2
5072	Water - System Valve	250 mm Valve&Box - Taylor Drive	Valve&Box	Taylor Drive	111005-Mayberry Hill Subdiv	250 mm	2013	50	43	7	\$2,453	\$56	\$2,397	\$8,000	9	7	7	Good	Unlikely	Moderate	M	2
5073	Water - System Valve	250 mm Valve&Box - Taylor Drive	Valve&Box	Taylor Drive	111005-Mayberry Hill Subdiv	250 mm	2013	50	43	7	\$2,453	\$56	\$2,397	\$8,000	9	7	7	Good	Unlikely	Moderate	M	2
5074	Water - System Valve	200 mm Valve&Box - Street 14	Valve&Box	Street 14	111005-Mayberry Hill Subdiv	200 mm	2013	50	43	7	\$1,963	\$45	\$1,918	\$7,000	9	7	7	Good	Unlikely	Moderate	M	2
5075	Water - System Valve	250 mm Valve&Box - Taylor Drive	Valve&Box	Taylor Drive	111005-Mayberry Hill Subdiv	250 mm	2013	50	43	7	\$2,453	\$56	\$2,397	\$8,000	9	7	7	Good	Unlikely	Moderate	M	2
5076	Water - System Valve	250 mm Valve&Box - Taylor Drive	Valve&Box	Taylor Drive	111005-Mayberry Hill Subdiv	250 mm	2013	50	43	7	\$2,453	\$56	\$2,397	\$8,000	9	7	7	Good	Unlikely	Moderate	M	2
5077	Water - System Valve	150 mm Valve&Box - Monty Avenue	Valve&Box	Monty Avenue	111005-Mayberry Hill Subdiv	150 mm	2013	50	43	7	\$1,472	\$33	\$1,439	\$6,000	9	7	7	Good	Unlikely	Moderate	M	2
5078	Water - System Valve	250 mm Valve&Box - Taylor Drive	Valve&Box	Taylor Drive	111005-Mayberry Hill Subdiv	250 mm	2013	50	43	7	\$2,453	\$56	\$2,397	\$8,000	9	7	7	Good	Unlikely	Moderate	M	2
5079	Water - System Valve	200 mm Valve&Box - Melody Lane	Valve&Box	Melody Lane	111005-Mayberry Hill Subdiv	200 mm	2013	50	43	7	\$1,963	\$45	\$1,918	\$7,000	9	7	7	Good	Unlikely	Moderate	M	2
5080	Water - System Valve	300 mm Valve&Box - Mill Street	Valve&Box	Mill Street	111005-Mayberry Hill Subdiv	300 mm	2013	50	43	7	\$2,944	\$67	\$2,877	\$9,000	9	7	7	Good	Unlikely	Moderate	M	2
5081	Water - System Valve	300 mm Valve&Box - Mill Street	Valve&Box	Mill Street	111005-Mayberry Hill Subdiv	300 mm	2013	50	43	7	\$2,944	\$67	\$2,877	\$9,000	9	7	7	Good	Unlikely	Moderate	M	2
5082	Water - System Valve	150 mm Valve&Box - Leeson Street	Valve&Box	Leeson Street	scan-m-796-4-8.pdf	150 mm	1993	50	23	27	\$721	\$649	\$72	\$6,000	5	7	7	Good	Unlikely	Moderate	M	2
5083	Water - System Valve	150 mm Valve&Box - Leeson Street	Valve&Box	Leeson Street	scan-m-796-4-8.pdf	150 mm	1993	50	23	27	\$721	\$649	\$72	\$6,000	5	7	7	Good	Unlikely	Moderate	M	2
5084	Water - System Valve	200 mm Valve&Box - Amaranth Street	Valve&Box	Concession Road 2-3	scan-m-796-4-20.pdf	200 mm	1993	50	23	27	\$962	\$866	\$96	\$7,000	5	7	7	Good	Unlikely	Moderate	M	2
5085	Water - System Valve	200 mm Valve&Box - Amaranth Street	Valve&Box	Amaranth Street	scan-m-796-4-20.pdf	200 mm	1993	50	23	27	\$962	\$866										

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Water - System Valve Inventory

FIXED ASSET ID	Asset Type	Asset Name	Asset Sub-Type	Road Name	Project or Source data	Size	Install Year	Useful Life	Remaining Useful Life	Age	Historic Cost	2020 Accumulated Amortization System	2020 Net Book Value System	Replacement Cost Including Labour	Condition Based On Age	Condition (from Staff Assessment)	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected Condition)	Consequence of Failure	Risk of Failure	Numerical Value of Risk of Failure
									45	20	\$ 236,835	\$ 58,184	\$ 178,651	\$ 1,121,000			7.5					1.8
5104	Water - System Valve	200 mm Valve&Box - Main Street	Valve&Box	Main Street	scan-m-796-5-32.pdf	200 mm	1993	50	23	27	\$962	\$866	\$96	\$7,000	5	7	7	Good	Unlikely	Moderate	M	2
5105	Water - System Valve	100 mm Valve&Box - East Back Lane	Valve&Box	East Back Lane	scan-m-796-5-32.pdf	100 mm	1993	50	23	27	\$577	\$519	\$58	\$5,000	5	7	7	Good	Unlikely	Moderate	M	2
5106	Water - System Valve	150 mm Valve&Box - Mill Street	Valve&Box	Mill Street	scan-m-796-5-23.pdf	150 mm	1993	50	23	27	\$721	\$649	\$72	\$6,000	5	7	7	Good	Unlikely	Moderate	M	2
5107	Water - System Valve	300 mm Valve&Chamber - Mill Street	Valve&Chamber	Mill Street	scan-m-796-4-19.pdf	300 mm	1993	100	73	27	\$3,366	\$909	\$2,457	\$18,000	7	7	7	Good	Unlikely	Major	M	2
5108	Water - System Valve	300 mm Valve&Chamber - Water Street	Valve&Chamber	Water Street	scan-m-796-4-6.pdf	300 mm	1993	100	73	27	\$3,366	\$909	\$2,457	\$18,000	7	7	7	Good	Unlikely	Major	M	2
5109	Water - System Valve	200 mm Valve&Box - William Street	Valve&Box	William Street	scan-m-796-4-18.pdf	200 mm	1993	50	23	27	\$962	\$866	\$96	\$7,000	5	7	7	Good	Unlikely	Moderate	M	2
5110	Water - System Valve	300 mm Valve&Box - Mill Street	Valve&Box	Mill Street	111005-Mayberry Hill Subdiv	300 mm	2013	50	43	7	\$2,944	\$67	\$2,877	\$9,000	9	7	7	Good	Unlikely	Moderate	M	2
5111	Water - System Valve	300 mm Valve&Box - Leeson Street	Valve&Box	Leeson Street	111005-Mayberry Hill Subdiv	300 mm	2013	50	43	7	\$2,944	\$687	\$2,257	\$9,000	9	7	7	Good	Unlikely	Moderate	M	2
5112	Water - System Valve	300 mm Valve&Box - Amaranth Street	Valve&Box	Concession Road 2-3	111005-Mayberry Hill Subdiv	300 mm	2013	50	43	7	\$2,944	\$67	\$2,877	\$9,000	9	7	7	Good	Unlikely	Moderate	M	2
5113	Water - System Valve	250 mm Valve&Box - Taylor Drive	Valve&Box	Taylor Drive	111005-Mayberry Hill Subdiv	250 mm	2013	50	43	7	\$2,453	\$56	\$2,397	\$8,000	9	7	7	Good	Unlikely	Moderate	M	2
5114	Water - System Valve	250 mm Valve&Box - Taylor Drive	Valve&Box	Taylor Drive	111005-Mayberry Hill Subdiv	250 mm	2013	50	43	7	\$2,453	\$56	\$2,397	\$8,000	9	7	7	Good	Unlikely	Moderate	M	2
5115	Water - System Valve	200 mm Valve&Box - <Null>	Valve&Box	<Null>	111005-Mayberry Hill Subdiv	200 mm	2013	50	43	7	\$1,963	\$45	\$1,918	\$7,000	9	7	7	Good	Unlikely	Moderate	M	2
5116	Water - System Valve	150 mm Valve&Box - Fife Road	Valve&Box	Fife Road	SCAN-C49-03.pdf	150 mm	1969	100	49	51	\$173	\$173	\$0	\$6,000	1	7	7	Good	Unlikely	Moderate	M	2
5117	Water - System Valve	150 mm Valve&Box - Joyce Court	Valve&Box	Joyce Court	SCAN-C49-04.pdf	150 mm	1969	100	49	51	\$173	\$173	\$0	\$6,000	1	7	7	Good	Unlikely	Moderate	M	2
5118	Water - System Valve	150 mm Valve&Box - Fife Road	Valve&Box	Fife Road	SCAN-C49-03.pdf	150 mm	1969	100	49	51	\$173	\$173	\$0	\$6,000	1	7	7	Good	Unlikely	Moderate	M	2
5119	Water - System Valve	150 mm Valve&Box - Fife Road	Valve&Box	Fife Road	SCAN-C49-03.pdf	150 mm	1969	100	49	51	\$173	\$173	\$0	\$6,000	1	7	7	Good	Unlikely	Moderate	M	2
5120	Water - System Valve	150 mm Valve&Box - Crozier Street	Valve&Box	Crozier Street	SCAN-C49-04.pdf	150 mm	1969	100	49	51	\$173	\$173	\$0	\$6,000	1	7	7	Good	Unlikely	Moderate	M	2
5121	Water - System Valve	300 mm Valve&Chamber - Main Street	Valve&Chamber	Main Street	scan-m-796-3-1.pdf	300 mm	1996	100	76	24	\$3,630	\$871	\$2,759	\$18,000	8	7	7	Good	Unlikely	Major	M	2
5122	Water - System Valve	150 mm Valve&Box - Fife Road	Valve&Box	Fife Road	SCAN-C49-03.pdf	150 mm	1969	100	49	51	\$173	\$173	\$0	\$6,000	1	7	7	Good	Unlikely	Moderate	M	2
5123	Water - System Valve	150 mm Valve&Box - Fife Road	Valve&Box	Fife Road	SCAN-C49-03.pdf	150 mm	1969	100	49	51	\$173	\$173	\$0	\$6,000	1	7	7	Good	Unlikely	Moderate	M	2
5124	Water - System Valve	150 mm Valve&Box - Mary Court	Valve&Box	Mary Court	SCAN-C49-05.pdf	150 mm	1969	100	49	51	\$173	\$173	\$0	\$6,000	1	7	7	Good	Unlikely	Moderate	M	2
5125	Water - System Valve	150 mm Valve&Box - Fife Road	Valve&Box	Fife Road	SCAN-C49-03.pdf	150 mm	1969	100	49	51	\$173	\$173	\$0	\$6,000	1	7	7	Good	Unlikely	Moderate	M	2
5126	Water - System Valve	150 mm Valve&Box - Crozier Street	Valve&Box	Crozier Street	SCAN-C49-04.pdf	150 mm	1969	100	49	51	\$173	\$173	\$0	\$6,000	1	7	7	Good	Unlikely	Moderate	M	2
5127	Water - System Valve	300 mm Valve&Box - Leeson Street	Valve&Box	Leeson Street	scan-m-412-1.pdf	300 mm	1992	100	72	28	\$1,433	\$1,337	\$96	\$9,000	1	7	7	Good	Unlikely	Moderate	M	2
5128	Water - System Valve	300 mm Valve&Box - Leeson Street	Valve&Box	Leeson Street	scan-m-412-1.pdf	300 mm	1992	100	72	28	\$1,433	\$1,337	\$96	\$9,000	1	7	7	Good	Unlikely	Moderate	M	2
5129	Water - System Valve	150 mm Valve&Box - Fife Road	Valve&Box	Fife Road	SCAN-C49-03.pdf	150 mm	1969	100	49	51	\$173	\$173	\$0	\$6,000	1	7	7	Good	Unlikely	Moderate	M	2
5130	Water - System Valve	150 mm Valve&Box - Spruyt Avenue	Valve&Box	Spruyt Avenue	scan C49 S-41-4.pdf	150 mm	1969	100	49	51	\$173	\$173	\$0	\$6,000	1	7	7	Good	Unlikely	Moderate	M	2
5131	Water - System Valve	150 mm Valve&Box - Crozier Street	Valve&Box	Crozier Street	scan C49 S-41-4.pdf	150 mm	1969	100	49	51	\$173	\$173	\$0	\$6,000	1	7	7	Good	Unlikely	Moderate	M	2
5132	Water - System Valve	150 mm Valve&Box - Baker Court	Valve&Box	Baker Court	scan C49 S-41-4.pdf	150 mm	1969	100	49	51	\$173	\$173	\$0	\$6,000	1	7	7	Good	Unlikely	Moderate	M	2
5133	Water - System Valve	300 mm Valve&Chamber - Mill Street	Valve&Chamber	Mill Street	scan-m-796-4-19.pdf	300 mm	1993	100	73	27	\$3,366	\$909	\$2,457	\$18,000	7	7	7	Good	Unlikely	Major	M	2
5347	Water - System Valve	300 mm Valve & Box - Leeson Street	Valve and Box	Leeson Street		300 mm	1992	50	22	28	\$1,433	\$1,337	\$96	\$9,000	4	7	7	Good	Unlikely	Moderate	M	2
5348	Water - System Valve	200 mm Valve & Box - Melody Lane	Valve and Box	Melody Lane		200 mm	1992	50	22	28	\$960	\$896	\$64	\$7,000	4	7	7	Good	Unlikely	Moderate	M	2
5349	Water - System Valve	300 mm Valve & Box - Melody Lane	Valve and Box	Melody Lane		300 mm	1992	50	22	28	\$1,433	\$1,337	\$96	\$9,000	4	7	7	Good	Unlikely	Moderate	M	2
5350	Water - System Valve	150 mm Valve & Box - Monty Ave	Valve and Box	Monty Ave		150 mm	1992	50	22	28	\$720	\$672	\$48	\$6,000	4	7	7	Good	Unlikely	Moderate	M	2
7025	Water - System Valve	200 mm Valve and Box - Jenkins Street	Valve and Box	Jenkins Street		200	2015	50	44	6	\$2,750	\$ -	\$ 2,750	\$7,000	9	9	9	Very Good	Rare	Moderate	L	1
7026	Water - System Valve	200 mm Valve and Box - Jenkins Street	Valve and Box	Jenkins Street		200	2015	50	44	6	\$2,750	\$ -	\$ 2,750	\$7,000	9	9	9	Very Good	Rare	Moderate	L	1
7027	Water - System Valve	150 mm Valve and Box - Hunt Street	Valve and Box	Hunt Street		150	2015	50	44	6	\$1,650	\$ -	\$ 1,650	\$6,000	9	9	9	Very Good	Rare	Moderate	L	1
7028	Water - System Valve	150 mm Valve and Box - Stuckey Lane	Valve and Box	Stuckey Lane		150	2015	50	44	6	\$1,650	\$ -	\$ 1,650	\$6,000	9	9	9	Very Good	Rare	Moderate	L	1
7029	Water - System Valve	200 mm Valve and Box - Ritchie Drive	Valve and Box	Ritchie Drive		200	2015	50	44	6	\$2,750	\$ -	\$ 2,750	\$7,000	9	9	9	Very Good	Rare	Moderate	L	1
7030	Water - System Valve	200 mm Valve and Box - Ritchie Drive	Valve and Box	Ritchie Drive		200	2015	50	44	6	\$2,750	\$ -	\$ 2,750	\$7,000	9	9	9	Very Good	Rare	Moderate	L	1
7031	Water - System Valve	250 mm Valve and Box - Mayberry Drive	Valve and Box	Mayberry Drive		250	2015	50	44	6	\$3,500	\$ -	\$ 3,500	\$8,000	9	9	9	Very Good	Rare	Moderate	L	1
7032	Water - System Valve	250 mm Valve and Box - Mayberry Drive	Valve and Box	Mayberry Drive		250	2015	50	44	6	\$3,500	\$ -	\$ 3,500	\$8,000	9	9	9	Very Good	Rare	Moderate	L	1
7033	Water - System Valve	150 mm Valve and Box - MacIntyre Lane	Valve and Box	MacIntyre Lane		150	2015	50	44	6	\$1,650	\$ -	\$ 1,650	\$6,000	9	9	9	Very Good	Rare	Moderate	L	1
7034	Water - System Valve	150 mm Valve and Box - MacIntyre Lane	Valve and Box	MacIntyre Lane		150	2015	50	44	6	\$1,650	\$ -	\$ 1,650	\$6,000	9	9	9	Very Good	Rare	Moderate	L	1
7035	Water - System Valve	150 mm Valve and Box - Beam Street	Valve and Box	Beam Street		150	2015	50	44	6	\$1,650	\$ -	\$ 1,650	\$6,000	9	9	9	Very Good	Rare	Moderate	L	1
7036	Water - System Valve	150 mm Valve and Box - Beam Street	Valve and Box	Beam Street		150	2015	50	44	6	\$1,650	\$ -	\$ 1,650	\$6,000	9	9	9	Very Good	Rare	Moderate	L	1
7037	Water - System Valve	150 mm Valve and Box - Hillborn Street	Valve and Box	Hillborn Street		150	2015	50	44	6	\$1,650	\$ -	\$ 1,650	\$6,000	9	9	9	Very Good	Rare	Moderate	L	1
7038	Water - System Valve	150 mm Valve and Box - Hillborn Street	Valve and Box	Hillborn Street		150	2015	50	44	6	\$1,650	\$ -	\$ 1,650	\$6,000	9	9	9	Very Good	Rare	Moderate	L	1
7039	Water - System Valve	150 mm Valve and Box - Hillborn Street	Valve and Box	Hillborn Street		150	2015	50	44	6	\$1,650	\$ -	\$ 1,650	\$6,000	9	9	9	Very Good	Rare	Moderate	L	1
7040	Water - System Valve	300 mm Valve and Box - Concession Road 2-3	Valve and Box	Concession Road 2-3		300	2015	50	44	6	\$4,500	\$ -	\$ 4,500	\$9,000	9	9	9	Very Good	Rare	Moderate	L	1
7041	Water - System Valve	300 mm Valve and Box - Concession Road 2-3	Valve and Box	Concession Road 2-3		300	2015	50	44	6	\$4,500	\$ -	\$ 4,500	\$9,000	9	9	9	Very Good	Rare	Moderate	L	1
7042	Water - System Valve	300 mm Valve and Box - Concession Road 2-3	Valve and Box	Concession Road 2-3		300	2015	50	44	6	\$4,500	\$ -	\$ 4,500	\$9,000	9	9	9	Very Good	Rare	Moderate	L	1
7043	Water - System Valve	150 mm Valve and Box - Beam Street	Valve and Box	Beam Street		150	2015	50	44	6	\$1,650	\$ -	\$ 1,650	\$6,000	9	9	9	Very Good	Rare	Moderate	L	1
7044	Water - System Valve	150 mm Valve and Box - Beam Street	Valve and Box	Beam Street		150	2015	50	44	6	\$1,650	\$ -	\$ 1,650	\$6,000	9	9	9	Very Good	Rare	Moderate	L	1
7045	Water - System Valve	200 mm Valve and Box - Sparrow Cres	Valve and Box	Sparrow Cres		200	2015	50	44	6	\$2,750	\$ -	\$ 2,750	\$7,000	9	9	9	Very Good	Rare	Moderate	L	1
7052	Water - System Valve	150 mm Valve and Box - Beam Street	Valve and Box																			

Grand Valley  
Water - System Valve Inventory

Current Levels of Service  
Replacement/Improvement Year Based on Current Levels  
Service

Expected Levels of Service  
Replacement/Improvement Year Based on Expected Levels  
Service

FIXED ASSET ID	Asset Type	Asset Name	Year Replacement due to minimal maintenance practices	Current Levels of Service % benefit	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score	Subsequent Replacement Year	Revised Remaining Useful Life	Proposed Rehabilitation Cost (2016 \$)	Year for Rehabilitation	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life
									\$ -							
5032	Water - System Valve	Valve & Chamber - Emma St Old Wastewater Plan	2103	10	2113	2113	2213	92					2113	2113	2213	97
5033	Water - System Valve	150 mm Valve&Box - Main Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5034	Water - System Valve	300 mm Valve&Chamber - River Street	2083	10	2093	2093	2193	72					2093	2093	2193	77
5035	Water - System Valve	200 mm Valve&Chamber - Cooper Street	2083	10	2093	2093	2193	72					2093	2093	2193	77
5036	Water - System Valve	200 mm Valve&Box - Cooper Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5037	Water - System Valve	200 mm Valve&Box - Cooper Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5038	Water - System Valve	150 mm Valve&Box - George Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5039	Water - System Valve	200 mm Valve&Box - George Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5040	Water - System Valve	150 mm Valve&Box - Cooper Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5041	Water - System Valve	150 mm Valve&Box - Park View Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5042	Water - System Valve	150 mm Valve&Box - Park View Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5043	Water - System Valve	150 mm Valve&Box - Main Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5044	Water - System Valve	150 mm Valve&Box - Webb Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5045	Water - System Valve	150 mm Valve&Box - Crozier Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5046	Water - System Valve	150 mm Valve&Box - Crozier Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5047	Water - System Valve	150 mm Valve&Box - Scott Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5048	Water - System Valve	150 mm Valve&Box - Scott Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5049	Water - System Valve	200 mm Valve&Box - Bielby Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5050	Water - System Valve	150 mm Valve&Box - Gier Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5051	Water - System Valve	150 mm Valve&Box - Gier Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5052	Water - System Valve	200 mm Valve&Box - Amaranth Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5053	Water - System Valve	200 mm Valve&Box - Amaranth Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5054	Water - System Valve	150 mm Valve&Box - Crozier Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5055	Water - System Valve	150 mm Valve&Box - Ponsford Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5056	Water - System Valve	200 mm Valve&Box - Amaranth Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5057	Water - System Valve	200 mm Valve&Box - Amaranth Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5058	Water - System Valve	200 mm Valve&Box - Bielby Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5059	Water - System Valve	150 mm Valve&Box - Mill Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5060	Water - System Valve	150 mm Valve&Box - King Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5061	Water - System Valve	150 mm Valve&Box - George Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5062	Water - System Valve	150 mm Valve&Chamber - West Bank Alley	2083	10	2093	2093	2193	72					2093	2093	2193	77
5063	Water - System Valve	300 mm Valve&Box - Taylor Drive	2058	10	2063	2063	2113	42					2063	2063	2113	47
5064	Water - System Valve	300 mm Valve&Box - Taylor Drive	2058	10	2063	2063	2113	42					2063	2063	2113	47
5065	Water - System Valve	300 mm Valve&Box - Taylor Drive	2058	10	2063	2063	2113	42					2063	2063	2113	47
5066	Water - System Valve	300 mm Valve&Box - Taylor Drive	2058	10	2063	2063	2113	42					2063	2063	2113	47
5067	Water - System Valve	300 mm Valve&Box - Taylor Drive	2058	10	2063	2063	2113	42					2063	2063	2113	47
5068	Water - System Valve	300 mm Valve&Box - Taylor Drive	2058	10	2063	2063	2113	42					2063	2063	2113	47
5069	Water - System Valve	250 mm Valve&Box - Taylor Drive	2058	10	2063	2063	2113	42					2063	2063	2113	47
5070	Water - System Valve	200 mm Valve&Box - Taylor Drive	2058	10	2063	2063	2113	42					2063	2063	2113	47
5071	Water - System Valve	200 mm Valve&Box - Industrial Road	2038	10	2043	2043	2093	22					2043	2043	2093	27
5072	Water - System Valve	250 mm Valve&Box - Taylor Drive	2058	10	2063	2063	2113	42					2063	2063	2113	47
5073	Water - System Valve	250 mm Valve&Box - Taylor Drive	2058	10	2063	2063	2113	42					2063	2063	2113	47
5074	Water - System Valve	200 mm Valve&Box - Street 14	2058	10	2063	2063	2113	42					2063	2063	2113	47
5075	Water - System Valve	250 mm Valve&Box - Taylor Drive	2058	10	2063	2063	2113	42					2063	2063	2113	47
5076	Water - System Valve	250 mm Valve&Box - Taylor Drive	2058	10	2063	2063	2113	42					2063	2063	2113	47
5077	Water - System Valve	150 mm Valve&Box - Monty Avenue	2058	10	2063	2063	2113	42					2063	2063	2113	47
5078	Water - System Valve	250 mm Valve&Box - Taylor Drive	2058	10	2063	2063	2113	42					2063	2063	2113	47
5079	Water - System Valve	200 mm Valve&Box - Melody Lane	2058	10	2063	2063	2113	42					2063	2063	2113	47
5080	Water - System Valve	300 mm Valve&Box - Mill Street	2058	10	2063	2063	2113	42					2063	2063	2113	47
5081	Water - System Valve	300 mm Valve&Box - Mill Street	2058	10	2063	2063	2113	42					2063	2063	2113	47
5082	Water - System Valve	150 mm Valve&Box - Leeson Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5083	Water - System Valve	150 mm Valve&Box - Leeson Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5084	Water - System Valve	200 mm Valve&Box - Amaranth Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5085	Water - System Valve	200 mm Valve&Box - Amaranth Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5086	Water - System Valve	150 mm Valve&Box - Leeson Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5087	Water - System Valve	150 mm Valve&Box - Leeson Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5088	Water - System Valve	300 mm Valve&Chamber - Leeson Street	2083	10	2093	2093	2193	72					2093	2093	2193	77
5089	Water - System Valve	300 mm Valve&Chamber - Leeson Street	2083	10	2093	2093	2193	72					2093	2093	2193	77
5090	Water - System Valve	150 mm Valve&Box - Emma Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5091	Water - System Valve	150 mm Valve&Box - Emma Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5092	Water - System Valve	200 mm Valve&Box - Amaranth Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5093	Water - System Valve	150 mm Valve&Box - Emma Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5094	Water - System Valve	150 mm Valve&Box - Emma Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5095	Water - System Valve	150 mm Valve&Box - Emma Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5096	Water - System Valve	150 mm Valve&Box - Emma Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5097	Water - System Valve	150 mm Valve&Box - Emma Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5098	Water - System Valve	300 mm Valve&Chamber - Main Street	2083	10	2093	2093	2193	72					2093	2093	2193	77
5099	Water - System Valve	150 mm Valve&Box - Main Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5100	Water - System Valve	300 mm Valve&Chamber - Main Street	2083	10	2093	2093	2193	72					2093	2093	2193	77
5101	Water - System Valve	100 mm Valve&Box - Main Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5102	Water - System Valve	300 mm Valve&Chamber - Main Street	2083	10	2093	2093	2193	72					2093	2093	2193	77
5103	Water - System Valve	300 mm Valve&Chamber - Amaranth Street	2083	10	2093	2093	2193	72					2093	2093	2193	77

Grand Valley  
Water - System Valve Inventory

Current Levels of Service  
Replacement/Improvement Year Based on Current Levels  
Service

Expected Levels of Service  
Replacement/Improvement Year Based on Expected Levels  
Service

FIXED ASSET ID	Asset Type	Asset Name	Year Replacement due to minimal maintenance practices	Current Levels of Service % benefit	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score	Subsequent Replacement Year	Revised Remaining Useful Life	Proposed Rehabilitation Cost (2016 \$)	Year for Rehabilitation	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life
									\$ -							
5104	Water - System Valve	200 mm Valve&Box - Main Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5105	Water - System Valve	100 mm Valve&Box - East Back Lane	2038	10	2043	2043	2093	22					2043	2043	2093	27
5106	Water - System Valve	150 mm Valve&Box - Mill Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5107	Water - System Valve	300 mm Valve&Chamber - Mill Street	2083	10	2093	2093	2193	72					2093	2093	2193	77
5108	Water - System Valve	300 mm Valve&Chamber - Water Street	2083	10	2093	2093	2193	72					2093	2093	2193	77
5109	Water - System Valve	200 mm Valve&Box - William Street	2038	10	2043	2043	2093	22					2043	2043	2093	27
5110	Water - System Valve	300 mm Valve&Box - Mill Street	2058	10	2063	2063	2113	42					2063	2063	2113	47
5111	Water - System Valve	300 mm Valve&Box - Leeson Street	2058	10	2063	2063	2113	42					2063	2063	2113	47
5112	Water - System Valve	300 mm Valve&Box - Amaranth Street	2058	10	2063	2063	2113	42					2063	2063	2113	47
5113	Water - System Valve	250 mm Valve&Box - Taylor Drive	2058	10	2063	2063	2113	42					2063	2063	2113	47
5114	Water - System Valve	250 mm Valve&Box - Taylor Drive	2058	10	2063	2063	2113	42					2063	2063	2113	47
5115	Water - System Valve	200 mm Valve&Box - <Null>	2058	10	2063	2063	2113	42					2063	2063	2113	47
5116	Water - System Valve	150 mm Valve&Box - Fife Road	2059	10	2069	2069	2169	48					2069	2069	2169	53
5117	Water - System Valve	150 mm Valve&Box - Joyce Court	2059	10	2069	2069	2169	48					2069	2069	2169	53
5118	Water - System Valve	150 mm Valve&Box - Fife Road	2059	10	2069	2069	2169	48					2069	2069	2169	53
5119	Water - System Valve	150 mm Valve&Box - Fife Road	2059	10	2069	2069	2169	48					2069	2069	2169	53
5120	Water - System Valve	150 mm Valve&Box - Crozier Street	2059	10	2069	2069	2169	48					2069	2069	2169	53
5121	Water - System Valve	300 mm Valve&Chamber - Main Street	2086	10	2096	2096	2196	75					2096	2096	2196	80
5122	Water - System Valve	150 mm Valve&Box - Fife Road	2059	10	2069	2069	2169	48					2069	2069	2169	53
5123	Water - System Valve	150 mm Valve&Box - Fife Road	2059	10	2069	2069	2169	48					2069	2069	2169	53
5124	Water - System Valve	150 mm Valve&Box - Mary Court	2059	10	2069	2069	2169	48					2069	2069	2169	53
5125	Water - System Valve	150 mm Valve&Box - Fife Road	2059	10	2069	2069	2169	48					2069	2069	2169	53
5126	Water - System Valve	150 mm Valve&Box - Crozier Street	2059	10	2069	2069	2169	48					2069	2069	2169	53
5127	Water - System Valve	300 mm Valve&Box - Leeson Street	2082	10	2092	2092	2192	71					2092	2092	2192	76
5128	Water - System Valve	300 mm Valve&Box - Leeson Street	2082	10	2092	2092	2192	71					2092	2092	2192	76
5129	Water - System Valve	150 mm Valve&Box - Fife Road	2059	10	2069	2069	2169	48					2069	2069	2169	53
5130	Water - System Valve	150 mm Valve&Box - Spruyt Avenue	2059	10	2069	2069	2169	48					2069	2069	2169	53
5131	Water - System Valve	150 mm Valve&Box - Crozier Street	2059	10	2069	2069	2169	48					2069	2069	2169	53
5132	Water - System Valve	150 mm Valve&Box - Baker Court	2059	10	2069	2069	2169	48					2069	2069	2169	53
5133	Water - System Valve	300 mm Valve&Chamber - Mill Street	2083	10	2093	2093	2193	72					2093	2093	2193	77
5347	Water - System Valve	300 mm Valve & Box - Leeson Street	2037	10	2042	2042	2092	21					2042	2042	2092	26
5348	Water - System Valve	200 mm Valve & Box - Melody Lane	2037	10	2042	2042	2092	21					2042	2042	2092	26
5349	Water - System Valve	300 mm Valve & Box - Melody Lane	2037	10	2042	2042	2092	21					2042	2042	2092	26
5350	Water - System Valve	150 mm Valve & Box - Monty Ave	2037	10	2042	2042	2092	21					2042	2042	2092	26
7025	Water - System Valve	200 mm Valve and Box - Jenkins Street	2060	10	2065	2065	2115	44					2065	2065	2115	49
7026	Water - System Valve	200 mm Valve and Box - Jenkins Street	2060	10	2065	2065	2115	44					2065	2065	2115	49
7027	Water - System Valve	150 mm Valve and Box - Hunt Street	2060	10	2065	2065	2115	44					2065	2065	2115	49
7028	Water - System Valve	150 mm Valve and Box - Stuckey Lane	2060	10	2065	2065	2115	44					2065	2065	2115	49
7029	Water - System Valve	200 mm Valve and Box - Ritchie Drive	2060	10	2065	2065	2115	44					2065	2065	2115	49
7030	Water - System Valve	200 mm Valve and Box - Ritchie Drive	2060	10	2065	2065	2115	44					2065	2065	2115	49
7031	Water - System Valve	250 mm Valve and Box - Mayberry Drive	2060	10	2065	2065	2115	44					2065	2065	2115	49
7032	Water - System Valve	250 mm Valve and Box - Mayberry Drive	2060	10	2065	2065	2115	44					2065	2065	2115	49
7033	Water - System Valve	150 mm Valve and Box - MacIntyre Lane	2060	10	2065	2065	2115	44					2065	2065	2115	49
7034	Water - System Valve	150 mm Valve and Box - MacIntyre Lane	2060	10	2065	2065	2115	44					2065	2065	2115	49
7035	Water - System Valve	150 mm Valve and Box - Beam Street	2060	10	2065	2065	2115	44					2065	2065	2115	49
7036	Water - System Valve	150 mm Valve and Box - Beam Street	2060	10	2065	2065	2115	44					2065	2065	2115	49
7037	Water - System Valve	150 mm Valve and Box - Hillborn Street	2060	10	2065	2065	2115	44					2065	2065	2115	49
7038	Water - System Valve	150 mm Valve and Box - Hillborn Street	2060	10	2065	2065	2115	44					2065	2065	2115	49
7039	Water - System Valve	150 mm Valve and Box - Hillborn Street	2060	10	2065	2065	2115	44					2065	2065	2115	49
7040	Water - System Valve	300 mm Valve and Box - Concession Road 2-3	2060	10	2065	2065	2115	44					2065	2065	2115	49
7041	Water - System Valve	300 mm Valve and Box - Concession Road 2-3	2060	10	2065	2065	2115	44					2065	2065	2115	49
7042	Water - System Valve	300 mm Valve and Box - Concession Road 2-3	2060	10	2065	2065	2115	44					2065	2065	2115	49
7043	Water - System Valve	150 mm Valve and Box - Beam Street	2060	10	2065	2065	2115	44					2065	2065	2115	49
7044	Water - System Valve	150 mm Valve and Box - Beam Street	2060	10	2065	2065	2115	44					2065	2065	2115	49
7045	Water - System Valve	200 mm Valve and Box - Sparrow Cres	2060	10	2065	2065	2115	44					2065	2065	2115	49
7052	Water - System Valve	150 mm Valve and Box - Beam Street	2060	10	2065	2065	2115	44					2065	2065	2115	49
7053	Water - System Valve	150 mm Valve and Box - Beam Street	2060	10	2065	2065	2115	44					2065	2065	2115	49
7054	Water - System Valve	150 mm Valve and Box - Mill Street	2060	10	2065	2065	2115	44					2065	2065	2115	49
7055	Water - System Valve	150 mm Valve and Box - Condo Development	2060	10	2065	2065	2115	44					2065	2065	2115	49
7056	Water - System Valve	150 mm Valve and Box - Condo Development	2060	10	2065	2065	2115	44					2065	2065	2115	49
7057	Water - System Valve	150 mm Valve and Box - Condo Development	2060	10	2065	2065	2115	44					2065	2065	2115	49
7058	Water - System Valve	150 mm Valve and Box - Condo Development	2060	10	2065	2065	2115	44					2065	2065	2115	49
7059	Water - System Valve	150 mm Valve and Box - Taylor Drive	2060	10	2065	2065	2115	44					2065	2065	2115	49
7060	Water - System Valve	150 mm Valve and Box - Condo Development	2060	10	2065	2065	2115	44					2065	2065	2115	49
7046	Water - System Valve	200 mm Valve and Box - Jenkins Street	2060	10	2065	2065	2115	44					2065	2065	2115	49
7047	Water - System Valve	200 mm Valve and Box - Jenkins Street	2060	10	2065	2065	2115	44					2065	2065	2115	49
7048	Water - System Valve	250 mm Valve and Box - Rainy Drive	2060	10	2065	2065	2115	44					2065	2065	2115	49
7049	Water - System Valve	250 mm Valve and Box - Rainy Drive	2060	10	2065	2065	2115	44					2065	2065	2115	49
7050	Water - System Valve	250 mm Valve and Box - Jenkins Street	2060	10	2065	2065	2115	44					2065	2065	2115	49
7051	Water - System Valve	250 mm Valve and Box - Rainy Drive	2060	10	2065	2065	2115	44					2065	2065	2115	49



Grand Valley  
Components Inventory

\$ 15,660,728.97 \$ 2,606,527.23 \$ 13,054,201.74

Fixed Asset #	Map Link	Location	Asset Name - Facility Components	Description	Install Year	Useful Life	Remaining Useful Life	Age	Cost	2020 Accumulated Amortization System	2020 Net Book Value System	Replacement Cost	Condition Based On Useful Life	Condition	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected)
			<b>Waste Water Treatment Plant Other Assets</b>						\$ 15,868,797	\$ 3,171,288	\$ 12,697,509	\$ 20,212,200					
5491		Industrial Road	Confined Space Equipment (WWTP)		2011	10	1	9	\$10,000	\$9,000	\$1,000	\$17,500	1	7	7	Good	Unlikely
5646		Industrial Road	WWTP - SCADA WS#2 Computer & UPS		2020	5	5	0	\$27,212	\$0	\$27,212	\$30,000	10		10	Very Good	Rare
4014		Industrial Road	DESK - WASTEWATER TREATMENT PLANT		2011	25	16	9	\$362	\$181	\$181	\$450	6	7	7	Good	Unlikely
4015		Industrial Road	OFFICE CHAIR - WASTEWATER TREATMENT PLANT		2011	20	11	9	\$243	\$122	\$122	\$250	6	6	6	Average	Possible
4016		Industrial Road	CABINET - WASTEWATER TREATMENT PLANT		2011	25	16	9	\$619	\$310	\$310	\$700	6	7	7	Good	Unlikely
4017		Industrial Road	ADDITIONAL OFFICE FURNITURE - WASTEWATER TREATMENT PLANT		2011	25	16	9	\$1,988	\$994	\$994	\$2,500	6	7	7	Good	Unlikely
			<b>Sub-Total</b>				<b>4</b>	<b>4</b>	<b>\$40,424</b>	<b>\$10,606</b>	<b>\$29,818</b>	<b>\$51,400</b>			<b>8.7</b>		
			<b>Admin-Maintenance-UV Building</b>														
5402			Structure & Substructure		2011	100	91	9	\$775,000	\$69,750	\$705,250	\$950,000	9		9	Very Good	Rare
5403			Exterior Enclosure	Exterior	2011	50	41	9	\$55,000	\$9,900	\$45,100	\$60,000	8		8	Good	Unlikely
5404		Industrial Road	Roofing	Prefinished Metal Roof	2011	40	31	9	\$45,000	\$10,125	\$34,875	\$50,000	8		8	Good	Unlikely
5405		Industrial Road	Roofing	Modified Bitument Roof	2011	25	16	9	\$40,000	\$14,400	\$25,600	\$45,000	6		6	Average	Possible
5406		Industrial Road	Miscellaneous Metals	Grating/Handrailing	2011	50	41	9	\$135,000	\$24,300	\$110,700	\$150,000	8		8	Good	Unlikely
5407		Industrial Road	Plumbing & Drainage	Fixtures/Plumbing, etc.	2011	30	21	9	\$60,000	\$18,000	\$42,000	\$45,000	7		7	Good	Unlikely
5408		Industrial Road	HVAC	Heating, Ventilation, Air Conditioning	2011	20	11	9	\$140,000	\$63,000	\$77,000	\$160,000	6	7	7	Good	Unlikely
5409		Industrial Road	Sprinkler System	Sprinkler System (Fire Suppression)	2011	30	21	9	\$30,000	\$9,000	\$21,000	\$35,000	7		7	Good	Unlikely
5410		Industrial Road	Process Control Devices	Valves, Gates, Pressure Gauges, etc.	2011	30	21	9	\$55,000	\$16,500	\$38,500	\$62,000	7		7	Good	Unlikely
5411		Industrial Road	Process Piping	Stainless Steel Process Piping	2011	50	41	9	\$55,000	\$9,900	\$45,100	\$60,000	8		8	Good	Unlikely
5412		Industrial Road	Flow Measurement	Magnetic Flow Meters	2011	15	6	9	\$8,000	\$4,800	\$3,200	\$8,000	4		4	Poor	Likely
5413		Industrial Road	Chemical Feed Pumps	Alum Feed Pumps	2011	10	1	9	\$50,000	\$45,000	\$5,000	\$50,000	1	7	7	Good	Unlikely
5414		Industrial Road	Filter Equipment	Dynasand Continous Backwash Filters	2011	30	21	9	\$310,000	\$93,000	\$217,000	\$230,000	7		7	Good	Unlikely
5415		Industrial Road	UV Disinfection Equip.		2011	20	11	9	\$150,000	\$67,500	\$82,500	\$150,000	6		6	Average	Possible
5416		Industrial Road	Heating Cables	Alum Feed Piping Heat Tracing	2011	25	16	9	\$23,000	\$8,280	\$14,720	\$23,000	6		6	Average	Possible
5417		Industrial Road	Motor Control Centres	Electrical - Starters, VFDs, Lighting Panel	2011	25	16	9	\$100,000	\$45,000	\$55,000	\$100,000	6		6	Average	Possible
5418		Industrial Road	Stand-by Power	Diesel Fuelled Stand-by Generators	2011	30	21	9	\$123,825	\$36,736	\$87,089	\$135,000	7		7	Good	Unlikely
5419		Industrial Road	Lighting Equipment		2011	25	16	9	\$40,000	\$18,000	\$22,000	\$45,000	6		6	Average	Possible
5420		Industrial Road	PLCs/SCADA	RPUs, PLCs, SCADA, Communication	2011	25	16	9	\$86,264	\$31,022	\$55,242	\$170,000	6		6	Average	Possible
5421		Industrial Road	Instrumentation	Gas Monitoring Equip./Transmitters. Etc	2011	25	16	9	\$48,000	\$17,100	\$30,900	\$45,000	6	8	8	Good	Unlikely
5422		Industrial Road	Potable Water Meter		2011	25	16	9	\$10,000	\$4,500	\$5,500	\$12,000	6		6	Average	Possible
5423		Industrial Road	Partial Flume		2011	25	16	9	\$25,000	\$11,250	\$13,750	\$28,000	6		6	Average	Possible
5424		Industrial Road	Aluminum Tanks		2011	100	91	9	\$5,000	\$450	\$4,550	\$7,500	9		9	Very Good	Rare
5425		Industrial Road	Control Panels		2011	25	16	9	\$19,000	\$8,550	\$10,450	\$22,000	6		6	Average	Possible
			<b>Sub-Total</b>				<b>46</b>	<b>9</b>	<b>\$2,388,088</b>	<b>\$636,063</b>	<b>\$1,752,026</b>	<b>\$2,642,500</b>			<b>7.6</b>		

Grand Valley  
Components Inventory

\$ 15,660,728.97 \$ 2,606,527.23 \$ 13,054,201.74

Fixed Asset #	Map Link	Location	Asset Name - Facility Components	Description	Install Year	Useful Life	Remaining Useful Life	Age	Cost	2020 Accumulated Amortization System	2020 Net Book Value System	Replacement Cost	Condition Based On Useful Life	Condition	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected)
			<b>Blower-Sludge Pumping Building</b>						\$ 15,868,797	\$ 3,171,288	\$ 12,697,509	\$ 20,212,200					
5426		Industrial Road	Structure & Substructure		2011	100	91	9	\$2,000,000	\$180,000	\$1,820,000	\$2,500,000	9		9	Very Good	Rare
5427		Industrial Road	Exterior Enclosure	Exterior	2011	50	41	9	\$50,000	\$9,000	\$41,000	\$60,000	8		8	Good	Unlikely
5428		Industrial Road	Roofing	Modified Bitument Roof	2011	25	16	9	\$40,000	\$14,400	\$25,600	\$45,000	6		6	Average	Possible
5429		Industrial Road	Miscellaneous Metals	Grating/Handrailing	2011	50	41	9	\$250,000	\$45,000	\$205,000	\$280,000	8		8	Good	Unlikely
5430		Industrial Road	Plumbing & Drainage	Fixtures/Plumbing, etc.	2011	30	21	9	\$60,000	\$18,000	\$42,000	\$60,000	7		7	Good	Unlikely
5431		Industrial Road	HVAC	Heating, Ventilation, Air Conditioning	2011	25	16	9	\$80,000	\$36,000	\$44,000	\$90,000	6		6	Average	Possible
5432		Industrial Road	Sprinkler System	Sprinkler System (Fire Suppression)	2011	30	21	9	\$30,000	\$9,000	\$21,000	\$35,000	7		7	Good	Unlikely
5433		Industrial Road	Process Control Devices	Valves, Gates, Pressure Gauges, etc.	2011	30	21	9	\$396,948	\$117,798	\$279,150	\$435,000	7		7	Good	Unlikely
5434		Industrial Road	Process Piping		2011	50	41	9	\$385,000	\$69,300	\$315,700	\$430,000	8		8	Good	Unlikely
5435		Industrial Road	Flow Measurement	Magnetic Flow Meters	2011	25	16	9	\$39,000	\$14,040	\$24,960	\$45,000	6		6	Average	Possible
5436		Industrial Road	WWTP Site WWPS Pumps	Four Submersible Sewage Pumps	2011	25	16	9	\$200,000	\$72,000	\$128,000	\$335,000	6		6	Average	Possible
5437		Industrial Road	Screw Centrifugal Pumps	Sludge Pumps	2011	20	11	9	\$235,000	\$105,750	\$129,250	\$320,000	6		6	Average	Possible
5438		Industrial Road	Biosolids Mixing Pumps	Horizontal Centrifugal Pumps	2011	20	11	9	\$70,000	\$31,500	\$38,500	\$90,000	6		6	Average	Possible
5439		Industrial Road	Diffusers & Piping	Aeration & Digestion Diffused Air Sys.	2011	25	16	9	\$160,000	\$57,600	\$102,400	\$255,000	6		6	Average	Possible
5440		Industrial Road	Air Blowers	Four Aeration & Digstion PD Blowers	2011	25	16	9	\$100,000	\$36,000	\$64,000	\$395,000	6		6	Average	Possible
5441		Industrial Road	Clarifier Mechanisms		2011	30	21	9	\$330,000	\$99,000	\$231,000	\$550,000	7		7	Good	Unlikely
5442		Industrial Road	Clarifier Covers	Secondary Clarifer FRP Covers	2011	100	91	9	\$100,000	\$9,000	\$91,000	\$112,000	9		9	Very Good	Rare
5443		Industrial Road	Heating Cables	Alum Feed Piping Heat Tracing	2011	25	16	9	\$23,000	\$8,280	\$14,720	\$25,000	6		6	Average	Possible
5444		Industrial Road	Motor Control Centres	Panel	2011	30	21	9	\$250,000	\$75,000	\$175,000	\$280,000	7		7	Good	Unlikely
5445		Industrial Road	Lighting Equipment		2011	25	16	9	\$24,000	\$8,640	\$15,360	\$27,000	6		6	Average	Possible
5446		Industrial Road	PLCs/SCADA	RPU's, PLC's, SCADA, Communication	2011	25	16	9	\$83,000	\$37,350	\$45,650	\$95,000	6		6	Average	Possible
5447		Industrial Road	Instrumentation	Transmitters. Etc	2011	25	16	9	\$117,000	\$52,650	\$64,350	\$130,000	6		6	Average	Possible
5448		Industrial Road	Control Panels		2011	25	16	9	\$76,000	\$34,200	\$41,800	\$85,000	6		6	Average	Possible
			<b>Sub-Total</b>				<b>49</b>	<b>9</b>	<b>\$5,098,948</b>	<b>\$1,139,508</b>	<b>\$3,959,440</b>	<b>\$6,679,000</b>			<b>7.6</b>		
			<b>Headworks Building</b>														
5449		Industrial Road	Structure & Substructure		2011	100	91	9	\$1,000,000	\$90,000	\$910,000	\$1,250,000	9		9	Very Good	Rare
5450		Industrial Road	Exterior Enclosure	Exterior	2011	50	41	9	\$50,000	\$9,000	\$41,000	\$60,000	8		8	Good	Unlikely
5451		Industrial Road	Roofing	Modified Bitument Roof	2011	25	16	9	\$10,000	\$3,600	\$6,400	\$11,500	6		6	Average	Possible
5452		Industrial Road	Miscellaneous Metals	Grating/Handrailing	2011	50	41	9	\$40,000	\$7,200	\$32,800	\$45,000	8		8	Good	Unlikely
5453		Industrial Road	Plumbing & Drainage	Fixtures/Plumbing, etc.	2011	30	21	9	\$20,000	\$6,000	\$14,000	\$11,250	7		7	Good	Unlikely
5454		Industrial Road	HVAC	Heating, Ventilation, Air Conditioning	2011	25	16	9	\$66,873	\$31,611	\$35,261	\$112,550	6		6	Average	Possible
5455		Industrial Road	Process Control Devices Electrical	Valves, Gates, Pressure Gauges, etc.	2011	30	21	9	\$75,000	\$27,000	\$48,000	\$85,000	7		7	Good	Unlikely
5456		Industrial Road	Process Control Devices Mechanical	Valves, Gates, Pressure Gauges, etc.	2011	30	21	9	\$55,000	\$16,500	\$38,500	\$60,000	7		7	Good	Unlikely
5457		Industrial Road	Process Piping	Valves, Gates, Pressure Gauges, etc.	2011	30	21	9	\$55,000	\$16,500	\$38,500	\$135,000	7		7	Good	Unlikely
5458		Industrial Road	Flow Measurement	Magnetic Flow Meters	2011	15	6	9	\$20,000	\$12,000	\$8,000	\$22,500	4		4	Poor	Likely
5459		Industrial Road	Septage Transfer Pumps	Submersible Sewage Pumps	2011	20	11	9	\$25,000	\$11,250	\$13,750	\$28,000	6		6	Average	Possible
5460		Industrial Road	Septage Receiving System	Pkg. JWC Septage Transfer System	2011	25	16	9	\$260,000	\$117,000	\$143,000	\$292,000	6		6	Average	Possible
5461		Industrial Road	Automatic Screening Sys.	Escalator Fine Screen & Compactor	2011	20	11	9	\$135,000	\$60,750	\$74,250	\$280,000	6		6	Average	Possible
5462		Industrial Road	Automatic Degritting Sys.	Vortex Degritting Equipment	2011	20	11	9	\$610,000	\$274,500	\$335,500	\$685,000	6		6	Average	Possible
5463		Industrial Road	Motor Control Centres	Electrical - Starters, VFDs, Lighting Panel	2011	25	16	9	\$50,000	\$22,500	\$27,500	\$112,500	6		6	Average	Possible
5464		Industrial Road	Lighting Equipment		2011	25	16	9	\$16,000	\$7,200	\$8,800	\$34,000	6		6	Average	Possible
5465		Industrial Road	PLCs/SCADA	RPU's, PLC's, SCADA, Communication	2011	25	16	9	\$20,000	\$9,000	\$11,000	\$22,500	6		6	Average	Possible
5466		Industrial Road	Instrumentation	Gas Monitoring Equip./Transmitters. Etc	2011	25	16	9	\$30,000	\$13,500	\$16,500	\$34,000	6		6	Average	Possible
5467		Industrial Road	Control Panels		2011	25	16	9	\$25,000	\$11,250	\$13,750	\$28,000	6		6	Average	Possible
			<b>Sub-Total</b>				<b>44</b>	<b>9</b>	<b>\$2,562,873</b>	<b>\$746,361</b>	<b>\$1,816,511</b>	<b>\$3,304,800</b>			<b>7.3</b>		
			<b>Bio Solids Tank</b>														
5468			Tank Container		2011	30	21	9	\$550,000	\$165,000	\$385,000	\$560,000	7		7.0	Good	Unlikely
			<b>Sub-Total</b>						<b>\$550,000</b>	<b>\$165,000</b>	<b>\$385,000</b>	<b>\$560,000</b>					
			<b>Surge Tank</b>														
5645		WPCP	Equalization Tank	Glass Fused Steel Bolted EQ Tank	2020	50	50	0	\$921,000	\$0	\$921,000	\$1,000,000	10		10.0	Very Good	Rare
		WPCP	Precast Valve Chamber	Precast Valve Chamber	2020	75	75	0	\$273,000	\$0	\$273,000	\$275,000	10		10.0	Very Good	Rare

Grand Valley  
Components Inventory

\$ 15,660,728.97 \$ 2,606,527.23 \$ 13,054,201.74

Fixed Asset #	Map Link	Location	Asset Name - Facility Components	Description	Install Year	Useful Life	Remaining Useful Life	Age	Cost	2020 Accumulated Amortization System	2020 Net Book Value System	Replacement Cost	Condition Based On Useful Life	Condition	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected)
									\$ 15,868,797	\$ 3,171,288	\$ 12,697,509	\$ 20,212,200					
		WPCP	Valve Chamber Mechanical	Process Piping, Appurtances, Meters, Misc. Metals	2020	25	25	0	\$296,000	\$0	\$296,000	\$300,000	10		10.0	Very Good	Rare
		WPCP	Precast SPS Chamber	Precast SPS Chamber	2020	75	75	0	\$273,000	\$0	\$273,000	\$275,000	10		10.0	Very Good	Rare
		WPCP	SPS Submersible Pumps	SPS Submersible Pumps	2020	15	15	0	\$156,000	\$0	\$156,000	\$160,000	10		10.0	Very Good	Rare
		WPCP	SPS Mechanical	Process Piping, Appurtances, Misc. Metals	2020	25	25	0	\$63,000	\$0	\$63,000	\$85,000	10		10.0	Very Good	Rare
		WPCP	Electrical Power & Control Equipment	Electrical Power & Control Equipment	2020	20	20	0	\$425,000	\$0	\$425,000	\$450,000	10		10.0	Very Good	Rare
		WPCP	Yard Piping and Appurtances	Yard Piping and Appurtances	2020	75	75	0	\$328,000	\$0	\$328,000	\$350,000	10		10.0	Very Good	Rare
			<b>Sub-Total</b>				<b>48</b>	<b>0</b>	<b>\$2,735,000</b>	<b>\$0</b>	<b>\$2,735,000</b>	<b>\$2,895,000</b>			<b>10</b>		

Grand Valley  
Components Inventory

\$ 15,660,728.97 \$ 2,606,527.23 \$ 13,054,201.74

Fixed Asset #	Map Link	Location	Asset Name - Facility Components	Description	Install Year	Useful Life	Remaining Useful Life	Age	Cost	2020 Accumulated Amortization System	2020 Net Book Value System	Replacement Cost	Condition Based On Useful Life	Condition	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected)
			<b>WWTP On Site Pumping Station</b>						\$ 15,868,797	\$ 3,171,288	\$ 12,697,509	\$ 20,212,200					
5469			Pumping Station Chamber		2011	50	41	9	\$500,000	\$90,000	\$410,000	\$730,000	8		8	Good	Unlikely
5470			Control Panel		2011	25	16	9	\$25,000	\$11,250	\$13,750	\$28,000	6		6	Average	Possible
5492			2 Pumps		2011	25	16	9	\$20,000	\$9,000	\$11,000	\$22,500	6		6	Average	Possible
			<b>Sub-Total</b>				<b>39</b>	<b>9</b>	<b>\$545,000</b>	<b>\$110,250</b>	<b>\$434,750</b>	<b>\$780,500</b>			<b>7.9</b>		
			<b>Emma St. Wastewater Pumping Station</b>														
5471			Main Pumping Chamber		2011	100	95	9	\$1,000,000	\$90,000	\$910,000	\$1,700,000	10		10	Very Good	Rare
5472		Emma St.	Miscellaneous Metals	Grating/Handrailing	2011	50	45	9	\$25,000	\$4,500	\$20,500	\$28,000	9		9	Very Good	Rare
5473		Emma St.	Process Control Devices	Valves, Gates, Pressure Gauges, etc.	2011	30	25	9	\$55,000	\$16,500	\$38,500	\$60,000	8		8	Good	Unlikely
5474		Emma St.	Process Piping	Valves, Gates, Pressure Gauges, etc.	2011	50	45	9	\$55,000	\$9,900	\$45,100	\$62,000	9		9	Very Good	Rare
5475		Emma St.	Flow Measurement	Magnetic Flow Meters	2011	15	10	9	\$25,000	\$15,000	\$10,000	\$28,000	7		7	Good	Unlikely
5476		Emma St.	Emma St. SPS Pumps	Submersible Sewage Pumps	2011	20	15	9	\$246,561	\$108,227	\$138,333	\$280,000	8		8	Good	Unlikely
5477		Emma St.	Motor Control Centres	Electrical - Starters, VFDs, Lighting Panel	2011	30	25	9	\$100,000	\$30,000	\$70,000	\$122,500	8		8	Good	Unlikely
5478		Emma St.	Stand-by Power	Diesel Fuelled Stand-by Generators	2011	30	25	9	\$80,000	\$24,000	\$56,000	\$112,500	8		8	Good	Unlikely
5479		Emma St.	PLCs/SCADA	RPUs, PLCs, SCADA, Communication	2011	25	20	9	\$20,000	\$9,000	\$11,000	\$22,500	8		8	Good	Unlikely
5480		Emma St.	Electrical Control Panel shed		2011	20	15	9	\$5,000	\$3,000	\$2,000	\$28,000	8		8	Good	Unlikely
5481		Emma St.	Control Panels		2011	25	20	9	\$6,000	\$2,700	\$3,300	\$7,000	8		8	Good	Unlikely
5482	4691	Emma St.	Forcemain Bypass Access Chamber - Emma Street	Forcemain Bypass Access Chamber	2013	100	97	7	\$17,664	\$1,236	\$16,428	\$20,000	10		10	Very Good	Rare
5483	4622	Emma St.	Forcemain Meter Chamber Manhole - Emma Street	Forcemain Meter Chamber Manhole	2013	100	97	7	\$17,664	\$1,236	\$16,428	\$20,000	10		10	Very Good	Rare
			<b>Sub-Total</b>				<b>73</b>	<b>9</b>	<b>\$1,652,889</b>	<b>\$315,300</b>	<b>\$1,337,588</b>	<b>\$2,490,500</b>			<b>9.4</b>		
			<b>Air Release Chamber</b>														
5484			Chamber	high point in pressure main from Emma St Pumping Station to WWTP	2011	100	91	9	\$200,000	\$18,000	\$182,000	\$225,000	9		9	Very Good	Rare
5485			Air Release Valve		2011	10	1	9	\$3,000	\$2,700	\$300	\$3,500	1	5	5	Average	Possible
			<b>Sub-Total</b>				<b>90</b>	<b>9</b>	<b>\$203,000</b>	<b>\$20,700</b>	<b>\$182,300</b>	<b>\$228,500</b>			<b>8.9</b>		
			<b>Amaranth St. Pumping Station</b>														
5486		Amaranth St.	Pumping Station Chamber	wet well structure	1970	100	50	50	\$48,000	\$24,000	\$24,000	\$500,000	5	9	9	Very Good	Rare
8417		Amaranth St.	Pumping Station Pump 1		2021	20	21	-1	\$14,076	\$0	\$14,076	\$15,000	1		1	Very Poor	Almost Certain
5488		Amaranth St.	Pumping Station Pump 2		2000	20	0	20	\$3,500	\$3,500	\$0	\$15,000	1	5	5	Average	Possible
5489		Amaranth St.	Process Piping & Valves		2022	50	52	-2	\$9,900	\$0	\$9,900	\$20,000	10		10	Very Good	Rare
5490		Amaranth St.	Electrical		2022	30	32	-2	\$17,100	\$0	\$17,100	\$30,000	10		10	Very Good	Rare
			<b>Sub-Total</b>				<b>47</b>	<b>43</b>	<b>\$92,576</b>	<b>\$27,500</b>	<b>\$65,076</b>	<b>\$580,000</b>			<b>8.8</b>		

Replacement/Improvement Year Based on Current Levels Service

Fixed Asset #	Map Link	Location	Asset Name - Facility Components	Consequence of Failure	Risk of Failure	Numerical Value of Risk of Failure	Year Replacement due to minimal maintenance practices	Current Levels of Service % benefit	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score	Subsequent Replacement Year	Revised Remaining Useful Life	Proposed Rehabilitation Cost (2021 \$)	Year for Rehabilitation	2nd Proposed Rehabilitation Cost (2021 \$)	Year for Rehabilitation	3rd Proposed Rehabilitation Cost (2021 \$)	Year for Rehabilitation
			<b>Waste Water Treatment Plant Other Assets</b>										\$ 186,500					
5491		Industrial Road	Confined Space Equipment (WWTP)	Moderate	M	2	2020	10	2021	2021	2031	0						
5646		Industrial Road	WWTP - SCADA WS#2 Computer & UPS	Moderate	L	1	2025	10	2026	2026	2032	5						
4014		Industrial Road	DESK - WASTEWATER TREATMENT PLANT	Insignificant	L	1	2034	10	2037	2037	2063	16						
4015		Industrial Road	OFFICE CHAIR - WASTEWATER TREATMENT PLANT	Insignificant	L	1	2029	10	2031	2031	2051	10						
4016		Industrial Road	CABINET - WASTEWATER TREATMENT PLANT	Insignificant	L	1	2034	10	2037	2037	2063	16						
4017		Industrial Road	ADDITIONAL OFFICE FURNITURE - WASTEWATER TREATMENT PLANT	Insignificant	L	1	2034	10	2037	2037	2063	16						
			<b>Sub-Total</b>			<b>1</b>							<b>\$0</b>					
			<b>Admin-Maintenance-UV Building</b>															
5402			Structure & Substructure	Major	M	2	2101	10	2111	2111	2211	90						
5403			Exterior Enclosure	Major	M	2	2056	10	2061	2061	2111	40						
5404		Industrial Road	Roofing	Moderate	M	2	2047	10	2051	2051	2091	30						
5405		Industrial Road	Roofing	Moderate	M	2	2034	10	2037	2037	2063	16						
5406		Industrial Road	Miscellaneous Metals	Moderate	M	2	2056	10	2061	2061	2111	40						
5407		Industrial Road	Plumbing & Drainage	Moderate	M	2	2038	10	2041	2041	2071	20						
5408		Industrial Road	HVAC	Major	M	2	2029	10	2031	2031	2051	10						
5409		Industrial Road	Sprinkler System	Moderate	M	2	2038	10	2041	2041	2071	20						
5410		Industrial Road	Process Control Devices	Moderate	M	2	2038	10	2041	2041	2071	20						
5411		Industrial Road	Process Piping	Moderate	M	2	2056	10	2061	2061	2111	40						
5412		Industrial Road	Flow Measurement	Moderate	H	3	2025	10	2027	2025	2040	4						
5413		Industrial Road	Chemical Feed Pumps	Moderate	M	2	2020	10	2021	2021	2031	0						
5414		Industrial Road	Filter Equipment	Major	M	2	2038	10	2041	2041	2071	20	\$5,000	2025				
5415		Industrial Road	UV Disinfection Equip.	Major	H	3	2029	10	2031	2029	2049	8	\$120,000	2024				
5416		Industrial Road	Heating Cables	Minor	M	2	2034	10	2037	2037	2063	16						
5417		Industrial Road	Motor Control Centres	Moderate	M	2	2034	10	2037	2037	2063	16						
5418		Industrial Road	Stand-by Power	Major	M	2	2038	10	2041	2041	2071	20						
5419		Industrial Road	Lighting Equipment	Minor	M	2	2034	10	2037	2037	2063	16						
5420		Industrial Road	PLCs/SCADA	Major	H	3	2034	10	2037	2034	2059	13						
5421		Industrial Road	Instrumentation	Major	M	2	2034	10	2037	2037	2063	16						
5422		Industrial Road	Potable Water Meter	Major	H	3	2034	10	2037	2034	2059	13						
5423		Industrial Road	Partial Flume	Major	H	3	2034	10	2037	2034	2059	13						
5424		Industrial Road	Aluminum Tanks	Major	M	2	2101	10	2111	2111	2211	90						
5425		Industrial Road	Control Panels	Major	H	3	2034	10	2037	2034	2059	13						
			<b>Sub-Total</b>			<b>2</b>							<b>\$125,000</b>					

Replacement/Improvement Year Based on Current Levels Service

Fixed Asset #	Map Link	Location	Asset Name - Facility Components	Consequence of Failure	Risk of Failure	Numerical Value of Risk of Failure	Year Replacement due to minimal maintenance practices	Current Levels of Service % benefit	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score	Subsequent Replacement Year	Revised Remaining Useful Life	Proposed Rehabilitation Cost (2021 \$)	Year for Rehabilitation	2nd Proposed Rehabilitation Cost (2021 \$)	Year for Rehabilitation	3rd Proposed Rehabilitation Cost (2021 \$)	Year for Rehabilitation
			<b>Blower-Sludge Pumping Building</b>										\$ 186,500					
5426		Industrial Road	Structure & Substructure	Major	M	2	2101	8	2109	2109	2209	88						
5427		Industrial Road	Exterior Enclosure	Major	M	2	2056	9	2061	2061	2111	40						
5428		Industrial Road	Roofing	Moderate	M	2	2034	10	2037	2037	2063	16						
5429		Industrial Road	Miscellaneous Metals	Moderate	M	2	2056	10	2061	2061	2111	40						
5430		Industrial Road	Plumbing & Drainage	Moderate	M	2	2038	10	2041	2041	2071	20						
5431		Industrial Road	HVAC	Major	H	3	2034	10	2037	2034	2059	13						
5432		Industrial Road	Sprinkler System	Moderate	M	2	2038	10	2041	2041	2071	20						
5433		Industrial Road	Process Control Devices	Major	M	2	2038	10	2041	2041	2071	20						
5434		Industrial Road	Process Piping	Major	M	2	2056	11	2062	2062	2113	41						
5435		Industrial Road	Flow Measurement	Moderate	M	2	2034	10	2037	2037	2063	16						
5436		Industrial Road	WWTP Site WWPS Pumps	Moderate	M	2	2034	10	2037	2037	2063	16						
5437		Industrial Road	Screw Centrifugal Pumps	Moderate	M	2	2029	10	2031	2031	2051	10	\$4,000	2023				
5438		Industrial Road	Biosolids Mixing Pumps	Moderate	M	2	2029	10	2031	2031	2051	10	\$15,000	2024				
5439		Industrial Road	Diffusers & Piping	Moderate	M	2	2034	10	2037	2037	2063	16						
5440		Industrial Road	Air Blowers	Moderate	M	2	2034	10	2037	2037	2063	16						
5441		Industrial Road	Clarifier Mechanisms	Moderate	M	2	2038	10	2041	2041	2071	20						
5442		Industrial Road	Clarifier Covers	Moderate	L	1	2101	10	2111	2111	2211	90						
5443		Industrial Road	Heating Cables	Moderate	M	2	2034	10	2037	2037	2063	16						
5444		Industrial Road	Motor Control Centres	Major	M	2	2038	10	2041	2041	2071	20						
5445		Industrial Road	Lighting Equipment	Minor	M	2	2034	10	2037	2037	2063	16						
5446		Industrial Road	PLCs/SCADA	Major	H	3	2034	10	2037	2034	2059	13						
5447		Industrial Road	Instrumentation	Major	H	3	2034	10	2037	2034	2059	13						
5448		Industrial Road	Control Panels	Major	H	3	2034	10	2037	2034	2059	13						
			<b>Sub-Total</b>			<b>2</b>							<b>\$144,000</b>					
			<b>Headworks Building</b>															
5449		Industrial Road	Structure & Substructure	Major	M	2	2101	10	2111	2111	2211	90						
5450		Industrial Road	Exterior Enclosure	Major	M	2	2056	10	2061	2061	2111	40						
5451		Industrial Road	Roofing	Moderate	M	2	2034	10	2037	2037	2063	16						
5452		Industrial Road	Miscellaneous Metals	Moderate	M	2	2056	10	2061	2061	2111	40						
5453		Industrial Road	Plumbing & Drainage	Moderate	M	2	2038	10	2041	2041	2071	20						
5454		Industrial Road	HVAC	Major	H	3	2034	10	2037	2034	2059	13						
5455		Industrial Road	Process Control Devices Electrical	Major	M	2	2038	10	2041	2041	2071	20						
5456		Industrial Road	Process Control Devices Mechanical	Major	M	2	2038	10	2041	2041	2071	20						
5457		Industrial Road	Process Piping	Major	M	2	2038	10	2041	2041	2071	20						
5458		Industrial Road	Flow Measurement	Moderate	H	3	2025	10	2027	2025	2040	4						
5459		Industrial Road	Septage Transfer Pumps	Moderate	M	2	2029	10	2031	2031	2051	10	\$6,500	2023	\$2,500	2025		
5460		Industrial Road	Septage Receiving System	Major	H	3	2034	10	2037	2034	2059	13						
5461		Industrial Road	Automatic Screening Sys.	Major	H	3	2029	10	2031	2029	2049	8	\$5,500	2023				
5462		Industrial Road	Automatic Degritting Sys.	Major	H	3	2029	10	2031	2029	2049	8	\$5,500	2023				
5463		Industrial Road	Motor Control Centres	Major	H	3	2034	10	2037	2034	2059	13						
5464		Industrial Road	Lighting Equipment	Minor	M	2	2034	10	2037	2037	2063	16						
5465		Industrial Road	PLCs/SCADA	Major	H	3	2034	10	2037	2034	2059	13						
5466		Industrial Road	Instrumentation	Major	H	3	2034	10	2037	2034	2059	13						
5467		Industrial Road	Control Panels	Major	H	3	2034	10	2037	2034	2059	13						
			<b>Sub-Total</b>			<b>2</b>							<b>\$161,500</b>					
			<b>Bio Solids Tank</b>															
5468			Tank Container	Major	M	2	2038	10	2041	2041	2071	20						
			<b>Sub-Total</b>										<b>\$161,500</b>					
			<b>Surge Tank</b>															
5645		WPCP	Equalization Tank	Moderate	L	1	2065	10	2070	2070	2120	49						
		WPCP	Precast Valve Chamber	Moderate	L	1	2088	10	2096	2096	2172	75						



Replacement/Improvement Year Based on Current Levels Service

Fixed Asset #	Map Link	Location	Asset Name - Facility Components	Consequence of Failure	Risk of Failure	Numerical Value of Risk of Failure	Year Replacement due to minimal maintenance practices	Current Levels of Service % benefit	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score	Subsequent Replacement Year	Revised Remaining Useful Life	Proposed Rehabilitation Cost (2021 \$)	Year for Rehabilitation	2nd Proposed Rehabilitation Cost (2021 \$)	Year for Rehabilitation	3rd Proposed Rehabilitation Cost (2021 \$)	Year for Rehabilitation
			<b>WWTP On Site Pumping Station</b>										\$ 186,500					
5469			Pumping Station Chamber	Major	M	2	2056	10	2061	2061	2111	40						
5470			Control Panel	Major	H	3	2034	10	2037	2034	2059	13						
5492			2 Pumps	Major	H	3	2034	10	2037	2034	2059	13						
			<b>Sub-Total</b>			<b>2</b>							<b>\$36,500</b>					
			<b>Emma St. Wastewater Pumping Station</b>															
5471			Main Pumping Chamber	Major	M	2	2101	9	2110	2110	2210	89						
5472		Emma St.	Miscellaneous Metals	Moderate	L	1	2056	10	2061	2061	2111	40						
5473		Emma St.	Process Control Devices	Moderate	M	2	2038	10	2041	2041	2071	20						
5474		Emma St.	Process Piping	Moderate	L	1	2056	10	2061	2061	2111	40						
5475		Emma St.	Flow Measurement	Moderate	M	2	2025	10	2027	2027	2043	6						
5476		Emma St.	Emma St. SPS Pumps	Moderate	M	2	2029	10	2031	2031	2051	10	\$25,000	2023	\$15,000	2024	\$15,000	2026
5477		Emma St.	Motor Control Centres	Major	M	2	2038	10	2041	2041	2071	20						
5478		Emma St.	Stand-by Power	Major	M	2	2038	10	2041	2041	2071	20						
5479		Emma St.	PLCs/SCADA	Major	M	2	2034	10	2037	2037	2063	16						
5480		Emma St.	Electrical Control Panel shed	Moderate	M	2	2029	10	2031	2031	2051	10						
5481		Emma St.	Control Panels	Major	M	2	2034	10	2037	2037	2063	16						
5482	4691	Emma St.	Forcemain Bypass Access Chamber - Emma Street	Major	M	2	2103	10	2113	2113	2213	92						
5483	4622	Emma St.	Forcemain Meter Chamber Manhole - Emma Street	Major	M	2	2103	10	2113	2113	2213	92						
			<b>Sub-Total</b>			<b>2</b>							<b>\$25,000.00</b>					
			<b>Air Release Chamber</b>															
5484			Chamber	Major	M	2	2101	10	2111	2111	2211	95						
5485			Air Release Valve	Major	H	3	2020	10	2021	2021	2031	5						
			<b>Sub-Total</b>			<b>2</b>							<b>\$42,500</b>					
			<b>Amaranth St. Pumping Station</b>															
5486		Amaranth St.	Pumping Station Chamber	Major	M	2	2060	10	2070	2070	2170	49						
8417		Amaranth St.	Pumping Station Pump 1	Moderate	H	3	2039	10	2041	2039	2059	18	\$5,500	2024	\$15,000	2026	\$5,500	2028
5488		Amaranth St.	Pumping Station Pump 2	Moderate	M	2	2018	10	2020	2021	2042	0	\$5,500	2023	\$5,500	2025	\$15,000	2027
5489		Amaranth St.	Process Piping & Valves	Major	M	2	2067	10	2072	2072	2122	51						
5490		Amaranth St.	Electrical	Major	M	2	2049	10	2052	2052	2082	31						
			<b>Sub-Total</b>			<b>2</b>							<b>\$11,000.00</b>					



Replacement/Improvement Year Based on Expected Levels Service

Fixed Asset #	Map Link	Location	Asset Name - Facility Components	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current +	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life
			<b>Waste Water Treatment Plant Other Assets</b>						
5491		Industrial Road	Confined Space Equipment (WWTP)		50	2026	2026	2036	5
5646		Industrial Road	WWTP - SCADA WS#2 Computer & UPS		0	2026	2026	2031	5
4014		Industrial Road	DESK - WASTEWATER TREATMENT PLANT		5	2038	2038	2063	17
4015		Industrial Road	OFFICE CHAIR - WASTEWATER TREATMENT PLANT		0	2031	2031	2051	10
4016		Industrial Road	CABINET - WASTEWATER TREATMENT PLANT		5	2038	2038	2063	17
4017		Industrial Road	ADDITIONAL OFFICE FURNITURE - WASTEWATER TREATMENT PLANT		5	2038	2038	2063	17
			<b>Sub-Total</b>						
			<b>Admin-Maintenance-UV Building</b>						
5402			Structure & Substructure			2111	2111	2211	90
5403			Exterior Enclosure			2061	2061	2111	40
5404		Industrial Road	Roofing			2051	2051	2091	30
5405		Industrial Road	Roofing			2037	2037	2062	16
5406		Industrial Road	Miscellaneous Metals			2061	2061	2111	40
5407		Industrial Road	Plumbing & Drainage			2041	2041	2071	20
5408		Industrial Road	HVAC			2031	2033	2053	12
5409		Industrial Road	Sprinkler System			2041	2041	2071	20
5410		Industrial Road	Process Control Devices			2041	2041	2071	20
5411		Industrial Road	Process Piping			2061	2061	2111	40
5412		Industrial Road	Flow Measurement			2027	2027	2042	6
5413		Industrial Road	Chemical Feed Pumps			2021	2033	2043	12
5414		Industrial Road	Filter Equipment			2041	2041	2071	20
5415		Industrial Road	UV Disinfection Equip.	15		2039	2039	2059	18
5416		Industrial Road	Heating Cables			2037	2037	2062	16
5417		Industrial Road	Motor Control Centres			2037	2037	2062	16
5418		Industrial Road	Stand-by Power			2041	2041	2071	20
5419		Industrial Road	Lighting Equipment			2037	2037	2062	16
5420		Industrial Road	PLCs/SCADA			2037	2037	2062	16
5421		Industrial Road	Instrumentation			2037	2033	2058	12
5422		Industrial Road	Potable Water Meter			2037	2037	2062	16
5423		Industrial Road	Partial Flume			2037	2037	2062	16
5424		Industrial Road	Aluminum Tanks			2111	2111	2211	90
5425		Industrial Road	Control Panels			2037	2037	2062	16
			<b>Sub-Total</b>						

Replacement/Improvement Year Based on Expected Levels Service

Fixed Asset #	Map Link	Location	Asset Name - Facility Components	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current +	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life
			<b>Blower-Sludge Pumping Building</b>						
5426		Industrial Road	Structure & Substructure			2109	2109	2209	88
5427		Industrial Road	Exterior Enclosure			2061	2061	2111	40
5428		Industrial Road	Roofing			2037	2037	2062	16
5429		Industrial Road	Miscellaneous Metals			2061	2061	2111	40
5430		Industrial Road	Plumbing & Drainage			2041	2041	2071	20
5431		Industrial Road	HVAC			2037	2037	2062	16
5432		Industrial Road	Sprinkler System			2041	2041	2071	20
5433		Industrial Road	Process Control Devices			2041	2041	2071	20
5434		Industrial Road	Process Piping			2062	2062	2112	41
5435		Industrial Road	Flow Measurement			2037	2037	2062	16
5436		Industrial Road	WWTP Site WWPS Pumps			2037	2037	2062	16
5437		Industrial Road	Screw Centrifugal Pumps	10		2033	2033	2053	12
5438		Industrial Road	Biosolids Mixing Pumps	15		2039	2039	2059	18
5439		Industrial Road	Diffusers & Piping			2037	2037	2062	16
5440		Industrial Road	Air Blowers			2037	2037	2062	16
5441		Industrial Road	Clarifier Mechanisms			2041	2041	2071	20
5442		Industrial Road	Clarifier Covers			2111	2111	2211	90
5443		Industrial Road	Heating Cables			2037	2037	2062	16
5444		Industrial Road	Motor Control Centres			2041	2041	2071	20
5445		Industrial Road	Lighting Equipment			2037	2037	2062	16
5446		Industrial Road	PLCs/SCADA			2037	2037	2062	16
5447		Industrial Road	Instrumentation			2037	2037	2062	16
5448		Industrial Road	Control Panels			2037	2037	2062	16
			<b>Sub-Total</b>						
			<b>Headworks Building</b>						
5449		Industrial Road	Structure & Substructure			2111	2111	2211	90
5450		Industrial Road	Exterior Enclosure			2061	2061	2111	40
5451		Industrial Road	Roofing			2037	2037	2062	16
5452		Industrial Road	Miscellaneous Metals			2061	2061	2111	40
5453		Industrial Road	Plumbing & Drainage			2041	2041	2071	20
5454		Industrial Road	HVAC			2037	2037	2062	16
5455		Industrial Road	Process Control Devices Electrical			2041	2041	2071	20
5456		Industrial Road	Process Control Devices Mechanical			2041	2041	2071	20
5457		Industrial Road	Process Piping			2041	2041	2071	20
5458		Industrial Road	Flow Measurement			2027	2027	2042	6
5459		Industrial Road	Septage Transfer Pumps	15		2038	2038	2058	17
5460		Industrial Road	Septage Receiving System			2037	2037	2062	16
5461		Industrial Road	Automatic Screening Sys.	10		2033	2033	2053	12
5462		Industrial Road	Automatic Degritting Sys.	10		2033	2033	2053	12
5463		Industrial Road	Motor Control Centres			2037	2037	2062	16
5464		Industrial Road	Lighting Equipment			2037	2037	2062	16
5465		Industrial Road	PLCs/SCADA			2037	2037	2062	16
5466		Industrial Road	Instrumentation			2037	2037	2062	16
5467		Industrial Road	Control Panels			2037	2037	2062	16
			<b>Sub-Total</b>						
			<b>Bio Solids Tank</b>						
5468			Tank Container			2041	2041	2071	20
			<b>Sub-Total</b>						
			<b>Surge Tank</b>						
5645		WPCP	Equalization Tank			2070	2070	2120	49
		WPCP	Precast Valve Chamber			2096	2096	2171	75

Grand Valley  
Components Inventory

Expected Levels of Service

Replacement/Improvement Year Based on Expected Levels Service

Fixed Asset #	Map Link	Location	Asset Name - Facility Components	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current +	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life
		WPCP	Valve Chamber Mechanical			2046	2046	2071	25
		WPCP	Precast SPS Chamber			2096	2096	2171	75
		WPCP	SPS Submersible Pumps			2036	2036	2051	15
		WPCP	SPS Mechanical			2046	2046	2071	25
		WPCP	Electrical Power & Control Equipment			2040	2040	2060	19
		WPCP	Yard Piping and Appurtances			2096	2096	2171	75
			<b>Sub-Total</b>						

Replacement/Improvement Year Based on Expected Levels Service

Fixed Asset #	Map Link	Location	Asset Name - Facility Components	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current +	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life
			<b>WWTP On Site Pumping Station</b>						
5469			Pumping Station Chamber			2061	2061	2111	40
5470			Control Panel			2037	2037	2062	16
5492			2 Pumps			2037	2037	2062	16
			<b>Sub-Total</b>						
			<b>Emma St. Wastewater Pumping Station</b>						
5471			Main Pumping Chamber			2110	2110	2210	89
5472		Emma St.	Miscellaneous Metals			2061	2061	2111	40
5473		Emma St.	Process Control Devices			2041	2041	2071	20
5474		Emma St.	Process Piping			2061	2061	2111	40
5475		Emma St.	Flow Measurement			2027	2027	2042	6
5476		Emma St.	Emma St. SPS Pumps	15		2041	2041	2061	20
5477		Emma St.	Motor Control Centres			2041	2041	2071	20
5478		Emma St.	Stand-by Power			2041	2041	2071	20
5479		Emma St.	PLCs/SCADA			2037	2037	2062	16
5480		Emma St.	Electrical Control Panel shed			2031	2031	2051	10
5481		Emma St.	Control Panels			2037	2037	2062	16
5482	4691	Emma St.	Forcemain Bypass Access Chamber - Emma Street			2113	2113	2213	92
5483	4622	Emma St.	Forcemain Meter Chamber Manhole - Emma Street			2113	2113	2213	92
			<b>Sub-Total</b>						
			<b>Air Release Chamber</b>						
5484			Chamber			2111	2111	2211	90
5485			Air Release Valve			2021	2023	2033	2
			<b>Sub-Total</b>						
			<b>Amaranth St. Pumping Station</b>						
5486		Amaranth St.	Pumping Station Chamber			2070	2070	2170	49
8417		Amaranth St.	Pumping Station Pump 1	10		2038	2038	2058	17
5488		Amaranth St.	Pumping Station Pump 2	10		2037	2037	2057	16
5489		Amaranth St.	Process Piping & Valves			2072	2072	2122	51
5490		Amaranth St.	Electrical			2052	2052	2082	31
			<b>Sub-Total</b>						

Grand Valley  
Sanitary - Gravity Main Inventory

\$19  
\$ 36.33    \$ 356.08  
#REF!

Fixed Asset #	Subtype	Street Name	NAME	FROM	TO	Asset Name	Diameter	Length (m)	Material	Install Year	Useful Life	Remaining Useful Life	Age	Historic Cost	2020 Accumulated Amortization System	2020 Net Book Value System	Replacement Cost	Condition Based On Useful Life	Condition from Town	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected Condition)	Consequence of Failure	
								12498.6				63.5	36.2	\$1,193,679	\$114,853	\$1,078,827	\$4,484,227			6.3				
2911	2911	Storm/Sanitary - Gravity Main	Main Street	Main Street	Spruyt Avenue	Fife Road	Sanitary Sewer - Main Street	200	34.9	PVC	1969	100	49	51	\$ 547	\$ 279	\$268	\$12,215	5		5	Average	Possible	Moderate
2912	2912	Storm/Sanitary - Gravity Main	Fife Road	Fife Road	Main Street	Joyce Court	Sanitary Sewer - Fife Road	200	61.9	PVC	1969	100	49	51	\$ 1,224	\$ 624	\$600	\$21,665	5		5	Average	Possible	Moderate
2913	2913	Storm/Sanitary - Gravity Main	Main Street	Main Street	Webb Street	Spruyt Avenue	Sanitary Sewer - Main Street	200	66.6	PVC	1969	100	49	51	\$ 1,240	\$ 632	\$608	\$23,310	5		5	Average	Possible	Moderate
2914	2914	Storm/Sanitary - Gravity Main	Spruyt Avenue	Spruyt Avenue	Main Street	Crozier Street	Sanitary Sewer - Spruyt Avenue	200	122.6	PVC	1969	100	49	51	\$ 2,304	\$ 1,175	\$1,129	\$42,910	5		5	Average	Possible	Moderate
2915	2915	Storm/Sanitary - Gravity Main	Main Street	Main Street	Webb Street	Spruyt Avenue	Sanitary Sewer - Main Street	200	64.4	PVC	1969	100	49	51	\$ 1,187	\$ 605	\$582	\$22,540	5		5	Average	Possible	Moderate
2916	2916	Storm/Sanitary - Gravity Main	Main Street	Main Street	Amaranth Street	Webb Street	Sanitary Sewer - Main Street	200	90.7	PVC	1969	100	49	51	\$ 1,686	\$ 860	\$826	\$31,745	5		5	Average	Possible	Moderate
2917	2917	Storm/Sanitary - Gravity Main	Main Street	Main Street	Amaranth Street	Webb Street	Sanitary Sewer - Main Street	200	91.7	PVC	1969	100	49	51	\$ 1,708	\$ 871	\$837	\$32,095	5		5	Average	Possible	Moderate
2918	2918	Storm/Sanitary - Gravity Main	Main Street	Main Street	Webb Street	Spruyt Avenue	Sanitary Sewer - Main Street	200	95.2	PVC	1969	100	49	51	\$ 1,720	\$ 877	\$843	\$33,320	5		5	Average	Possible	Moderate
2919	2919	Storm/Sanitary - Gravity Main	Main Street	Main Street	Spruyt Avenue	Fife Road	Sanitary Sewer - Main Street	200	121.9	PVC	1969	100	49	51	\$ 2,368	\$ 1,208	\$1,160	\$42,665	5		5	Average	Possible	Moderate
2920	2920	Storm/Sanitary - Gravity Main	Webb Street	Webb Street	Main Street	Crozier Street	Sanitary Sewer - Webb Street	200	88.6	PVC	1969	100	49	51	\$ 1,665	\$ 849	\$816	\$31,010	5		5	Average	Possible	Moderate
2921	2921	Storm/Sanitary - Gravity Main	Concession Road 2-3	Concession Road 2-3	Bielby Street	162m East Of Bielby Street	Sanitary Sewer - Concession Road 2-3	200	80.6	PVC	1969	100	49	51	\$ 1,515	\$ 773	\$742	\$28,210	5		5	Average	Possible	Moderate
2923	2923	Storm/Sanitary - Gravity Main	Main Street	Main Street	Mill Street	Amaranth Street	Sanitary Sewer - Main Street	200	65.4	PVC	1969	100	49	51	\$ 1,223	\$ 624	\$599	\$22,890	5		5	Average	Possible	Moderate
2924	2924	Storm/Sanitary - Gravity Main	Main Street	Main Street	Amaranth Street	Webb Street	Sanitary Sewer - Main Street	200	91.3	PVC	1969	100	49	51	\$ 1,700	\$ 867	\$833	\$31,955	5		5	Average	Possible	Moderate
2925	2925	Storm/Sanitary - Gravity Main	Crozier Street	Crozier Street	Amaranth Street	Gier Street	Sanitary Sewer - Crozier Street	200	117.7	PVC	1969	100	49	51	\$ 2,211	\$ 1,128	\$1,084	\$41,195	5		5	Average	Possible	Moderate
2926	2926	Storm/Sanitary - Gravity Main	River Street	River Street	Cooper Street	End	Sanitary Sewer - River Street	150	124.4	PVC	1969	100	49	51	\$ 2,337	\$ 1,192	\$1,145	\$37,320	5		5	Average	Possible	Moderate
2930	2930	Storm/Sanitary - Gravity Main	Scott Street	Scott Street	Bielby Street	End (west)	Sanitary Sewer - Scott Street	200	116.5	PVC	1969	100	49	51	\$ 2,189	\$ 1,116	\$1,072	\$40,775	5		5	Average	Possible	Moderate
2931	2931	Storm/Sanitary - Gravity Main	Bielby Street	Bielby Street	Gier Street	Scott Street	Sanitary Sewer - Bielby Street	200	87.6	PVC	1969	100	49	51	\$ 1,582	\$ 807	\$775	\$30,660	5		5	Average	Possible	Moderate
2932	2932	Storm/Sanitary - Gravity Main	Bielby Street	Bielby Street	Amaranth Street	Gier Street	Sanitary Sewer - Bielbe Street	200	77.5	PVC	1969	100	49	51	\$ 1,485	\$ 758	\$728	\$27,125	5		5	Average	Possible	Moderate
2933	2933	Storm/Sanitary - Gravity Main	Gier Street	Gier Street	Crozier Street	Bielby Street	Sanitary Sewer - Geir Street	200	89	PVC	1969	100	49	51	\$ 1,673	\$ 853	\$820	\$31,150	5		5	Average	Possible	Moderate
2934	2934	Storm/Sanitary - Gravity Main	Bielby Street	Bielby Street	Gier Street	Scott Street	Sanitary Sewer - Bielby Street	200	80.8	PVC	1969	100	49	51	\$ 1,506	\$ 768	\$738	\$28,280	5		5	Average	Possible	Moderate
2935	2935	Storm/Sanitary - Gravity Main	Crozier Street	Crozier Street	Webb Street	Baker Court	Sanitary Sewer - Crozier Street	200	68.4	PVC	1969	100	49	51	\$ 1,285	\$ 655	\$629	\$23,940	5		5	Average	Possible	Moderate
2936	2936	Storm/Sanitary - Gravity Main	Scott Street	Scott Street	Bielby Street	End (west)	Sanitary Sewer - Scott Street	200	43.1	PVC	1969	100	49	51	\$ 775	\$ 395	\$380	\$15,085	5		5	Average	Possible	Moderate
2937	2937	Storm/Sanitary - Gravity Main	Crozier Street	Crozier Street	Gier Street	Webb Street	Sanitary Sewer - Crozier Street	200	60.1	PVC	1969	100	49	51	\$ 1,130	\$ 576	\$554	\$21,035	5		5	Average	Possible	Moderate
2938	2938	Storm/Sanitary - Gravity Main	Gier Street	Gier Street	Crozier Street	Bielby Street	Sanitary Sewer - Geir Street	200	86.2	PVC	1969	100	49	51	\$ 1,601	\$ 817	\$784	\$30,170	5		5	Average	Possible	Moderate
2939	2939	Storm/Sanitary - Gravity Main	Scott Street	Scott Street	Bielby Street	End (west)	Sanitary Sewer - Scott Street	200	46.3	PVC	1969	100	49	51	\$ 903	\$ 461	\$443	\$16,205	5		5	Average	Possible	Moderate
2940	2940	Storm/Sanitary - Gravity Main	Crozier Street	Crozier Street	Gier Street	Webb Street	Sanitary Sewer - Crozier Street	200	56.4	PVC	1969	100	49	51	\$ 1,060	\$ 541	\$519	\$19,740	5		5	Average	Possible	Moderate
2941	2941	Storm/Sanitary - Gravity Main	Gier Street	Gier Street	Crozier Street	Bielby Street	Sanitary Sewer - Geir Street	200	87.6	PVC	1969	100	49	51	\$ 1,665	\$ 849	\$816	\$30,660	5		5	Average	Possible	Moderate
2942	2942	Storm/Sanitary - Gravity Main	Scott Street	Scott Street	Bielby Street	End (west)	Sanitary Sewer - Scott Street	200	119.3	PVC	1969	100	49	51	\$ 2,228	\$ 1,136	\$1,092	\$41,755	5		5	Average	Possible	Moderate
2943	2943	Storm/Sanitary - Gravity Main	Amaranth Street	Amaranth Street	Emma Street	Main Street	Sanitary Sewer - Amaranth Street	200	79.5	PVC	1969	100	49	51	\$ 1,487	\$ 758	\$729	\$27,825	5		5	Average	Possible	Moderate
2944	2944	Storm/Sanitary - Gravity Main	Mill Street	Mill Street	Leeson Street	Emma Street	Sanitary Sewer - Mill Street	200	59.3	PVC	1969	100	49	51	\$ 1,071	\$ 546	\$525	\$20,755	5		5	Average	Possible	Moderate
2945	2945	Storm/Sanitary - Gravity Main	Emma Street	Emma Street	Mill Street	Amaranth Street	Sanitary Sewer - Emma Street	200	64.1	PVC	1969	100	49	51	\$ 1,211	\$ 618	\$593	\$22,435	5		5	Average	Possible	Moderate
2946	2946	Storm/Sanitary - Gravity Main	Main Street	Main Street	River Street	George Street	Sanitary Sewer - Main Street	200	91.3	PVC	1969	100	49	51	\$ 1,675	\$ 854	\$821	\$31,955	5		5	Average	Possible	Moderate
2947	2947	Storm/Sanitary - Gravity Main	Main Street	Main Street	River Street	George Street	Sanitary Sewer - Main Street	200	81.2	PVC	1969	100	49	51	\$ 1,526	\$ 778	\$748	\$28,420	5		5	Average	Possible	Moderate
2949	2949	Storm/Sanitary - Gravity Main	Emma Street	Emma Street	William Street	Mill Street	Sanitary Sewer - Emma Street	200	67	PVC	1969	100	49	51	\$ 1,352	\$ 690	\$663	\$23,450	5		5	Average	Possible	Moderate
2950	2950	Storm/Sanitary - Gravity Main	Leeson Street	Leeson Street	175m S Of Mill Street	Mill Street	Sanitary Sewer - Lesson Street	200	112.9	PVC	1969	100	49	51	\$ 2,052	\$ 1,046	\$1,005	\$39,515	5		5	Average	Possible	Moderate
2951	2951	Storm/Sanitary - Gravity Main	Leeson Street	Leeson Street	Amaranth Street	Douglas Street	Sanitary Sewer - Lesson Street	200	66.7	PVC	1969	100	49	51	\$ 1,286	\$ 656	\$630	\$23,345	5		5	Average	Possible	Moderate
2952	2952	Storm/Sanitary - Gravity Main	Leeson Street	Leeson Street	Amaranth Street	Douglas Street	Sanitary Sewer - Lesson Street	200	57.5	PVC	1969	100	49	51	\$ 1,052	\$ 537	\$515	\$20,125	5		5	Average	Possible	Moderate
2953	2953	Storm/Sanitary - Gravity Main	Emma Street	Emma Street	Amaranth Street	Douglas Street	Sanitary Sewer - Emma Street	200	89.2	PVC	1969	100	49	51	\$ 1,648	\$ 841	\$808	\$31,220	5		5	Average	Possible	Moderate
2954	2954	Storm/Sanitary - Gravity Main	Main Street	Main Street	George Street	Parkview Street	Sanitary Sewer - Main Street	200	99.7	PVC	1969	100	49	51	\$ 1,873	\$ 955	\$918	\$34,895	5		5	Average	Possible	Moderate
2955	2955	Storm/Sanitary - Gravity Main	George Street	George Street	Main Street	Cooper Street	Sanitary Sewer - George Street	200	73.1	PVC	1969	100	49	51	\$ 1,361	\$ 694	\$667	\$25,585	5		5	Average	Possible	Moderate
2956	2956	Storm/Sanitary - Gravity Main	River Street	River Street	Main Street	Cooper Street	Sanitary Sewer - River Street	200	101.5	PVC	1969	100	49	51	\$ 1,933	\$ 986	\$947	\$35,525	5		5	Average	Possible	Moderate
2957	2957	Storm/Sanitary - Gravity Main	Concession Road 2-3	Concession Road 2-3	Bielby Street	162m East Of Bielby Street	Sanitary Sewer - Concession Road 2-3	200	83.9	PVC	1969	100	49	51	\$ 1,577	\$ 804	\$773	\$29,365	5		5	Average	Possible	Moderate
2958	2958	Storm/Sanitary - Gravity Main	Scott Street	Scott Street	Bielby Street	End (west)	Sanitary Sewer - Scott Street	200	9.5	PVC	1969	100	49	51	\$ 178	\$ 91	\$87	\$3,325	5		5	Average	Possible	Moderate
2959	2959	Storm/Sanitary - Gravity Main	Cooper Street	Cooper Street	River Street	George Street	Sanitary Sewer - Cooper Street	200	19.2	PVC	1969	100	49	51	\$ 328	\$ 168	\$161	\$6,720	5		5	Average	Possible	Moderate
2960	2960	Storm/Sanitary - Gravity Main	Cooper Street	Cooper Street	River Street	George Street	Sanitary Sewer - Cooper Street	200	79.2	PVC	1969	100	49	51	\$ 1,479	\$ 754	\$725	\$27,720	5		5	Average	Possible	Moderate
2961	2961	Storm/Sanitary - Gravity Main	Cooper Street	Cooper Street	Parkview Street	End	Sanitary Sewer - Cooper Street	200	91	PVC	1969	100	49	51	\$ 1,678	\$ 856	\$822	\$31,850	5		5	Average	Possible	Moderate
2962	2962	Storm/Sanitary - Gravity Main	Cooper Street	Cooper Street	George Street	Parkview Street	Sanitary Sewer - Cooper Street	200	99.8	PVC	1969	100	49	51	\$ 1,872	\$ 955	\$918	\$34,930	5		5	Average	Possible	Moderate
2963	2963	Storm/Sanitary - Gravity Main	Cooper Street	Cooper Street	River Street	George Street	Sanitary Sewer - Cooper Street	200	79.7	PVC	1969	100	49	51	\$ 1,476	\$ 753	\$723	\$27,895	5		5	Average	Possible	Moderate
2964	2964	Storm/Sanitary - Gravity Main	Emma Street	Emma Street	Amaranth Street	Douglas Street	Sanitary Sewer - Emma Street	200	69.4	PVC	1969	100	49	51	\$ 1,310	\$ 668	\$642	\$24,290	5		5	Average	Possible	Moderate
2965	2965	Storm/Sanitary - Gravity Main	Amaranth Street	Amaranth Street	Emma Street	Main Street	Sanitary Sewer - Amaranth Street	200	58.7	PVC	1969	100	49	51	\$ 1,107	\$ 565	\$543	\$20,545	5		5	Average	Possible	Moderate
2966	2966	Storm/Sanitary - Gravity Main	Mill Street	Mill Street	Emma Street	Main Street	Sanitary Sewer - Mill Street	200	66.1	PVC	1969	100	49	51	\$ 1,272	\$ 649	\$624	\$23,135	5		5	Average	Possible	Moderate
2967	2967	Storm/Sanitary - Gravity Main	Mill Street	Mill Street	Emma Street	Main Street	Sanitary Sewer - Mill Street	200	74.5	PVC	1969	100	49	51	\$ 1,375	\$ 701	\$674	\$26,075	5		5	Average	Possible	Moderate
2968	2968	Storm/Sanitary - Gravity Main	Amaranth Street	Amaranth Street	Leeson Street	Emma Street	Sanitary Sewer - Amaranth Street	200	76.3	PVC	1969	100	49	51	\$ 1,434	\$ 731	\$703	\$26,705	5		5	Average	Possible	Moderate
2969	2969	Storm/Sanitary - Gravity Main	Emma Street	Emma Street	Mill Street	Amaranth Street	Sanitary Sewer - Emma Street	200	64.9	PVC	1969	100	49	51	\$ 1,213	\$ 619	\$595	\$22,715	5		5	Average	Possible	Moderate
2970	2970	Storm/Sanitary - Gravity Main	Concession Road 2-3	Concession Road 2-3	Sideroad 28-29	Leeson Street	Sanitary Sewer - Concession Road 2-3	200	94.2	PVC	1969	100	49	51	\$ 1,736	\$ 886	\$851	\$32,970	5		5	Average	Possible	Moderate
2971	2971	Storm/Sanitary - Gravity Main	Leeson Street	Leeson Street	175m S Of Mill Street	Mill Street	Sanitary Sewer - Lesson Street	200	10.4	PVC	1969	100	49	51	\$ 191	\$ 97	\$94	\$3,640	5		5	Average	Possible	Moderate
2972	2972	Storm/Sanitary - Gravity Main	Mill Street	Mill Street	Leeson Street	Emma Street	Sanitary Sewer - Mill Street	200	59.6	PVC	1969	100	49											

Grand Valley  
Sanitary - Gravity Main Inventory

\$19  
\$ 36.33      \$ 356.08  
#REF!

Fixed Asset #	Subtype	Street Name	NAME	FROM	TO	Asset Name	Diameter	Length (m)	Material	Install Year	Useful Life	Remaining Useful Life	Age	Historic Cost	2020 Accumulated Amortization System	2020 Net Book Value System	Replacement Cost	Condition Based On Useful Life	Condition from Town	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected Condition)	Consequence of Failure	
								12498.6				63.5	36.2	\$1,193,679	\$114,853	\$1,078,827	\$4,484,227			6.3				
2977	2977	Storm/Sanitary - Gravity Main	Scott Street	Scott Street	Bielby Street	End (west)	Sanitary Sewer - Scott Street	200	20.9	PVC	1969	100	49	51	\$ 394	\$ 201	\$193	\$7,315	5		5	Average	Possible	Moderate
2978	2978	Storm/Sanitary - Gravity Main	Crozier Street	Crozier Street	Gier Street	Webb Street	Sanitary Sewer - Crozier Street	200	68.7	PVC	1969	100	49	51	\$ 1,290	\$ 658	\$632	\$24,045	5		5	Average	Possible	Moderate
2979	2979	Storm/Sanitary - Gravity Main	Amaranth Street	Amaranth Street	Crozier Street	Pondsford Street	Sanitary Sewer - Amaranth Street	200	62	PVC	1969	100	49	51	\$ 1,137	\$ 580	\$557	\$21,700	5		5	Average	Possible	Moderate
2980	2980	Storm/Sanitary - Gravity Main	Amaranth Street	Amaranth Street	King Street	Crozier Street	Sanitary Sewer - Amaranth Street	200	37.9	PVC	1969	100	49	51	\$ 713	\$ 364	\$349	\$13,265	5		5	Average	Possible	Moderate
2981	2981	Storm/Sanitary - Gravity Main	Amaranth Street	Amaranth Street	Main Street	King Street	Sanitary Sewer - Amaranth Street	200	67.3	PVC	1969	100	49	51	\$ 1,265	\$ 645	\$620	\$23,555	5		5	Average	Possible	Moderate
2982	2982	Storm/Sanitary - Gravity Main	King Street	King Street	Mill Street	Amaranth Street	Sanitary Sewer - King Street	200	84	PVC	1969	100	49	51	\$ 1,554	\$ 792	\$761	\$29,400	5		5	Average	Possible	Moderate
2983	2983	Storm/Sanitary - Gravity Main	King Street	King Street	Mill Street	Amaranth Street	Sanitary Sewer - King Street	200	84.4	PVC	1969	100	49	51	\$ 1,573	\$ 802	\$771	\$29,540	5		5	Average	Possible	Moderate
2984	2984	Storm/Sanitary - Gravity Main	Park view Street	Park View Street	Main Street	Cooper Street	Sanitary Sewer - Parkview Street	200	76.9	PVC	1969	100	49	51	\$ 1,428	\$ 728	\$700	\$26,915	5		5	Average	Possible	Moderate
2985	2985	Storm/Sanitary - Gravity Main	Concession Road 2-3	Concession Road 2-3	Bielby Street	162m East Of Bielby Street	Sanitary Sewer - Concession Road 2-3	200	9.3	PVC	1969	100	49	51	\$ 174	\$ 89	\$85	\$3,255	5		5	Average	Possible	Moderate
2990	2990	Storm/Sanitary - Gravity Main	Cooper Street	Cooper Street	River Street	George Street	Sanitary Sewer - Cooper Street	200	61.9	PVC	1969	100	49	51	\$ 1,148	\$ 585	\$562	\$21,665	5		5	Average	Possible	Moderate
2991	2991	Storm/Sanitary - Gravity Main	Emma Street	Emma Street	Amaranth Street	Douglas Street	Sanitary Sewer - Emma Street	200	62.3	PVC	1969	100	49	51	\$ 1,171	\$ 597	\$574	\$21,805	5		5	Average	Possible	Moderate
2992	2992	Storm/Sanitary - Gravity Main	Main Street	Main Street	Mill Street	Amaranth Street	Sanitary Sewer - Main Street	200	103.3	PVC	1969	100	49	51	\$ 1,965	\$ 1,002	\$963	\$36,155	5		5	Average	Possible	Moderate
2994	2994	Storm/Sanitary - Gravity Main	Main Street	Main Street	Webb Street	Spruyt Avenue	Sanitary Sewer - Main Street	200	8.8	PVC	1969	100	49	51	\$ 166	\$ 85	\$81	\$3,080	5		5	Average	Possible	Moderate
2995	2995	Storm/Sanitary - Gravity Main	Fife Road	Fife Road	Joyce Court	Crozier Street	Sanitary Sewer - Fife Road	200	95.8	PVC	1969	100	49	51	\$ 1,800	\$ 918	\$882	\$33,530	5		5	Average	Possible	Moderate
2996	2996	Storm/Sanitary - Gravity Main	Fife Road	Fife Road	Mary Court	End (cul-de-sac)	Sanitary Sewer - Fife Road	200	30	PVC	1969	100	49	51	\$ 526	\$ 288	\$258	\$10,500	5		5	Average	Possible	Moderate
2997	2997	Storm/Sanitary - Gravity Main	Fife Road	Fife Road	Crozier Street	Mary Court	Sanitary Sewer - Fife Road	200	88.6	PVC	1969	100	49	51	\$ 1,630	\$ 831	\$799	\$31,010	5		5	Average	Possible	Moderate
2998	2998	Storm/Sanitary - Gravity Main	Mary Court	Mary Court	Fife Road	End (cul-de-sac)	Sanitary Sewer - Mary Court	200	56.3	PVC	1969	100	49	51	\$ 891	\$ 454	\$436	\$19,705	5		5	Average	Possible	Moderate
2999	2999	Storm/Sanitary - Gravity Main	Joyce Court	Joyce Court	Fife Road	End (cul-de-sac)	Sanitary Sewer - Joyce Court	200	64.9	PVC	1969	100	49	51	\$ 1,196	\$ 610	\$586	\$22,715	5		5	Average	Possible	Moderate
3000	3000	Storm/Sanitary - Gravity Main	Main Street	Main Street	Spruyt Avenue	Fife Road	Sanitary Sewer - Main Street	200	14	PVC	1969	100	49	51	\$ 263	\$ 134	\$129	\$4,900	5		5	Average	Possible	Moderate
3001	3001	Storm/Sanitary - Gravity Main	Crozier Street	Crozier Street	Spruyt Avenue	Fife Road	Sanitary Sewer - Crozier Street	200	62.4	PVC	1969	100	49	51	\$ 1,158	\$ 591	\$567	\$21,840	5		5	Average	Possible	Moderate
3002	3002	Storm/Sanitary - Gravity Main	Crozier Street	Crozier Street	Spruyt Avenue	Fife Road	Sanitary Sewer - Crozier Street	200	74.9	PVC	1969	100	49	51	\$ 1,443	\$ 736	\$707	\$26,215	5		5	Average	Possible	Moderate
3003	3003	Storm/Sanitary - Gravity Main	Crozier Street	Crozier Street	Baker Court	Spruyt Avenue	Sanitary Sewer - Crozier Street	200	57.6	PVC	1969	100	49	51	\$ 1,198	\$ 611	\$587	\$20,160	5		5	Average	Possible	Moderate
3004	3004	Storm/Sanitary - Gravity Main	Baker Court	Baker Court	Crozier Street	End	Sanitary Sewer - Baker Court	200	44.6	PVC	1969	100	49	51	\$ 839	\$ 428	\$411	\$15,610	5		5	Average	Possible	Moderate
3005	3005	Storm/Sanitary - Gravity Main	Crozier Street	Crozier Street	Webb Street	Baker Court	Sanitary Sewer - Crozier Street	200	36.3	PVC	1969	100	49	51	\$ 682	\$ 348	\$334	\$12,705	5		5	Average	Possible	Moderate
3006	3006	Storm/Sanitary - Gravity Main	Scott Street	Scott Street	Bielby Street	End (west)	Sanitary Sewer - Scott Street	200	55	PVC	1969	100	49	51	\$ 1,033	\$ 527	\$506	\$19,250	5		5	Average	Possible	Moderate
3007	3007	Storm/Sanitary - Gravity Main	Leeson Street	Leeson Street	175m S Of Mill Street	Mill Street	Sanitary Sewer - Lesson Street	250	100.1	PVC	1969	100	49	51	\$ 2,017	\$ 1,029	\$988	\$37,538	5		5	Average	Possible	Moderate
3008	3008	Storm/Sanitary - Gravity Main	Leeson Street	Leeson Street	175m S Of Mill Street	Mill Street	Sanitary Sewer - Lesson Street	250	100.2	PVC	1969	100	49	51	\$ 2,000	\$ 1,020	\$980	\$37,575	5		5	Average	Possible	Moderate
3009	3009	Storm/Sanitary - Gravity Main	Leeson Street	Leeson Street	175m S Of Mill Street	Mill Street	Sanitary Sewer - Lesson Street	250	78.3	PVC	1969	100	49	51	\$ 1,600	\$ 816	\$784	\$29,363	5		5	Average	Possible	Moderate
3010	3010	Storm/Sanitary - Gravity Main	Leeson Street	Leeson Street	175m S Of Mill Street	Mill Street	Sanitary Sewer - Lesson Street	250	43.6	PVC	1969	100	49	51	\$ 888	\$ 453	\$435	\$16,350	5		5	Average	Possible	Moderate
3011	3011	Storm/Sanitary - Gravity Main	Leeson Street	Leeson Street	175m S Of Mill Street	Mill Street	Sanitary Sewer - Lesson Street	250	50.7	PVC	1969	100	49	51	\$ 1,039	\$ 530	\$509	\$19,013	5		5	Average	Possible	Moderate
3012	3012	Storm/Sanitary - Gravity Main	Main Street	Main Street	Water Street	River Street	Sanitary Sewer - Main Street	250	64	PVC	1969	100	49	51	\$ 1,271	\$ 648	\$623	\$24,000	5		5	Average	Possible	Moderate
3013	3013	Storm/Sanitary - Gravity Main	Amaranth Street	Amaranth Street	Pondsford Street	Bielby Street	Sanitary Sewer - Amaranth Street	250	83.4	PVC	1969	100	49	51	\$ 1,647	\$ 840	\$807	\$31,275	5		5	Average	Possible	Moderate
3014	3014	Storm/Sanitary - Gravity Main	Amaranth Street	Amaranth Street	Pondsford Street	Bielby Street	Sanitary Sewer - Amaranth Street	250	83.1	PVC	1969	100	49	51	\$ 1,653	\$ 843	\$810	\$31,163	5		5	Average	Possible	Moderate
3015	3015	Storm/Sanitary - Gravity Main	Amaranth Street	Amaranth Street	Pondsford Street	Bielby Street	Sanitary Sewer - Amaranth Street	250	82.7	PVC	1969	100	49	51	\$ 1,648	\$ 840	\$808	\$31,013	5		5	Average	Possible	Moderate
3020	3020	Storm/Sanitary - Gravity Main	Emma Street	Emma Street	Water Street	William Street	Sanitary Sewer - Emma Street	200	68.1	PVC	1969	100	49	51	\$ 1,279	\$ 652	\$626	\$23,835	5		5	Average	Possible	Moderate
3021	3021	Storm/Sanitary - Gravity Main	George Street	George Street	George Street	End	Sanitary Sewer - George Street	200	9.6	PVC	1969	100	49	51	\$ 180	\$ 92	\$88	\$3,360	5		5	Average	Possible	Moderate
3024	3024	Storm/Sanitary - Gravity Main	Main Street	Main Street	Water Street	Mill Street	Sanitary Sewer - Main Street	350	62.2	PVC	1969	100	49	51	\$ 2,032	\$ 1,036	\$996	\$24,880	5		5	Average	Possible	Moderate
3025	3025	Storm/Sanitary - Gravity Main	Water Street	Water Street	William Street	Main Street	Sanitary Sewer - Water Street	350	77	PVC	1969	100	49	51	\$ 2,542	\$ 1,296	\$1,245	\$30,800	5		5	Average	Possible	Moderate
3026	3026	Storm/Sanitary - Gravity Main	Main Street	Main Street	Water Street	Mill Street	Sanitary Sewer - Main Street	350	65.2	PVC	1969	100	49	51	\$ 2,101	\$ 1,072	\$1,029	\$26,080	5		5	Average	Possible	Moderate
3027		Storm/Sanitary - Gravity Main	Concession Road 2-3	Concession Road 2-3	Bielby Street	162m East Of Bielby Street	Sanitary Sewer - Concession Road 2-3	250	19.8	PVC	1969	100	49	51	\$ 396	\$ 202	\$194	\$7,425	5		5	Average	Possible	Moderate
3028	3028	Storm/Sanitary - Gravity Main	Concession Road 2-3	Concession Road 2-3	Bielby Street	162m East Of Bielby Street	Sanitary Sewer - Concession Road 2-3	250	11.6	PVC	1969	100	49	51	\$ 233	\$ 119	\$114	\$4,350	5		5	Average	Possible	Moderate
3029	3029	Storm/Sanitary - Gravity Main	Ponsford Street	Ponsford Street	Mill Street	Amaranth Street	Sanitary Sewer - Ponsford Street	250	81.8	PVC	1969	100	49	51	\$ 1,652	\$ 842	\$809	\$30,675	5		5	Average	Possible	Moderate
3030	3030	Storm/Sanitary - Gravity Main	Ponsford Street	Ponsford Street	Mill Street	Amaranth Street	Sanitary Sewer - Ponsford Street	250	84.3	PVC	1969	100	49	51	\$ 1,662	\$ 848	\$815	\$31,613	5		5	Average	Possible	Moderate
3031	3031	Storm/Sanitary - Gravity Main	Mill Street	Mill Street	King Street	Pondsford Street	Sanitary Sewer - Mill Street	250	97.9	PVC	1969	100	49	51	\$ 1,936	\$ 988	\$949	\$36,713	5		5	Average	Possible	Moderate
3032	3032	Storm/Sanitary - Gravity Main	Mill Street	Mill Street	Main Street	King Street	Sanitary Sewer - Mill Street	250	105.7	PVC	1969	100	49	51	\$ 2,132	\$ 1,087	\$1,045	\$39,638	5		5	Average	Possible	Moderate
3033	3033	Storm/Sanitary - Gravity Main	Melody Lane	Melody Lane	Leeson Street	End	Sanitary Sewer - Melody Lane	250	101.2	PVC	1969	100	49	51	\$ 12,523	\$ 1,844	\$10,679	\$37,950	5		5	Average	Possible	Moderate
3034	3034	Storm/Sanitary - Gravity Main	Leeson Street	Leeson Street	Melody Lane	175 M S. Of Mill Street	Sanitary Sewer - Lesson Street	250	35.2	PVC	1969	100	49	51	\$ 773	\$ 394	\$379	\$13,200	5		5	Average	Possible	Moderate
3035	3035	Storm/Sanitary - Gravity Main	Leeson Street	Leeson Street	Melody Lane	175 M S. Of Mill Street	Sanitary Sewer - Lesson Street	250	60.7	PVC	1969	100	49	51	\$ 1,175	\$ 599	\$576	\$22,763	5		5	Average	Possible	Moderate
3036	3036	Storm/Sanitary - Gravity Main	Monty Avenue	Monty Avenue	Leeson Street	End	Sanitary Sewer - Monty Avenue	250	79.7	PVC	1969	100	49	51	\$ 1,688	\$ 861	\$827	\$29,888	5		5	Average	Possible	Moderate

Grand Valley  
Sanitary - Gravity Main Inventory

\$19  
\$ 36.33 \$ 356.08  
#REF!

Fixed Asset #		Subtype	Street Name	NAME	FROM	TO	Asset Name	Diameter	Length (m)	Material	Install Year	Useful Life	Remaining Useful Life	Age	Historic Cost	2020 Accumulated Amortization System	2020 Net Book Value System	Replacement Cost	Condition Based On Useful Life	Condition from Town	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected Condition)	Consequence of Failure
									12498.6				63.5	36.2	\$ 1,193,679	\$ 114,853	\$ 1,078,827	\$ 4,484,227			6.3			
3037	3037	Storm/Sanitary - Gravity Main	Leeson Street	Leeson Street	175m S Of Mill Street	Mill Street	Sanitary Sewer - Lesson Street	250	89.8	PVC	1969	100	49	51	\$ 1,808	\$ 922	\$ 886	\$ 33,675	5		5	Average	Possible	Moderate
3038	3038	Storm/Sanitary - Gravity Main	Leeson Street	Leeson Street	175m S Of Mill Street	Mill Street	Sanitary Sewer - Lesson Street	250	84.2	PVC	1969	100	49	51	\$ 1,659	\$ 846	\$ 813	\$ 31,575	5		5	Average	Possible	Moderate
3039	3039	Storm/Sanitary - Gravity Main	Water Street	Water Street	Emma Street	William Street	Sanitary Sewer - Water Street Outfall	400	17.2	PVC	1969	100	49	51	\$ 582	\$ 297	\$ 285	\$ 7,310	5		5	Average	Possible	Moderate
3040	3040	Storm/Sanitary - Gravity Main	Emma Street	Emma Street	Water Street	William Street	Sanitary Sewer - Emma Street	400	81.1	PVC	1969	100	49	51	\$ 2,998	\$ 1,529	\$ 1,469	\$ 34,468	5		5	Average	Possible	Moderate
3041	3041	Storm/Sanitary - Gravity Main	Emma Street	Emma Street	Water Street	William Street	Sanitary Sewer - Emma Street	400	10.3	PVC	1969	100	49	51	\$ 312	\$ 159	\$ 153	\$ 4,378	5		5	Average	Possible	Moderate
3042	3042	Storm/Sanitary - Gravity Main	Emma Street	Emma Street	Water Street	William Street	Sanitary Sewer - Emma Street	400	91.6	PVC	1969	100	49	51	\$ 3,063	\$ 1,562	\$ 1,501	\$ 38,930	5		5	Average	Possible	Moderate
3043	3043	Storm/Sanitary - Gravity Main	Emma Street	Emma Street	Water Street	William Street	Sanitary Sewer - Emma Street	400	66.9	PVC	1969	100	49	51	\$ 2,263	\$ 1,154	\$ 1,109	\$ 28,433	5		5	Average	Possible	Moderate
3044	3044	Storm/Sanitary - Gravity Main	Emma Street	Emma Street	Water Street	William Street	Sanitary Sewer - Emma Street	400	53.1	PVC	1969	100	49	51	\$ 1,748	\$ 891	\$ 857	\$ 22,568	5		5	Average	Possible	Moderate
3742	3742	Storm/Sanitary - Gravity Main	Leeson Street	Leeson Street	Amaranth Street	Douglas Street	Sanitary Sewer - Lesson Street	200	67.5	PVC	1969	100	49	51	\$ 1,258	\$ 641	\$ 616	\$ 23,625	5		5	Average	Possible	Moderate
3743	3743	Storm/Sanitary - Gravity Main	Emma Street	Emma Street	Amaranth Street	Douglas Street	Sanitary Sewer - Emma Street	200	61.3	PVC	1969	100	49	51	\$ 1,137	\$ 580	\$ 557	\$ 21,455	5		5	Average	Possible	Moderate
4253	4253	Storm/Sanitary - Gravity Main	Main Street	Main Street	<Null>	<Null>	Sanitary Sewer - Main Street	200	50.1	PVC	2012	100	92	8	\$ 17,557	\$ 702	\$ 16,855	\$ 17,535	9		9	Very Good	Rare	Moderate
4272	4272	Storm/Sanitary - Gravity Main	Main Street	Main Street	North of Fife	<Null>	Sanitary Sewer - Main Street	150	10	PVC	2012	100	92	8	\$ 5,918	\$ 237	\$ 5,682	\$ 3,000	9		9	Very Good	Rare	Moderate
4702	4702	Storm/Sanitary - Gravity Main	Emma St	Emma St			450 mm Poly Vinyl Chloride Sanitary Sewer - Emma Street	450	13	PVC	2013	100	93	7	\$ 5,200	\$ 56	\$ 5,144	\$ 5,850	9		9	Very Good	Rare	Moderate
4703	4703	Storm/Sanitary - Gravity Main	Main St	Main St			200 mm Poly Vinyl Chloride Sanitary Sewer - Main Street	200	5.1	PVC	2012	100	92	8	\$ 1,607	\$ 129	\$ 1,478	\$ 1,785	9		9	Very Good	Rare	Moderate
4725	4725	Storm/Sanitary - Gravity Main	William St	William St			250 mm Poly Vinyl Chloride Sanitary Sewer - William Street	250	64.9	PVC	2013	100	93	7	\$ 22,715	\$ 483	\$ 22,232	\$ 24,338	9		9	Very Good	Rare	Moderate
4726	4726	Storm/Sanitary - Gravity Main	William St	William St			250 mm Poly Vinyl Chloride Sanitary Sewer - William Street	250	13.4	PVC	2013	100	93	7	\$ 4,690	\$ 50	\$ 4,640	\$ 5,025	9		9	Very Good	Rare	Moderate
4727	4727	Storm/Sanitary - Gravity Main	William St	William St			250 mm Poly Vinyl Chloride Sanitary Sewer - William Street	250	79	PVC	2013	100	93	7	\$ 27,650	\$ 588	\$ 27,062	\$ 29,625	9		9	Very Good	Rare	Moderate
4728	4728	Storm/Sanitary - Gravity Main	William St	William St			200 mm Poly Vinyl Chloride Sanitary Sewer - William Street	200	39.5	PVC	2013	100	93	7	\$ 12,443	\$ 265	\$ 12,178	\$ 13,825	9		9	Very Good	Rare	Moderate
4729	4729	Storm/Sanitary - Gravity Main	William St	William St			375 mm Poly Vinyl Chloride Sanitary Sewer - William Street	375	81.3	PVC	2013	100	93	7	\$ 32,520	\$ 692	\$ 31,828	\$ 32,520	9		9	Very Good	Rare	Moderate
4731	4731	Storm/Sanitary - Gravity Main	Concession Rd 2-3	Concession Rd 2-3	at Taylor		250 mm Poly Vinyl Chloride Sanitary Sewer - Concession Rd 2-3	250	17.9	PVC	2013	100	93	7	\$ 6,265	\$ 67	\$ 6,198	\$ 6,713	9		9	Very Good	Rare	Moderate
4732	4732	Storm/Sanitary - Gravity Main	Taylor Dr	Taylor Dr			250 mm Poly Vinyl Chloride Sanitary Sewer - Taylor Drive	250	56.9	PVC	2013	100	93	7	\$ 19,915	\$ 424	\$ 19,491	\$ 21,338	9		9	Very Good	Rare	Moderate
4733	4733	Storm/Sanitary - Gravity Main	Taylor Dr	Taylor Dr			250 mm Poly Vinyl Chloride Sanitary Sewer - Taylor Drive	250	119.6	PVC	2013	100	93	7	\$ 41,860	\$ 891	\$ 40,969	\$ 44,850	9		9	Very Good	Rare	Moderate
4734	4734	Storm/Sanitary - Gravity Main	Taylor Dr	Taylor Dr			250 mm Poly Vinyl Chloride Sanitary Sewer - Taylor Drive	250	32	PVC	2013	100	93	7	\$ 11,200	\$ 238	\$ 10,962	\$ 12,000	9		9	Very Good	Rare	Moderate
4740	4740	Storm/Sanitary - Gravity Main	Mill St	Mill St			200 mm Poly Vinyl Chloride Sanitary Sewer - Mill Street East of Taylor Drive	200	32.8	PVC	2013	100	93	7	\$ 10,332	\$ 220	\$ 10,112	\$ 11,480	9		9	Very Good	Rare	Moderate
4741	4741	Storm/Sanitary - Gravity Main	Taylor Dr	Taylor Dr			200 mm Poly Vinyl Chloride Sanitary Sewer - Taylor Drive	200	21.6	PVC	2013	100	93	7	\$ 6,804	\$ 73	\$ 6,731	\$ 7,560	9		9	Very Good	Rare	Moderate
4742	4742	Storm/Sanitary - Gravity Main	Taylor Dr	Taylor Dr			200 mm Poly Vinyl Chloride Sanitary Sewer - Taylor Drive	200	21.5	PVC	2013	100	93	7	\$ 6,773	\$ 73	\$ 6,700	\$ 7,525	9		9	Very Good	Rare	Moderate
4743	4743	Storm/Sanitary - Gravity Main	Mill St	Mill St			200 mm Poly Vinyl Chloride Sanitary Sewer - Mill Street	200	61	PVC	2013	100	93	7	\$ 19,215	\$ 409	\$ 18,806	\$ 21,350	9		9	Very Good	Rare	Moderate
4744	4744	Storm/Sanitary - Gravity Main	Mill St	Mill St			200 mm Poly Vinyl Chloride Sanitary Sewer - Mill Street	200	25.7	PVC	2013	100	93	7	\$ 8,096	\$ 87	\$ 8,008	\$ 8,995	9		9	Very Good	Rare	Moderate
4745	4745	Storm/Sanitary - Gravity Main	Taylor Dr	Taylor Dr	at south end of Storm Pond		250 mm Poly Vinyl Chloride Sanitary Sewer - William Street	250	40.5	PVC	2013	100	93	7	\$ 14,175	\$ 302	\$ 13,873	\$ 15,188	9		9	Very Good	Rare	Moderate
4746	4746	Storm/Sanitary - Gravity Main	Taylor Dr	Taylor Dr	at south end of Storm Pond		200 mm Poly Vinyl Chloride Sanitary Sewer - Monty Avenue	200	13.5	PVC	2013	100	93	7	\$ 4,253	\$ 46	\$ 4,207	\$ 4,725	9		9	Very Good	Rare	Moderate
4747	4747	Storm/Sanitary - Gravity Main	Melody Lane	Melody Lane			200 mm Poly Vinyl Chloride Sanitary Sewer - Melody Lane	200	62	PVC	2013	100	93	7	\$ 19,530	\$ 416	\$ 19,114	\$ 21,700	9		9	Very Good	Rare	Moderate
4748	4748	Storm/Sanitary - Gravity Main	Melody Lane	Melody Lane			200 mm Poly Vinyl Chloride Sanitary Sewer - Melody Lane	200	16.3	PVC	2013	100	93	7	\$ 5,135	\$ 55	\$ 5,079	\$ 5,705	9		9	Very Good	Rare	Moderate
4749	4749	Storm/Sanitary - Gravity Main	Melody Lane	Melody Lane			200 mm Poly Vinyl Chloride Sanitary Sewer - Melody Lane	200	33.2	PVC	2013	100	93	7	\$ 10,458	\$ 223	\$ 10,235	\$ 11,620	9		9	Very Good	Rare	Moderate
4750	4750	Storm/Sanitary - Gravity Main	West off Taylor St	West off Taylor St	Taylor St	West	200 mm Poly Vinyl Chloride Sanitary Sewer - <Null>	200	57.6	PVC	2013	100	93	7	\$ 18,144	\$ 386	\$ 17,758	\$ 20,160	9		9	Very Good	Rare	Moderate
4751	4751	Storm/Sanitary - Gravity Main	Street 14	Street 14			200 mm Poly Vinyl Chloride Sanitary Sewer - Street 14	200	54.5	PVC	2013	100	93	7	\$ 17,168	\$ 365	\$ 16,802	\$ 19,075	9		9	Very Good	Rare	Moderate
4752	4752	Storm/Sanitary - Gravity Main	Mill St	Mill St			200 mm Poly Vinyl Chloride Sanitary Sewer - Mill Street	200	9.8	PVC	2013	100	93	7	\$ 3,087	\$ 33	\$ 3,054	\$ 3,430	9		9	Very Good	Rare	Moderate
4792	4792	Storm/Sanitary - Gravity Main	Taylor Dr	Taylor Dr			200 mm Poly Vinyl Chloride Sanitary Sewer - Taylor Drive	200	10	PVC	2013	100	93	7	\$ 3,150	\$ 34	\$ 3,116	\$ 3,500	9		9	Very Good	Rare	Moderate

Grand Valley  
Sanitary - Gravity Main Inventory

\$19  
\$ 36.33     \$ 356.08  
#REF!

Fixed Asset #		Subtype	Street Name	NAME	FROM	TO	Asset Name	Diameter	Length (m)	Material	Install Year	Useful Life	Remaining Useful Life	Age	Historic Cost	2020 Accumulated Amortization System	2020 Net Book Value System	Replacement Cost	Condition Based On Useful Life	Condition from Town	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected Condition)	Consequence of Failure
									12498.6				63.5	36.2	\$1,193,679	\$114,853	\$1,078,827	\$4,484,227			6.3			
4799	4799	Storm/Sanitary - Gravity Main	Emma St	Emma St			525 mm Poly Vinyl Chloride Sanitary Sewer - Emma Street	525	6	PVC	2013	100	93	7	\$2,700	\$189	\$2,511	\$3,000	9		9	Very Good	Rare	Moderate
4800	4800	Storm/Sanitary - Gravity Main	Emma St	Emma St			525 mm Poly Vinyl Chloride Sanitary Sewer - Emma Street	525	26.5	PVC	2013	100	93	7	\$11,925	\$835	\$11,090	\$13,250	9		9	Very Good	Rare	Moderate
4841	4841	Storm/Sanitary - Gravity Main	Taylor Dr	Taylor Dr			250 mm Poly Vinyl Chloride Sanitary Sewer - Taylor Drive	250	23.9	PVC	2013	100	93	7	\$8,365	\$90	\$8,275	\$8,963	9		9	Very Good	Rare	Moderate
4842	4842	Storm/Sanitary - Gravity Main	Taylor Dr	Taylor Dr			250 mm Poly Vinyl Chloride Sanitary Sewer - Taylor Drive	250	74.9	PVC	2013	100	93	7	\$26,215	\$558	\$25,657	\$28,088	9		9	Very Good	Rare	Moderate
4843	4843	Storm/Sanitary - Gravity Main	Taylor Dr	Taylor Dr			200 mm Poly Vinyl Chloride Sanitary Sewer - Taylor Drive	200	67.1	PVC	2013	100	93	7	\$21,137	\$450	\$20,687	\$23,485	9		9	Very Good	Rare	Moderate
4844	4844	Storm/Sanitary - Gravity Main	Taylor Dr	Taylor Dr			250 mm Poly Vinyl Chloride Sanitary Sewer - Taylor Drive	250	36.5	PVC	2013	100	93	7	\$12,775	\$272	\$12,503	\$13,688	9		9	Very Good	Rare	Moderate
4855	4855	Storm/Sanitary - Gravity Main	Taylor Dr	Taylor Dr			200 mm Poly Vinyl Chloride Sanitary Sewer - Taylor Drive	200	83.6	PVC	2013	100	93	7	\$26,334	\$560	\$25,774	\$29,260	9		9	Very Good	Rare	Moderate
4856	4856	Storm/Sanitary - Gravity Main	Taylor Dr	Taylor Dr			200 mm Poly Vinyl Chloride Sanitary Sewer - Taylor Drive	200	79.2	PVC	2013	100	93	7	\$24,948	\$531	\$24,417	\$27,720	9		9	Very Good	Rare	Moderate
4857	4857	Storm/Sanitary - Gravity Main	Taylor Dr	Taylor Dr			200 mm Poly Vinyl Chloride Sanitary Sewer - Taylor Drive	200	110.3	PVC	2013	100	93	7	\$34,745	\$739	\$34,005	\$38,605	9		9	Very Good	Rare	Moderate
4858	4858	Storm/Sanitary - Gravity Main	Taylor Dr	Taylor Dr			200 mm Poly Vinyl Chloride Sanitary Sewer - Taylor Drive	200	65.2	PVC	2013	100	93	7	\$20,538	\$437	\$20,101	\$22,820	9		9	Very Good	Rare	Moderate
4859	4859	Storm/Sanitary - Gravity Main	Taylor Dr	Taylor Dr			200 mm Poly Vinyl Chloride Sanitary Sewer - Taylor Drive	200	65.5	PVC	2013	100	93	7	\$20,633	\$439	\$20,194	\$22,925	9		9	Very Good	Rare	Moderate
4860	4860	Storm/Sanitary - Gravity Main	Taylor Dr	Taylor Dr			200 mm Poly Vinyl Chloride Sanitary Sewer - Taylor Drive	200	110.2	PVC	2013	100	93	7	\$34,713	\$739	\$33,974	\$38,570	9		9	Very Good	Rare	Moderate
4861	4861	Storm/Sanitary - Gravity Main	Taylor Dr	Taylor Dr			200 mm Poly Vinyl Chloride Sanitary Sewer - Taylor Drive	200	70.6	PVC	2013	100	93	7	\$22,239	\$473	\$21,766	\$24,710	9		9	Very Good	Rare	Moderate
4862	4862	Storm/Sanitary - Gravity Main	Emma St	Emma St			525 mm Poly Vinyl Chloride Sanitary Sewer - Emma Street	525	29	PVC	2013	100	93	7	\$13,050	\$914	\$12,137	\$14,500	9		9	Very Good	Rare	Moderate
4863	4863	Storm/Sanitary - Gravity Main	Emma St	Emma St			525 mm Poly Vinyl Chloride Sanitary Sewer - Emma Street	525	3.4	PVC	2013	100	93	7	\$1,530	\$107	\$1,423	\$1,700	9		9	Very Good	Rare	Moderate
5288	5288	Storm/Sanitary - Gravity Main	Industrial Road	Industrial Road			450 mm - Sanitary Sewer Outfall - Wastewater Treatment Plant - Industrial Road	450	2.3	Poly Vinyl C	2013	100	93	7	\$920	\$64	\$856	\$1,035	9		9	Very Good	Rare	Moderate
5289	5289	Storm/Sanitary - Gravity Main	Industrial Road	Industrial Road			200 mm - Sanitary Sewer - Wastewater Treatment Plant - Industrial Road	200	68	Poly Vinyl C	2013	100	93	7	\$21,420	\$1,499	\$19,921	\$23,800	9		9	Very Good	Rare	Moderate
5290	5290	Storm/Sanitary - Gravity Main	Industrial Road	Industrial Road			200 mm - Sanitary Sewer - Wastewater Treatment Plant - Industrial Road	200	34.2	Poly Vinyl C	2013	100	93	7	\$10,773	\$754	\$10,019	\$11,970	9		9	Very Good	Rare	Moderate
5292	5292	Storm/Sanitary - Gravity Main	Industrial Road	Industrial Road			150 mm - Sanitary Sewer Overflow - Wastewater Treatment Plant - Industrial Road	150	6.7	Poly Vinyl C	2013	100	93	7	\$1,675	\$117	\$1,558	\$2,010	9		9	Very Good	Rare	Moderate
5293	5293	Storm/Sanitary - Gravity Main	Industrial Road	Industrial Road			150 mm - Sanitary Sewer - Wastewater Treatment Plant - Industrial Road	150	25.9	Ductile Iron	2013	50	43	7	\$6,475	\$907	\$5,569	\$7,770	9		9	Very Good	Rare	Moderate
5294	5294	Storm/Sanitary - Gravity Main	Industrial Road	Industrial Road			200 mm - Sanitary Sewer - Wastewater Treatment Plant - Industrial Road	200	18.9	Poly Vinyl C	2013	100	93	7	\$5,954	\$417	\$5,537	\$6,615	9		9	Very Good	Rare	Moderate
5296	5296	Storm/Sanitary - Gravity Main	Industrial Road	Industrial Road			200 mm - Sanitary Sewer Overflow - Wastewater Treatment Plant - Industrial Road	200	24	Poly Vinyl C	2013	100	93	7	\$7,560	\$529	\$7,031	\$8,400	9		9	Very Good	Rare	Moderate
5298	5298	Storm/Sanitary - Gravity Main	Industrial Road	Industrial Road			450 mm - Sanitary Sewer Outfall - Wastewater Treatment Plant - Industrial Road	450	42.2	Poly Vinyl C	2013	100	93	7	\$16,880	\$1,182	\$15,698	\$18,990	9		9	Very Good	Rare	Moderate
5300	5300	Storm/Sanitary - Gravity Main	Industrial Road	Industrial Road			200 mm - Sanitary Sewer - Wastewater Treatment Plant - Industrial Road	200	3.9	Poly Vinyl C	2013	100	93	7	\$1,229	\$86	\$1,143	\$1,365	9		9	Very Good	Rare	Moderate
5302	5302	Storm/Sanitary - Gravity Main	Industrial Road	Industrial Road			200 mm - Sanitary Sewer - Wastewater Treatment Plant - Industrial Road	200	22.4	Poly Vinyl C	2013	100	93	7	\$7,056	\$494	\$6,562	\$7,840	9		9	Very Good	Rare	Moderate
5304	5304	Storm/Sanitary - Gravity Main	Industrial Road	Industrial Road			200 mm - Sanitary Sewer - Wastewater Treatment Plant - Industrial Road	200	5.9	Poly Vinyl C	2013	100	93	7	\$1,859	\$130	\$1,728	\$2,065	9		9	Very Good	Rare	Moderate
5305	5305	Storm/Sanitary - Gravity Main	Industrial Road	Industrial Road			300 mm - Sanitary Sewer - Wastewater Treatment Plant - Industrial Road	300	25.7	Ductile Iron	2013	50	43	7	\$8,995	\$1,259	\$7,736	\$9,638	9		9	Very Good	Rare	Moderate
5306	5306	Storm/Sanitary - Gravity Main	Industrial Road	Industrial Road			200 mm - Sanitary Sewer - Wastewater Treatment Plant - Industrial Road	200	6.9	Poly Vinyl C	2013	100	93	7	\$2,174	\$152	\$2,021	\$2,415	9		9	Very Good	Rare	Moderate
5307	5307	Storm/Sanitary - Gravity Main	Industrial Road	Industrial Road			300 mm - Sanitary Sewer - Wastewater Treatment Plant - Industrial Road	300	11.8	Poly Vinyl C	2013	100	93	7	\$4,130	\$289	\$3,841	\$4,425	9		9	Very Good	Rare	Moderate
5308	5308	Storm/Sanitary - Gravity Main	Industrial Road	Industrial Road			450 mm - Sanitary Sewer Outfall - Wastewater Treatment Plant - Industrial Road	450	35.9	Poly Vinyl C	2013	100	93	7	\$14,360	\$1,005	\$13,355	\$16,155	9		9	Very Good	Rare	Moderate
5310	5310	Storm/Sanitary - Gravity Main	Industrial Road	Industrial Road			450 mm - Sanitary Sewer Outfall - Wastewater Treatment Plant - Industrial Road	450	16.5	Poly Vinyl C	2013	100	93	7	\$6,600	\$462	\$6,138	\$7,425	9		9	Very Good	Rare	Moderate
5311	5311	Storm/Sanitary - Gravity Main	Industrial Road	Industrial Road			350 mm - Sanitary Sewer - Wastewater Treatment Plant - Industrial Road	350	21.3	Poly Vinyl C	2013	100	93	7	\$7,455	\$522	\$6,933	\$8,520	9		9	Very Good	Rare	Moderate
5312	5312	Storm/Sanitary - Gravity Main	Industrial Road	Industrial Road			200 mm - Sanitary Sewer - Filter Reject - Wastewater Treatment Plant - Industrial Road	200	34.9	Poly Vinyl C	2013	100	93	7	\$10,994	\$770	\$10,224	\$12,215	9		9	Very Good	Rare	Moderate
5314	5314	Storm/Sanitary - Gravity Main	Industrial Road	Industrial Road			200 mm - Sanitary Sewer - Wastewater Treatment Plant - Industrial Road	200	14.6	Poly Vinyl C	2013	100	93	7	\$4,599	\$322	\$4,277	\$5,110	9		9	Very Good	Rare	Moderate
5316	5316	Storm/Sanitary - Gravity Main	Industrial Road	Industrial Road			200 mm - Sanitary Sewer - Wastewater Treatment Plant - Industrial Road	200	7	Poly Vinyl C	2013	100	93	7	\$2,205	\$154	\$2,051	\$2,450	9		9	Very Good	Rare	Moderate



Grand Valley  
Sanitary - Gravity Main Inventory

\$19  
\$ 36.33      \$ 356.08  
#REF!

Fixed Asset #		Subtype	Street Name	NAME	FROM	TO	Asset Name	Diameter	Length (m)	Material	Install Year	Useful Life	Remaining Useful Life	Age	Historic Cost	2020 Accumulated Amortization System	2020 Net Book Value System	Replacement Cost	Condition Based On Useful Life	Condition from Town	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected Condition)	Consequence of Failure
									12498.6				63.5	36.2	\$1,193,679	\$114,853	\$1,078,827	\$4,484,227			6.3			
5317	5317	Storm/Sanitary - Gravity Main	Industrial Road	Industrial Road			300 mm - Sanitary Sewer - Wastewater Treatment Plant - Industrial Road	300	26	Ductile Iron	2013	50	43	7	\$9,100	\$1,274	\$7,826	\$9,750	9		9	Very Good	Rare	Moderate
5318	5318	Storm/Sanitary - Gravity Main	Industrial Road	Industrial Road			200 mm - Sanitary Sewer - Wastewater Treatment Plant - Industrial Road	200	7.5	Poly Vinyl C	2013	100	93	7	\$2,363	\$165	\$2,197	\$2,625	9		9	Very Good	Rare	Moderate
5319	5319	Storm/Sanitary - Gravity Main	Industrial Road	Industrial Road			200 mm - Sanitary Sewer - Wastewater Treatment Plant - Industrial Road	200	7.8	Poly Vinyl C	2013	100	93	7	\$2,457	\$172	\$2,285	\$2,730	9		9	Very Good	Rare	Moderate
5320	5320	Storm/Sanitary - Gravity Main	Industrial Road	Industrial Road			450 mm - Sanitary Sewer Outfall - Wastewater Treatment Plant - Industrial Road	450	16	Poly Vinyl C	2013	100	93	7	\$6,400	\$448	\$5,952	\$7,200	9		9	Very Good	Rare	Moderate
5354	5354	Storm/Sanitary - Gravity Main	Emma St	Emma St			250mm - PVC Sanitary Sewer - Emma St to Old Treatment Plant	250	47.3	Poly Vinyl C	2013	100	93	7	\$16,555	\$1,159	\$15,396	\$17,738	9		9	Very Good	Rare	Moderate
7129	7129	Storm/Sanitary - Gravity Main	Beam Street	Beam Street			Beam Street - 200 mm PVC Sanitary	200	14.4	PVC	2015	100	94	6	\$3,261		\$3,261	\$5,040	9		9	Very Good	Rare	Moderate
7130	7130	Storm/Sanitary - Gravity Main	Beam Street	Beam Street			Beam Street - 200 mm PVC Sanitary	200	23.9	PVC	2015	100	94	6	\$3,878		\$3,878	\$8,365	9		9	Very Good	Rare	Moderate
7131	7131	Storm/Sanitary - Gravity Main	Beam Street	Beam Street			Beam Street - 200 mm PVC Sanitary	200	43.5	PVC	2015	100	94	6	\$5,152		\$5,152	\$15,225	9		9	Very Good	Rare	Moderate
7132	7132	Storm/Sanitary - Gravity Main	Hillborn Street	Hillborn Street			Hillborn Street - 200 mm PVC Sanitary	200	14.3	PVC	2015	100	94	6	\$3,254		\$3,254	\$5,005	9		9	Very Good	Rare	Moderate
7133	7133	Storm/Sanitary - Gravity Main	Hillborn Street	Hillborn Street			Hillborn Street - 200 mm PVC Sanitary	200	33.6	PVC	2015	100	94	6	\$4,509		\$4,509	\$11,760	9		9	Very Good	Rare	Moderate
7134	7134	Storm/Sanitary - Gravity Main	Hillborn Street	Hillborn Street			Hillborn Street - 200 mm PVC Sanitary	200	90.2	PVC	2015	100	94	6	\$8,188		\$8,188	\$31,570	9		9	Very Good	Rare	Moderate
7135	7135	Storm/Sanitary - Gravity Main	Hillborn Street	Hillborn Street			Hillborn Street - 200 mm PVC Sanitary	200	90.2	PVC	2015	100	94	6	\$8,188		\$8,188	\$31,570	9		9	Very Good	Rare	Moderate
7136	7136	Storm/Sanitary - Gravity Main	Hillborn Street	Hillborn Street			Hillborn Street - 200 mm PVC Sanitary	200	70.3	PVC	2015	100	94	6	\$6,894		\$6,894	\$24,605	9		9	Very Good	Rare	Moderate
7137	7137	Storm/Sanitary - Gravity Main	Hillborn Street	Hillborn Street			Hillborn Street - 200 mm PVC Sanitary	200	21.7	PVC	2015	100	94	6	\$3,735		\$3,735	\$7,595	9		9	Very Good	Rare	Moderate
7138	7138	Storm/Sanitary - Gravity Main	Mayberry Drive	Mayberry Drive			Mayberry Drive - 250 mm PVC Sanitary	250	26.7	PVC	2015	100	94	6	\$4,995		\$4,995	\$10,013	9		9	Very Good	Rare	Moderate
7139	7139	Storm/Sanitary - Gravity Main	Mayberry Drive	Mayberry Drive			Mayberry Drive - 250 mm PVC Sanitary	250	20.1	PVC	2015	100	94	6	\$4,335		\$4,335	\$7,538	9		9	Very Good	Rare	Moderate
7145	7145	Storm/Sanitary - Gravity Main	Beam Street	Beam Street			Beam Street - 200 mm PVC Sanitary	200	42.3	PVC	2015	100	94	6	\$5,074		\$5,074	\$14,805	9		9	Very Good	Rare	Moderate
7146	7146	Storm/Sanitary - Gravity Main	Beam Street	Beam Street			Beam Street - 200 mm PVC Sanitary	200	46.8	PVC	2015	100	94	6	\$5,367		\$5,367	\$16,380	9		9	Very Good	Rare	Moderate
7147	7147	Storm/Sanitary - Gravity Main	MacIntyre Lane	MacIntyre Lane			MacIntyre Lane - 200 mm PVC Sanitary	200	25.1	PVC	2015	100	94	6	\$3,956		\$3,956	\$8,785	9		9	Very Good	Rare	Moderate
7148	7148	Storm/Sanitary - Gravity Main	MacIntyre Lane	MacIntyre Lane			MacIntyre Lane - 200 mm PVC Sanitary	200	77.7	PVC	2015	100	94	6	\$7,375		\$7,375	\$27,195	9		9	Very Good	Rare	Moderate
7149	7149	Storm/Sanitary - Gravity Main	MacIntyre Lane	MacIntyre Lane			MacIntyre Lane - 200 mm PVC Sanitary	200	95.2	PVC	2015	100	94	6	\$8,513		\$8,513	\$33,320	9		9	Very Good	Rare	Moderate
7150	7150	Storm/Sanitary - Gravity Main	MacIntyre Lane	MacIntyre Lane			MacIntyre Lane - 200 mm PVC Sanitary	200	44.5	PVC	2015	100	94	6	\$5,217		\$5,217	\$15,575	9		9	Very Good	Rare	Moderate
7151	7151	Storm/Sanitary - Gravity Main	Mayberry Drive	Mayberry Drive			Mayberry Drive - 200 mm PVC Sanitary	200	80.1	PVC	2015	100	94	6	\$7,531		\$7,531	\$28,035	9		9	Very Good	Rare	Moderate
7152	7152	Storm/Sanitary - Gravity Main	Mayberry Drive	Mayberry Drive			Mayberry Drive - 200 mm PVC Sanitary	200	36.6	PVC	2015	100	94	6	\$4,704		\$4,704	\$12,810	9		9	Very Good	Rare	Moderate
7153	7153	Storm/Sanitary - Gravity Main	Mayberry Drive	Mayberry Drive			Mayberry Drive - 200 mm PVC Sanitary	200	90	PVC	2015	100	94	6	\$8,175		\$8,175	\$31,500	9		9	Very Good	Rare	Moderate
7154	7154	Storm/Sanitary - Gravity Main	Ritchie Drive	Ritchie Drive			Ritchie Drive - 200 mm PVC Sanitary	200	21	PVC	2015	100	94	6	\$3,690		\$3,690	\$7,350	9		9	Very Good	Rare	Moderate
7155	7155	Storm/Sanitary - Gravity Main	Ritchie Drive	Ritchie Drive			Ritchie Drive - 200 mm PVC Sanitary	200	28.2	PVC	2015	100	94	6	\$4,158		\$4,158	\$9,870	9		9	Very Good	Rare	Moderate
7156	7156	Storm/Sanitary - Gravity Main	Ritchie Drive	Ritchie Drive			Ritchie Drive - 200 mm PVC Sanitary	200	34.3	PVC	2015	100	94	6	\$4,554		\$4,554	\$12,005	9		9	Very Good	Rare	Moderate
7157	7157	Storm/Sanitary - Gravity Main	Ritchie Drive	Ritchie Drive			Ritchie Drive - 200 mm PVC Sanitary	200	42.5	PVC	2015	100	94	6	\$5,087		\$5,087	\$14,875	9		9	Very Good	Rare	Moderate
7158	7158	Storm/Sanitary - Gravity Main	Ritchie Drive	Ritchie Drive			Ritchie Drive - 200 mm PVC Sanitary	200	40.4	PVC	2015	100	94	6	\$4,951		\$4,951	\$14,140	9		9	Very Good	Rare	Moderate
7159	7159	Storm/Sanitary - Gravity Main	Ritchie Drive	Ritchie Drive			Ritchie Drive - 200 mm PVC Sanitary	200	48.3	PVC	2015	100	94	6	\$5,464		\$5,464	\$16,905	9		9	Very Good	Rare	Moderate
7160	7160	Storm/Sanitary - Gravity Main	Ritchie Drive	Ritchie Drive			Ritchie Drive - 200 mm PVC Sanitary	200	34.9	PVC	2015	100	94	6	\$4,593		\$4,593	\$12,215	9		9	Very Good	Rare	Moderate
7161	7161	Storm/Sanitary - Gravity Main	Jenkins Street	Jenkins Street			Jenkins Street - 200 mm PVC Sanitary	200	34	PVC	2015	100	94	6	\$4,535		\$4,535	\$11,900	9		9	Very Good	Rare	Moderate
7162	7162	Storm/Sanitary - Gravity Main	Ritchie Drive	Ritchie Drive			Ritchie Drive - 200 mm PVC Sanitary	200	11.6	PVC	2015	100	94	6	\$3,079		\$3,079	\$4,060	9		9	Very Good	Rare	Moderate
7163	7163	Storm/Sanitary - Gravity Main	Ritchie Drive	Ritchie Drive			Ritchie Drive - 200 mm PVC Sanitary	200	87.6	PVC	2015	100	94	6	\$8,019		\$8,019	\$30,660	9		9	Very Good	Rare	Moderate
7164	7164	Storm/Sanitary - Gravity Main	Hunt Street	Hunt Street			Hunt Street - 200 mm PVC Sanitary	200	90	PVC	2015	100	94	6	\$8,175		\$8,175	\$31,500	9		9	Very Good	Rare	Moderate
7165	7165	Storm/Sanitary - Gravity Main	Hunt Street	Hunt Street			Hunt Street - 200 mm PVC Sanitary	200	44.5	PVC	2015	100	94	6	\$5,217		\$5,217	\$15,575	9		9	Very Good	Rare	Moderate
7166	7166	Storm/Sanitary - Gravity Main	Stuckey Lane	Stuckey Lane			Stuckey Lane - 200 mm PVC Sanitary	200	21	PVC	2015	100	94	6	\$3,690		\$3,690	\$7,350	9		9	Very Good	Rare	Moderate
7167	7167	Storm/Sanitary - Gravity Main	Stuckey Lane	Stuckey Lane			Stuckey Lane - 200 mm PVC Sanitary	200	63.3	PVC	2015	100	94	6	\$6,439		\$6,439	\$22,155	9		9	Very Good	Rare	Moderate

Grand Valley  
Sanitary - Gravity Main Inventory

\$19  
\$ 36.33      \$ 356.08  
#REF!

Fixed Asset #		Subtype	Street Name	NAME	FROM	TO	Asset Name	Diameter	Length (m)	Material	Install Year	Useful Life	Remaining Useful Life	Age	Historic Cost	2020 Accumulated Amortization System	2020 Net Book Value System	Replacement Cost	Condition Based On Useful Life	Condition from Town	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected Condition)	Consequence of Failure
									12498.6				63.5	36.2	\$1,193,679	\$114,853	\$1,078,827	\$4,484,227			6.3			
7168	7168	Storm/Sanitary - Gravity Main	Stuckey Lane	Stuckey Lane			Stuckey Lane - 200 mm PVC Sanitary	200	12.9	PVC	2015	100	94	6	\$3,163		\$3,163	\$4,515	9		9	Very Good	Rare	Moderate
7169	7169	Storm/Sanitary - Gravity Main	Stuckey Lane	Stuckey Lane			Stuckey Lane - 200 mm PVC Sanitary	200	53.7	PVC	2015	100	94	6	\$5,815		\$5,815	\$18,795	9		9	Very Good	Rare	Moderate
7170	7170	Storm/Sanitary - Gravity Main	Stuckey Lane	Stuckey Lane			Stuckey Lane - 200 mm PVC Sanitary	200	57	PVC	2015	100	94	6	\$6,030		\$6,030	\$19,950	9		9	Very Good	Rare	Moderate

Grand Valley  
Sanitary - Gravity Main Inventory

Current Levels of Service  
Replacement/Improvement Year Based on Current Levels Service

Expected Levels of Service + Town Input  
Replacement/Improvement Year Based on Expected Levels

Fixed Asset #		Subtype	Street Name	Risk of Failure	Numerical Value of Risk of Failure	Year Replacement due to minimal maintenance practices	Current Levels of Service % benefit	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score	Subsequent Replacement Year	Revised Remaining Useful Life	Proposed Rehabilitation Cost (2021 \$)	Year for Rehabilitation	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current + Condition better than expected for age	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life
					1.7							\$13,000							
2911	2911	Storm/Sanitary - Gravity Main	Main Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2912	2912	Storm/Sanitary - Gravity Main	Fife Road	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2913	2913	Storm/Sanitary - Gravity Main	Main Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2914	2914	Storm/Sanitary - Gravity Main	Spruyt Avenue	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2915	2915	Storm/Sanitary - Gravity Main	Main Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2916	2916	Storm/Sanitary - Gravity Main	Main Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2917	2917	Storm/Sanitary - Gravity Main	Main Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2918	2918	Storm/Sanitary - Gravity Main	Main Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2919	2919	Storm/Sanitary - Gravity Main	Main Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2920	2920	Storm/Sanitary - Gravity Main	Webb Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2921	2921	Storm/Sanitary - Gravity Main	Concession Road 2-3	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2923	2923	Storm/Sanitary - Gravity Main	Main Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2924	2924	Storm/Sanitary - Gravity Main	Main Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2925	2925	Storm/Sanitary - Gravity Main	Crozier Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2926	2926	Storm/Sanitary - Gravity Main	River Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2930	2930	Storm/Sanitary - Gravity Main	Scott Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2931	2931	Storm/Sanitary - Gravity Main	Bielby Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2932	2932	Storm/Sanitary - Gravity Main	Bielby Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2933	2933	Storm/Sanitary - Gravity Main	Gier Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2934	2934	Storm/Sanitary - Gravity Main	Bielby Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2935	2935	Storm/Sanitary - Gravity Main	Crozier Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2936	2936	Storm/Sanitary - Gravity Main	Scott Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2937	2937	Storm/Sanitary - Gravity Main	Crozier Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2938	2938	Storm/Sanitary - Gravity Main	Gier Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2939	2939	Storm/Sanitary - Gravity Main	Scott Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2940	2940	Storm/Sanitary - Gravity Main	Crozier Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2941	2941	Storm/Sanitary - Gravity Main	Gier Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2942	2942	Storm/Sanitary - Gravity Main	Scott Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2943	2943	Storm/Sanitary - Gravity Main	Amaranth Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2944	2944	Storm/Sanitary - Gravity Main	Mill Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2945	2945	Storm/Sanitary - Gravity Main	Emma Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2946	2946	Storm/Sanitary - Gravity Main	Main Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2947	2947	Storm/Sanitary - Gravity Main	Main Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2949	2949	Storm/Sanitary - Gravity Main	Emma Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2950	2950	Storm/Sanitary - Gravity Main	Leeson Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2951	2951	Storm/Sanitary - Gravity Main	Leeson Street	M	2	2059	10	2069	2069	2169	48	\$1,000	2025		0	2069	2069	2169	48
2952	2952	Storm/Sanitary - Gravity Main	Leeson Street	M	2	2059	10	2069	2069	2169	48	\$1,000	2025		0	2069	2069	2169	48
2953	2953	Storm/Sanitary - Gravity Main	Emma Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2954	2954	Storm/Sanitary - Gravity Main	Main Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2955	2955	Storm/Sanitary - Gravity Main	George Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2956	2956	Storm/Sanitary - Gravity Main	River Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2957	2957	Storm/Sanitary - Gravity Main	Concession Road 2-3	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2958	2958	Storm/Sanitary - Gravity Main	Scott Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2959	2959	Storm/Sanitary - Gravity Main	Cooper Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2960	2960	Storm/Sanitary - Gravity Main	Cooper Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2961	2961	Storm/Sanitary - Gravity Main	Cooper Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2962	2962	Storm/Sanitary - Gravity Main	Cooper Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2963	2963	Storm/Sanitary - Gravity Main	Cooper Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2964	2964	Storm/Sanitary - Gravity Main	Emma Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2965	2965	Storm/Sanitary - Gravity Main	Amaranth Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2966	2966	Storm/Sanitary - Gravity Main	Mill Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2967	2967	Storm/Sanitary - Gravity Main	Mill Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2968	2968	Storm/Sanitary - Gravity Main	Amaranth Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2969	2969	Storm/Sanitary - Gravity Main	Emma Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2970	2970	Storm/Sanitary - Gravity Main	Concession Road 2-3	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2971	2971	Storm/Sanitary - Gravity Main	Leeson Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2972	2972	Storm/Sanitary - Gravity Main	Mill Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2973	2973	Storm/Sanitary - Gravity Main	Mill Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2974	2974	Storm/Sanitary - Gravity Main	Leeson Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2975	2975	Storm/Sanitary - Gravity Main	Scott Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2976	2976	Storm/Sanitary - Gravity Main	Scott Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48

Grand Valley  
Sanitary - Gravity Main Inventory

Current Levels of Service  
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Expected Levels of Service + Town Input  
Replacement/Improvement Year Based on Expected Levels

Fixed Asset #		Subtype	Street Name	Risk of Failure	Numerical Value of Risk of Failure	Year Replacement due to minimal maintenance practices	Current Levels of Service % benefit	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score	Subsequent Replacement Year	Revised Remaining Useful Life	Proposed Rehabilitation Cost (2021 \$)	Year for Rehabilitation	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current + Condition better then expected for age	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life
					1.7							\$13,000							
2977	2977	Storm/Sanitary - Gravity Main	Scott Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2978	2978	Storm/Sanitary - Gravity Main	Crozier Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2979	2979	Storm/Sanitary - Gravity Main	Amaranth Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2980	2980	Storm/Sanitary - Gravity Main	Amaranth Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2981	2981	Storm/Sanitary - Gravity Main	Amaranth Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2982	2982	Storm/Sanitary - Gravity Main	King Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2983	2983	Storm/Sanitary - Gravity Main	King Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2984	2984	Storm/Sanitary - Gravity Main	Park view Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2985	2985	Storm/Sanitary - Gravity Main	Concession Road 2-3	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2990	2990	Storm/Sanitary - Gravity Main	Cooper Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2991	2991	Storm/Sanitary - Gravity Main	Emma Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2992	2992	Storm/Sanitary - Gravity Main	Main Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2994	2994	Storm/Sanitary - Gravity Main	Main Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2995	2995	Storm/Sanitary - Gravity Main	Fife Road	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2996	2996	Storm/Sanitary - Gravity Main	Fife Road	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2997	2997	Storm/Sanitary - Gravity Main	Fife Road	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2998	2998	Storm/Sanitary - Gravity Main	Mary Court	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
2999	2999	Storm/Sanitary - Gravity Main	Joyce Court	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3000	3000	Storm/Sanitary - Gravity Main	Main Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3001	3001	Storm/Sanitary - Gravity Main	Crozier Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3002	3002	Storm/Sanitary - Gravity Main	Crozier Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3003	3003	Storm/Sanitary - Gravity Main	Crozier Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3004	3004	Storm/Sanitary - Gravity Main	Baker Court	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3005	3005	Storm/Sanitary - Gravity Main	Crozier Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3006	3006	Storm/Sanitary - Gravity Main	Scott Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3007	3007	Storm/Sanitary - Gravity Main	Leeson Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3008	3008	Storm/Sanitary - Gravity Main	Leeson Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3009	3009	Storm/Sanitary - Gravity Main	Leeson Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3010	3010	Storm/Sanitary - Gravity Main	Leeson Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3011	3011	Storm/Sanitary - Gravity Main	Leeson Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3012	3012	Storm/Sanitary - Gravity Main	Main Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3013	3013	Storm/Sanitary - Gravity Main	Amaranth Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3014	3014	Storm/Sanitary - Gravity Main	Amaranth Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3015	3015	Storm/Sanitary - Gravity Main	Amaranth Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3020	3020	Storm/Sanitary - Gravity Main	Emma Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3021	3021	Storm/Sanitary - Gravity Main	George Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3024	3024	Storm/Sanitary - Gravity Main	Main Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3025	3025	Storm/Sanitary - Gravity Main	Water Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3026	3026	Storm/Sanitary - Gravity Main	Main Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3027		Storm/Sanitary - Gravity Main	Concession Road 2-3	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3028	3028	Storm/Sanitary - Gravity Main	Concession Road 2-3	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3029	3029	Storm/Sanitary - Gravity Main	Ponsford Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3030	3030	Storm/Sanitary - Gravity Main	Ponsford Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3031	3031	Storm/Sanitary - Gravity Main	Mill Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3032	3032	Storm/Sanitary - Gravity Main	Mill Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3033	3033	Storm/Sanitary - Gravity Main	Melody Lane	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3034	3034	Storm/Sanitary - Gravity Main	Leeson Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3035	3035	Storm/Sanitary - Gravity Main	Leeson Street	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
3036	3036	Storm/Sanitary - Gravity Main	Monty Avenue	M	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48

Grand Valley  
Sanitary - Gravity Main Inventory

Current Levels of Service  
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Expected Levels of Service + Town Input  
Replacement/Improvement Year Based on Expected Levels

Fixed Asset #	Subtype	Street Name	Risk of Failure	Numerical Value of Risk of Failure	Year Replacement due to minimal maintenance practices	Current Levels of Service % benefit	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score	Subsequent Replacement Year	Revised Remaining Useful Life	Proposed Rehabilitation Cost (2021 \$)	Year for Rehabilitation	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current + Condition better then expected for age	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life
				1.7							\$13,000							
3037	3037	Storm/Sanitary - Gravity Main	Leeson Street	M	2	2059	10	2069	2069	2169	48			0	2069	2069	2169	48
3038	3038	Storm/Sanitary - Gravity Main	Leeson Street	M	2	2059	10	2069	2069	2169	48			0	2069	2069	2169	48
3039	3039	Storm/Sanitary - Gravity Main	Water Street	M	2	2059	10	2069	2069	2169	48			0	2069	2069	2169	48
3040	3040	Storm/Sanitary - Gravity Main	Emma Street	M	2	2059	10	2069	2069	2169	48			0	2069	2069	2169	48
3041	3041	Storm/Sanitary - Gravity Main	Emma Street	M	2	2059	10	2069	2069	2169	48			0	2069	2069	2169	48
3042	3042	Storm/Sanitary - Gravity Main	Emma Street	M	2	2059	10	2069	2069	2169	48			0	2069	2069	2169	48
3043	3043	Storm/Sanitary - Gravity Main	Emma Street	M	2	2059	10	2069	2069	2169	48			0	2069	2069	2169	48
3044	3044	Storm/Sanitary - Gravity Main	Emma Street	M	2	2059	10	2069	2069	2169	48			0	2069	2069	2169	48
3742	3742	Storm/Sanitary - Gravity Main	Leeson Street	M	2	2059	10	2069	2069	2169	48	\$11,000	2025	0	2069	2069	2169	48
3743	3743	Storm/Sanitary - Gravity Main	Emma Street	M	2	2059	10	2069	2069	2169	48			0	2069	2069	2169	48
										2212								
4253	4253	Storm/Sanitary - Gravity Main	Main Street	L	1	2102	10	2112	2112	2212	91			0	2112	2112	2212	91
4272	4272	Storm/Sanitary - Gravity Main	Main Street	L	1	2102	10	2112	2112	2212	91			0	2112	2112	2212	91
4702	4702	Storm/Sanitary - Gravity Main	Emma St	L	1	2103	10	2113	2113	2213	92			0	2113	2113	2213	92
4703	4703	Storm/Sanitary - Gravity Main	Main St	L	1	2102	10	2112	2112	2212	91			0	2112	2112	2212	91
4725	4725	Storm/Sanitary - Gravity Main	William St	L	1	2103	10	2113	2113	2213	92			0	2113	2113	2213	92
4726	4726	Storm/Sanitary - Gravity Main	William St	L	1	2103	10	2113	2113	2213	92			0	2113	2113	2213	92
4727	4727	Storm/Sanitary - Gravity Main	William St	L	1	2103	10	2113	2113	2213	92			0	2113	2113	2213	92
4728	4728	Storm/Sanitary - Gravity Main	William St	L	1	2103	10	2113	2113	2213	92			0	2113	2113	2213	92
4729	4729	Storm/Sanitary - Gravity Main	William St	L	1	2103	10	2113	2113	2213	92			0	2113	2113	2213	92
4731	4731	Storm/Sanitary - Gravity Main	Concession Rd 2-3	L	1	2103	10	2113	2113	2213	92			0	2113	2113	2213	92
4732	4732	Storm/Sanitary - Gravity Main	Taylor Dr	L	1	2103	10	2113	2113	2213	92			0	2113	2113	2213	92
4733	4733	Storm/Sanitary - Gravity Main	Taylor Dr	L	1	2103	10	2113	2113	2213	92			0	2113	2113	2213	92
4734	4734	Storm/Sanitary - Gravity Main	Taylor Dr	L	1	2103	10	2113	2113	2213	92			0	2113	2113	2213	92
4740	4740	Storm/Sanitary - Gravity Main	Mill St	L	1	2103	10	2113	2113	2213	92			0	2113	2113	2213	92
4741	4741	Storm/Sanitary - Gravity Main	Taylor Dr	L	1	2103	10	2113	2113	2213	92			0	2113	2113	2213	92
4742	4742	Storm/Sanitary - Gravity Main	Taylor Dr	L	1	2103	10	2113	2113	2213	92			0	2113	2113	2213	92
4743	4743	Storm/Sanitary - Gravity Main	Mill St	L	1	2103	10	2113	2113	2213	92			0	2113	2113	2213	92
4744	4744	Storm/Sanitary - Gravity Main	Mill St	L	1	2103	10	2113	2113	2213	92			0	2113	2113	2213	92
4745	4745	Storm/Sanitary - Gravity Main	Taylor Dr	L	1	2103	10	2113	2113	2213	92			0	2113	2113	2213	92
4746	4746	Storm/Sanitary - Gravity Main	Taylor Dr	L	1	2103	10	2113	2113	2213	92			0	2113	2113	2213	92
4747	4747	Storm/Sanitary - Gravity Main	Melody Lane	L	1	2103	10	2113	2113	2213	92			0	2113	2113	2213	92
4748	4748	Storm/Sanitary - Gravity Main	Melody Lane	L	1	2103	10	2113	2113	2213	92			0	2113	2113	2213	92
4749	4749	Storm/Sanitary - Gravity Main	Melody Lane	L	1	2103	10	2113	2113	2213	92			0	2113	2113	2213	92
4750	4750	Storm/Sanitary - Gravity Main	West off Taylor St	L	1	2103	10	2113	2113	2213	92			0	2113	2113	2213	92
4751	4751	Storm/Sanitary - Gravity Main	Street 14	L	1	2103	10	2113	2113	2213	92			0	2113	2113	2213	92
4752	4752	Storm/Sanitary - Gravity Main	Mill St	L	1	2103	10	2113	2113	2213	92			0	2113	2113	2213	92
4792	4792	Storm/Sanitary - Gravity Main	Taylor Dr	L	1	2103	10	2113	2113	2213	92			0	2113	2113	2213	92

Grand Valley  
Sanitary - Gravity Main Inventory

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Expected Levels of Service + Town Input  
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Fixed Asset #	Subtype	Street Name	Risk of Failure	Numerical Value of Risk of Failure	Year Replacement due to minimal maintenance practices	Current Levels of Service % benefit	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score	Subsequent Replacement Year	Revised Remaining Useful Life	Proposed Rehabilitation Cost (2021 \$)	Year for Rehabilitation	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current + Condition better then expected for age	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life
				1.7							\$13,000							
4799	Storm/Sanitary - Gravity Main	Emma St	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
4800	Storm/Sanitary - Gravity Main	Emma St	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
4841	Storm/Sanitary - Gravity Main	Taylor Dr	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
4842	Storm/Sanitary - Gravity Main	Taylor Dr	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
4843	Storm/Sanitary - Gravity Main	Taylor Dr	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
4844	Storm/Sanitary - Gravity Main	Taylor Dr	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
4855	Storm/Sanitary - Gravity Main	Taylor Dr	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
4856	Storm/Sanitary - Gravity Main	Taylor Dr	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
4857	Storm/Sanitary - Gravity Main	Taylor Dr	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
4858	Storm/Sanitary - Gravity Main	Taylor Dr	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
4859	Storm/Sanitary - Gravity Main	Taylor Dr	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
4860	Storm/Sanitary - Gravity Main	Taylor Dr	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
4861	Storm/Sanitary - Gravity Main	Taylor Dr	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
4862	Storm/Sanitary - Gravity Main	Emma St	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
4863	Storm/Sanitary - Gravity Main	Emma St	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
5288	Storm/Sanitary - Gravity Main	Industrial Road	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
5289	Storm/Sanitary - Gravity Main	Industrial Road	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
5290	Storm/Sanitary - Gravity Main	Industrial Road	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
5292	Storm/Sanitary - Gravity Main	Industrial Road	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
5293	Storm/Sanitary - Gravity Main	Industrial Road	L	1	2058	10	2063	2063	2113	42				0	2063	2063	2113	42
5294	Storm/Sanitary - Gravity Main	Industrial Road	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
5296	Storm/Sanitary - Gravity Main	Industrial Road	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
5298	Storm/Sanitary - Gravity Main	Industrial Road	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
5300	Storm/Sanitary - Gravity Main	Industrial Road	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
5302	Storm/Sanitary - Gravity Main	Industrial Road	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
5304	Storm/Sanitary - Gravity Main	Industrial Road	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
5305	Storm/Sanitary - Gravity Main	Industrial Road	L	1	2058	10	2063	2063	2113	42				0	2063	2063	2113	42
5306	Storm/Sanitary - Gravity Main	Industrial Road	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
5307	Storm/Sanitary - Gravity Main	Industrial Road	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
5308	Storm/Sanitary - Gravity Main	Industrial Road	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
5310	Storm/Sanitary - Gravity Main	Industrial Road	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
5311	Storm/Sanitary - Gravity Main	Industrial Road	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
5312	Storm/Sanitary - Gravity Main	Industrial Road	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
5314	Storm/Sanitary - Gravity Main	Industrial Road	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
5316	Storm/Sanitary - Gravity Main	Industrial Road	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92

Grand Valley  
Sanitary - Gravity Main Inventory

Current Levels of Service  
Replacement/Improvement Year Based on Current Levels Service

Expected Levels of Service + Town Input  
Replacement/Improvement Year Based on Expected Levels

Fixed Asset #		Subtype	Street Name	Risk of Failure	Numerical Value of Risk of Failure	Year Replacement due to minimal maintenance practices	Current Levels of Service % benefit	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score	Subsequent Replacement Year	Revised Remaining Useful Life	Proposed Rehabilitation Cost (2021 \$)	Year for Rehabilitation	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current + Condition better then expected for age	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life
					1.7							\$13,000							
5317	5317	Storm/Sanitary - Gravity Main	Industrial Road	L	1	2058	10	2063	2063	2113	42				0	2063	2063	2113	42
5318	5318	Storm/Sanitary - Gravity Main	Industrial Road	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
5319	5319	Storm/Sanitary - Gravity Main	Industrial Road	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
5320	5320	Storm/Sanitary - Gravity Main	Industrial Road	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
5354	5354	Storm/Sanitary - Gravity Main	Emma St	L	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
7129	7129	Storm/Sanitary - Gravity Main	Beam Street	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7130	7130	Storm/Sanitary - Gravity Main	Beam Street	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7131	7131	Storm/Sanitary - Gravity Main	Beam Street	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7132	7132	Storm/Sanitary - Gravity Main	Hillborn Street	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7133	7133	Storm/Sanitary - Gravity Main	Hillborn Street	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7134	7134	Storm/Sanitary - Gravity Main	Hillborn Street	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7135	7135	Storm/Sanitary - Gravity Main	Hillborn Street	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7136	7136	Storm/Sanitary - Gravity Main	Hillborn Street	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7137	7137	Storm/Sanitary - Gravity Main	Hillborn Street	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7138	7138	Storm/Sanitary - Gravity Main	Mayberry Drive	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7139	7139	Storm/Sanitary - Gravity Main	Mayberry Drive	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7145	7145	Storm/Sanitary - Gravity Main	Beam Street	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7146	7146	Storm/Sanitary - Gravity Main	Beam Street	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7147	7147	Storm/Sanitary - Gravity Main	MacIntyre Lane	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7148	7148	Storm/Sanitary - Gravity Main	MacIntyre Lane	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7149	7149	Storm/Sanitary - Gravity Main	MacIntyre Lane	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7150	7150	Storm/Sanitary - Gravity Main	MacIntyre Lane	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7151	7151	Storm/Sanitary - Gravity Main	Mayberry Drive	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7152	7152	Storm/Sanitary - Gravity Main	Mayberry Drive	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7153	7153	Storm/Sanitary - Gravity Main	Mayberry Drive	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7154	7154	Storm/Sanitary - Gravity Main	Ritchie Drive	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7155	7155	Storm/Sanitary - Gravity Main	Ritchie Drive	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7156	7156	Storm/Sanitary - Gravity Main	Ritchie Drive	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7157	7157	Storm/Sanitary - Gravity Main	Ritchie Drive	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7158	7158	Storm/Sanitary - Gravity Main	Ritchie Drive	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7159	7159	Storm/Sanitary - Gravity Main	Ritchie Drive	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7160	7160	Storm/Sanitary - Gravity Main	Ritchie Drive	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7161	7161	Storm/Sanitary - Gravity Main	Jenkins Street	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7162	7162	Storm/Sanitary - Gravity Main	Ritchie Drive	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7163	7163	Storm/Sanitary - Gravity Main	Ritchie Drive	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7164	7164	Storm/Sanitary - Gravity Main	Hunt Street	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7165	7165	Storm/Sanitary - Gravity Main	Hunt Street	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7166	7166	Storm/Sanitary - Gravity Main	Stuckey Lane	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7167	7167	Storm/Sanitary - Gravity Main	Stuckey Lane	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94

Grand Valley  
Sanitary - Gravity Main Inventory

Current Levels of Service  
Replacement/Improvement Year Based on Current Levels Service

Expected Levels of Service + Town Input  
Replacement/Improvement Year Based on Expected Levels

Fixed Asset #		Subtype	Street Name	Risk of Failure	Numerical Value of Risk of Failure	Year Replacement due to minimal maintenance practices	Current Levels of Service % benefit	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score	Subsequent Replacement Year	Revised Remaining Useful Life	Proposed Rehabilitation Cost (2021 \$)	Year for Rehabilitation	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current + Condition better than expected for age	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life
					1.7							\$13,000							
7168	7168	Storm/Sanitary - Gravity Main	Stuckey Lane	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7169	7169	Storm/Sanitary - Gravity Main	Stuckey Lane	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7170	7170	Storm/Sanitary - Gravity Main	Stuckey Lane	L	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94



Grand Valley  
Sanitary - Pressurized Main Inventory

Fixed Asset #	Subtype	Asset Name	Street Name	Review Note	Street ID	FROM	TO	Diameter (mm)	Length (m)	Material	Install Year	Useful Life	Remaining Useful Life	Age	Historic Cost	2020 Accumulated Amortization Calculated	2020 Net Book Value Calculated	Replacement Cost	Condition Based On Useful Life	Condition from Town	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected Condition)	Consequence of Failure	Risk of Failure	Numerical Value of Risk of Failure
									1,427				91	9	547,025	28,703	518,322	941,500			8.8					2.0
4695	Sanitary - Pressurized Main	250mm PVC Pressurized WW Main from Emma St Old WWTP to New WWTP				Emma St Old WW Plant	New WW Treatment Plant	250	1,217	PVC	2013	100	93	7	\$470,000	\$23,888	\$446,112	\$820,000	9		9	Very Good	Rare	Major	M	2
4696	Sanitary - Pressurized Main	250mm PVC Pressurized WW Main inside Old WW Plant - Emma St				Inside Old WW Plant - Emma St	Connect to main line	250	5	PVC	2013	100	93	7	\$1,925	\$98	\$1,827	\$3,500	9		9	Very Good	Rare	Major	M	2
5338	Sanitary - Pressurized Main	250mm PVC Pressurized WW Main inside New WW Plant - Industrial Dr.				Inside New WW Plant	Internal to Plant	250	120	PVC	2013	100	93	7	\$46,200	\$2,348	\$43,852	\$80,000	9		9	Very Good	Rare	Major	M	2
5339	Sanitary - Pressurized Main	250mm PVC 133 Amaranth St pumping station to Manhole #15 (GIS ID 3052)	Amaranth St			133 Amaranth St	Manhole #15	100	85	PVC	1971	100	51	49	\$28,900	\$2,370	\$26,530	\$38,000	5		5	Average	Possible	Moderate	M	2

Grand Valley  
Sanitary - Pressurized Main Inventory

Fixed Asset #	Subtype	Asset Name	Current Levels of Service Replacement/Improvement Year Based on Current Levels Service							Expected Levels of Service + Town Input Replacement/Improvement Year Based on Expected Levels Service						
			Year Replacement due to minimal maintenance practices	Current Levels of Service % benefit	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score	Subsequent Replacement Year	Revised Remaining Useful Life	Proposed Rehabilitation Cost (2015 \$)	Year for Rehabilitation	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current + Condition better than expected for ann	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life
		250mm PVC Pressurized WW Main from Emma St Old WWTP to New WWTP														
4695	Sanitary - Pressurized Main	250mm PVC Pressurized WW Main inside Old WW Plant - Emma St	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
4696	Sanitary - Pressurized Main	250mm PVC Pressurized WW Main inside New WW Plant - Industrial Dr.	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
5338	Sanitary - Pressurized Main	250mm PVC 133 Amaranth St pumping station to Manhole #15 (GIS ID 3052)	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
5339	Sanitary - Pressurized Main	250mm PVC 133 Amaranth St pumping station to Manhole #15 (GIS ID 3052)	2061	10	2071	2071	2171	50				0	2071	2071	2171	50

Fixed Asset #	Subtype	Asset Name - Roads	From	To	Classification	Surface Material	Length (m)	# of Lanes	Total Lane (m)	Width (m)	Square meters (m)	Install Year	Old Useful Life	Useful Life	Remaining Useful Life	Age	Historic Cost	2020 Accumulated Amortization System	2020 Net Book Value System	Replacement Cost/Section 2022	Condition Based On Useful Life	Condition from Road Study	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected Condition)	Consequence of Failure	Risk of Failure
46	46	Roads - Road Section	Amaranth - East Luther Townline From: Concession Road 2-3 To: 328m N Of Concession Road 2-3	Concession Road 2-3	5 Sideroad	Rural	Asphalt	328.68	2	657.36	0	1985	20	25	0	36	\$30,092	\$18,796	\$11,296	\$49,302	0	10	10	Very Good	Rare	Moderate	L
3739	3739	Roads - Road Section	Amaranth - East Luther Townline From: County Road 10 To: Concession Road 6-7	County Road 10	94m North of County Rd 10	Rural	Asphalt	93.86	2	187.72	0	2005	20	25	9	16	\$13,497	\$10,123	\$3,374	\$14,079	4	10	10	Very Good	Rare	Moderate	L
1	1	Roads - Road Section	Concession Rd 2-3 From: East Luther - Wellington N Townline To: Sideroad 21-22	East Luther - Wellington N Townline	Sideroad 21-22	Rural	Asphalt	1857.72	2	3715.44	0	2005	20	25	9	16	\$268,097	\$80,662	\$187,435	\$278,658	4	9	9	Very Good	Rare	Moderate	L
26	26	Roads - Road Section	Concession Road 10-11 From: County Road 25 To: Amaranth - East Luther Townline	County Road 25	Amaranth - East Luther Townline	Rural	Asphalt	1282.21	2	2564.42	0	2008	20	25	12	13	\$162,503	\$55,697	\$106,806	\$192,332	5	10	10	Very Good	Rare	Moderate	L
85	85	Roads - Road Section	Concession Road 2-3 From: 162m East Of Bielby Street To: 277m East Of Bielby Street	162m East Of Bielby Street	277m East Of Bielby Street	Rural	Asphalt	115.64	2	231.28	0	1996	20	25	0	25	\$3,788	\$3,788	\$0	\$17,346	0	9	9	Very Good	Rare	Moderate	L
	112	Roads - Road Section	Concession Road 2-3 From: 453m East Of Bielby Street To: Amaranth - East Luther Townline	453m East Of Bielby Street	Amaranth - East Luther Townline	Rural	Asphalt	230.4	2	460.8	0	2022	20	25	26	-1	\$67,100	\$0	\$67,100	\$34,560	10	10	10	Very Good	Rare	Moderate	L
5527	43	Roads - Road Section	Concession Road 2-3 From: Sideroad 21-22 To: Sideroad 24-25	Sideroad 21-22	Sideroad 24-25	Rural	Asphalt	1800	2	3600	0	2018	20	25	22	3	\$165,871	\$16,587	\$149,284	\$270,000	9	10	10	Very Good	Rare	Moderate	L
102	102	Roads - Road Section	Concession Road 2-3 From: Sideroad 24-25 To: Sideroad 27-28	Sideroad 24-25	Sideroad 27-28	Rural	Asphalt	1870.92	2	3741.84	0	2003	20	25	7	18	\$126,752	\$73,379	\$53,373	\$280,638	3	10	10	Very Good	Rare	Moderate	L
7	7	Roads - Road Section	Concession Road 2-3 From: Sideroad 27-28 To: Sideroad 28-29	Sideroad 27-28	Sideroad 28-29	Rural	Asphalt	620.83	2	1241.66	0	2002	20	25	6	19	\$43,941	\$26,139	\$17,801	\$93,125	2	10	10	Very Good	Rare	Moderate	L
45	45	Roads - Road Section	Concession Road 2-3 From: Sideroad 28-29 To: Leeson Street	Sideroad 28-29	Leeson Street	Rural	Asphalt	983.01	2	1966.02	0	2002	20	25	6	19	\$55,987	\$36,736	\$19,251	\$147,452	2	10	10	Very Good	Rare	Moderate	L
3935	3935	Roads - Road Section	Concession Road 6-7 From: 1.38 Km E Of Sideroad 21-22 To: Sideroad 24-25	1.38 Km E Of Sideroad 21-22	Sideroad 24-25	Rural	Asphalt	445.29	2	890.58	0	2009	20	25	13	12	\$23,332	\$9,755	\$13,577	\$66,794	5	7	7	Good	Unlikely	Moderate	M
28	28	Roads - Road Section	Concession Road 6-7 From: County Road 25 To: 52m E Of County Road 25	County Road 25	52m E Of County Road 25	Rural	Asphalt	52.93	2	105.86	0	2022	20	25	26	-1	\$8,000	\$0	\$8,000	\$8,000	10		10	Very Good	Rare	Moderate	L
3940	3940	Roads - Road Section	Concession Road 6-7 From: Sideroad 24-25 To: Sideroad 27-28	Sideroad 24-25	Sideroad 27-28	Rural	Asphalt	1200.19	2	2400.38	0	2009	20	25	13	12	\$148,138	\$33,064	\$115,074	\$180,029	5	8	8	Good	Unlikely	Moderate	M
3941	3941	Roads - Road Section	Concession Road 6-7 From: Sideroad 24-25 To: Sideroad 27-28	Sideroad 24-25	Sideroad 27-28	Rural	Asphalt	642.09	2	1284.18	0	2009	20	25	13	12	\$23,582	\$12,970	\$10,612	\$96,314	5	10	10	Very Good	Rare	Moderate	L
	96	Roads - Road Section	Concession Road 6-7 From: Sideroad 27-28 To: County Road 25	Sideroad 27-28	County Road 25	Rural	Asphalt	1909.34	2	3818.68	0	2022	20	25	26	-1	\$200,000	\$0	\$200,000	\$286,401	10	10	10	Very Good	Rare	Moderate	L
29	29	Roads - Road Section	Concession Road 8-9 From: County Road 25 To: Amaranth - East Luther Townline	County Road 25	Amaranth - East Luther Townline	Rural	Asphalt	1160.08	2	2320.16	0	2007	20	25	11	14	\$186,143	\$42,737	\$143,406	\$174,012	4	10	10	Very Good	Rare	Moderate	L
31	31	Roads - Road Section	Concession Road 8-9 From: Sideroad 24-25 To: Sideroad 27-28	Sideroad 24-25	Sideroad 27-28	Rural	Asphalt	1681.11	2	3362.22	0	2006	20	25	10	15	\$83,368	\$58,358	\$25,010	\$252,167	4	4	4	Poor	Likely	Moderate	H
3736	3736	Roads - Road Section	Concession Road 8-9 From: Sideroad 24-25 To: Sideroad 27-28	Sideroad 24-25	Sideroad 27-28	Rural	Asphalt	150.33	2	300.66	0	2008	20	25	12	13	\$8,719	\$5,232	\$3,488	\$22,550	5	9	9	Very Good	Rare	Moderate	L
4344	4344	Roads - Road Section	Concession Road 8-9 From: Sideroad 27-28 To: County Road 25	Sideroad 27-28	County Road 25	Rural	Asphalt	1851.51	2	3703.02	0	2013	40	25	17	8	\$127,678	\$17,875	\$109,803	\$277,727	7	9	9	Very Good	Rare	Moderate	L
44	44	Roads - Road Section	Sideroad 27-28 From: 2.66 Km N Of Concession 6-7 To: Concession 8-9 (bridge)	2.66 Km N Of Concession 6-7	Concession 8-9 (bridge)	Rural	Asphalt	42.36	2	84.72	0	1993	20	25	0	28	\$1,286	\$1,286	\$0	\$6,354	0	7	7	Good	Unlikely	Moderate	M
124	124	Roads - Road Section	Sideroad 27-28 From: 37m N Of Concession Road 8-9 To: Concession 8-9	37m N Of Concession Road 8-9	Concession 8-9	Rural	Asphalt	37.74	2	75.48	0	1993	20	25	0	28	\$1,146	\$1,146	\$0	\$5,661	0	7	7	Good	Unlikely	Moderate	M
123	123	Roads - Road Section	Sideroad 27-28 From: Concession 8-9 To: Concession 8-9	Concession 8-9	Concession 8-9	Rural	Asphalt	70.06	2	140.12	0	1993	20	25	0	28	\$2,128	\$2,128	\$0	\$10,509	0	7	7	Good	Unlikely	Moderate	M
79	79	Roads - Road Section	Amaranth Street From: Crozier Street To: Pondsford Street	Crozier Street	Pondsford Street	Semi-Urb	Asphalt	60.95	2	121.9	0	1996	20	25	0	25	\$2,616	\$2,616	\$0	\$19,809	0	9	9	Very Good	Rare	Moderate	L
49	49	Roads - Road Section	Amaranth Street From: King Street To: Crozier Street	King Street	Crozier Street	Semi-Urb	Asphalt	37.33	2	74.66	0	1996	20	25	0	25	\$1,602	\$1,602	\$0	\$12,132	0	9	9	Very Good	Rare	Moderate	L
55	55	Roads - Road Section	Amaranth Street From: Leeson Street To: Emma Street	Leeson Street	Emma Street	Semi-Urb	Asphalt	119.04	2	238.08	0	1996	20	25	0	25	\$104,616	\$13,069	\$91,547	\$38,688	0	10	10	Very Good	Rare	Moderate	L
51	51	Roads - Road Section	Amaranth Street From: Main Street To: King Street	Main Street	King Street	Semi-Urb	Asphalt	105.35	2	210.7	0	1996	20	25	0	25	\$4,521	\$4,521	\$0	\$34,239	0	9	9	Very Good	Rare	Moderate	L
78	78	Roads - Road Section	Amaranth Street From: Pondsford Street To: Bielby Street	Pondsford Street	Bielby Street	Semi-Urb	Asphalt	247.82	2	495.64	0	1996	20	25	0	25	\$14,570	\$12,209	\$2,360	\$80,542	0	9	9	Very Good	Rare	Moderate	L
75	75	Roads - Road Section	Bielby Street From: Amaranth Street To: Gier Street	Amaranth Street	Gier Street	Semi-Urb	Asphalt	114.03	2	228.06	0	1995	20	25	0	26	\$4,803	\$4,803	\$0	\$37,060	0	6	6	Average	Possible	Moderate	M
143	143	Roads - Road Section	Bielby Street From: Gier Street To: Scott Street	Gier Street	Scott Street	Semi-Urb	Asphalt	131.7	2	263.4	0	1995	20	25	0	26	\$5,547	\$5,547	\$0	\$42,803	0	8	8	Good	Unlikely	Moderate	M
	17	Roads - Road Section	Concession Road 2-3 From: 277m East Of Bielby Street To: 453m East Of Bielby Street	277m East Of Bielby Street	453m East Of Bielby Street	Semi-Urb	Asphalt	176.61	2	353.22	0	2022	20	25	26	-1	\$60,035	\$0	\$60,035	\$57,398	10		10	Very Good	Rare	Moderate	L
24	24	Roads - Road Section	Concession Road 2-3 From: Bielby Street To: 162m East Of Bielby Street	Bielby Street	162m East Of Bielby Street	Semi-Urb	Asphalt	162.13	2	324.26	0	1996	20	25	0	25	\$6,958	\$6,958	\$0	\$52,692	0	8	8	Good	Unlikely	Moderate	M
39	39	Roads - Road Section	Cooper Street From: George Street To: Parkview Street	George Street	Parkview Street	Semi-Urb	Asphalt	100.73	2	201.46	0	2007	20	25	11	14	\$6,987	\$4,541	\$2,445	\$32,737	4	8	8	Good	Unlikely	Moderate	M
66	66	Roads - Road Section	Cooper Street From: Parkview Street To: End	Parkview Street	End	Semi-Urb	Asphalt	93.64	2	187.28	0	2007	20	25	11	14	\$6,495	\$4,222	\$2,273	\$30,433	4	8	8	Good	Unlikely	Moderate	M
34	34	Roads - Road Section	Cooper Street From: River Street To: George Street	River Street	George Street	Semi-Urb	Asphalt	232.33	2	464.66	0	2007	20	25	11	14	\$16,114	\$10,474	\$5,640	\$75,507	4	8	8	Good	Unlikely	Moderate	M

Fixed Asset #	Subtype	Asset Name - Roads	From	To	Classification	Surface Material	Length (m)	# of Lanes	Total Lane (m)	Width (m)	Square meters (m)	Install Year	Old Useful Life	Useful Life	Remaining Useful Life	Age	Historic Cost	2020 Accumulated Amortization System	2020 Net Book Value System	Replacement Cost/Section 2022	Condition Based On Useful Life	Condition from Road Study	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected Condition)	Consequence of Failure	Risk of Failure
8422	77	Roads - Road Section Crozier Street From: Amaranth Street To: Gier Street	Amaranth Street	Gier Street	Semi-Urb	Asphalt	116.74	2	233.48		0	2021	20	25	25	0	\$102,306	\$0	\$102,306	\$37,941	10	10	10	Very Good	Rare	Moderate	L
8423	105	Roads - Road Section Crozier Street From: Gier Street To: Webb Street	Gier Street	Webb Street	Semi-Urb	Asphalt	185.22	2	370.44		0	2021	20	25	25	0	\$161,984	\$0	\$161,984	\$60,197	10	10	10	Very Good	Rare	Moderate	L
141	141	Roads - Road Section Deaken Drive From: County Road 15 To: County Road 15	County Road 15	County Road 15	Semi-Urb	Asphalt	368.9	2	737.8		0	1986	20	25	0	35	\$56,192	\$43,513	\$12,678	\$119,893	0	10	10	Very Good	Rare	Moderate	L
80	80	Roads - Road Section Douglas Street From: Leeson Street To: Emma Street	Leeson Street	Emma Street	Semi-Urb	Asphalt	117.17	2	234.34		0	1995	20	25	0	26	\$4,935	\$4,935	\$0	\$38,080	0	7	7	Good	Unlikely	Moderate	M
3958	3958	Roads - Road Section East Back Lane	Mill Street	Amaranth Street	Semi-Urb	Asphalt	165.7044	1	165.7044		0	2010	20	25	14	11	\$20,037	\$10,019	\$10,019	\$53,854	6	9	9	Very Good	Rare	Moderate	L
82	82	Roads - Road Section Emma Street From: Amaranth Street To: Douglas Street	Amaranth Street	Douglas Street	Semi-Urb	Asphalt	222.12	2	444.24		0	1995	20	25	0	26	\$34,524	\$34,524	\$0	\$72,189	0	6	6	Average	Possible	Moderate	M
8421	54	Roads - Road Section Emma Street From: Mill Street To: Amaranth Street	Mill Street	Amaranth Street	Semi-Urb	Asphalt	170.27	2	340.54		0	2021	20	25	25	0	\$133,124	\$0	\$133,124	\$55,338	10	10	10	Very Good	Rare	Moderate	L
	107	Roads - Road Section Emma Street From: Water Street To: William Street	Water Street	William Street	Semi-Urb	Asphalt	290.45	2	580.9		0	2022	20	25	26	-1	\$62,500	\$0	\$62,500	\$94,396	10	6	6	Average	Possible	Moderate	M
61	61	Roads - Road Section Emma Street From: William Street To: Mill Street	William Street	Mill Street	Semi-Urb	Asphalt	170.53	2	341.06		0	1995	20	25	0	26	\$24,496	\$24,496	\$0	\$55,422	0	7	7	Good	Unlikely	Moderate	M
109	109	Roads - Road Section Fife Road From: Crozier Street To: Mary Court	Crozier Street	Mary Court	Semi-Urb	Asphalt	88.37	2	176.74		0	1972	20	25	0	49	\$1,072	\$1,072	\$0	\$28,720	0	9	9	Very Good	Rare	Moderate	L
110	110	Roads - Road Section Fife Road From: Joyce Court To: Crozier Street	Joyce Court	Crozier Street	Semi-Urb	Asphalt	94.37	2	188.74		0	1972	20	25	0	49	\$1,145	\$1,145	\$0	\$30,670	0	9	9	Very Good	Rare	Moderate	L
19	19	Roads - Road Section Fife Road From: Main Street To: Joyce Court	Main Street	Joyce Court	Semi-Urb	Asphalt	63.94	2	127.88		0	1972	20	25	0	49	\$776	\$776	\$0	\$20,781	0	9	9	Very Good	Rare	Moderate	L
3	3	Roads - Road Section Fife Road From: Mary Court To: End (cul-de-sac)	Mary Court	End (cul-de-sac)	Semi-Urb	Asphalt	143.99	2	287.98		0	1972	20	25	0	49	\$1,747	\$1,747	\$0	\$46,797	0	9	9	Very Good	Rare	Moderate	L
38	38	Roads - Road Section George Street From: George Street To: End	Cooper Street	End	Semi-Urb	Asphalt	50.42	2	100.84		0	2007	20	25	11	14	\$3,497	\$2,273	\$1,224	\$16,387	4	9	9	Very Good	Rare	Moderate	L
40	40	Roads - Road Section George Street From: Main Street To: Cooper Street	Main Street	Cooper Street	Semi-Urb	Asphalt	110.2	2	220.4		0	2007	20	25	11	14	\$7,643	\$4,968	\$2,675	\$35,815	4	9	9	Very Good	Rare	Moderate	L
76	76	Roads - Road Section Gier Street From: Crozier Street To: Bielby Street	Crozier Street	Bielby Street	Semi-Urb	Asphalt	306.62	2	613.24		0	1995	20	25	0	26	\$17,781	\$14,861	\$2,920	\$99,652	0	9	9	Very Good	Rare	Moderate	L
87	87	Roads - Road Section Joyce Court From: Fife Road To: End (cul-de-sac)	Fife Road	End (cul-de-sac)	Semi-Urb	Asphalt	62.95	2	125.9		0	1972	20	25	0	49	\$764	\$764	\$0	\$20,459	0	8	8	Good	Unlikely	Moderate	M
50	50	Roads - Road Section King Street From: Mill Street To: Amaranth Street	Mill Street	Amaranth Street	Semi-Urb	Asphalt	165.07	2	330.14		0	1995	20	25	0	26	\$120,053	\$25,048	\$95,005	\$53,648	0	10	10	Very Good	Rare	Moderate	L
113	113	Roads - Road Section Leeson Street From: 175m S Of Mill Street To: Mill Street	175m S Of Mill Street	Mill Street	Semi-Urb	Asphalt	722.53	2	1445.06		0	1993	20	25	0	28	\$28,752	\$28,752	\$0	\$234,822	0	6	6	Average	Possible	Moderate	M
81	81	Roads - Road Section Leeson Street From: Amaranth Street To: Douglas Street	Amaranth Street	Douglas Street	Semi-Urb	Asphalt	221.87	2	443.74		0	1993	20	25	0	28	\$8,829	\$8,829	\$0	\$72,108	0	6	6	Average	Possible	Moderate	M
56	56	Roads - Road Section Leeson Street From: Mill Street To: Amaranth Street	Mill Street	Amaranth Street	Semi-Urb	Asphalt	169.79	2	339.58		0	1993	20	25	0	28	\$6,756	\$6,756	\$0	\$55,182	0	9	9	Very Good	Rare	Moderate	L
121	121	Roads - Road Section Lower Crozier Street From: Gier Street To: End	Gier Street	End	Semi-Urb	Asphalt	108.78	2	217.56		0	1995	20	25	0	26	\$4,581	\$4,581	\$0	\$35,354	0	9	9	Very Good	Rare	Moderate	L
41	41	Roads - Road Section Main Street From: George Street To: Parkview Street	George Street	Parkview Street	Semi-Urb	Asphalt	100.5	2	201		0	2022	20	25	26	-1	\$38,715	\$0	\$38,715	\$32,663	10	6	6	Average	Possible	Moderate	M
11	11	Roads - Road Section Main Street From: Parkview Street To: End	Parkview Street	End	Semi-Urb	Asphalt	108.93	2	217.86		0	1995	20	25	0	26	\$4,588	\$4,588	\$0	\$35,402	0	6	6	Average	Possible	Moderate	M
36	36	Roads - Road Section Main Street From: River Street To: George Street	River Street	George Street	Semi-Urb	Asphalt	171.37	2	342.74		0	2022	20	25	26	-1	\$67,751	\$0	\$67,751	\$55,695	10	6	6	Average	Possible	Moderate	M
86	86	Roads - Road Section Main Street From: Spruyt Avenue To: Fife Road	Spruyt Avenue	Fife Road	Semi-Urb	Asphalt	155.21	2	310.42		0	2000	20	25	4	21	\$7,642	\$7,642	\$0	\$50,443	2	8	8	Good	Unlikely	Moderate	M
32	32	Roads - Road Section Main Street From: Water Street To: River Street	Water Street	River Street	Semi-Urb	Asphalt	80.06	2	160.12		0	1995	20	25	0	26	\$3,372	\$3,372	\$0	\$26,020	0	6	6	Average	Possible	Moderate	M
20	20	Roads - Road Section Mary Court From: Fife Road To: End (cul-de-sac)	Fife Road	End (cul-de-sac)	Semi-Urb	Asphalt	53.41	2	106.82		0	1972	20	25	0	49	\$648	\$648	\$0	\$17,358	0	8	8	Good	Unlikely	Moderate	M
23	23	Roads - Road Section Mill Street From: Emma Street To: Main Street	Emma Street	Main Street	Semi-Urb	Asphalt	140.68	2	281.36		0	1997	20	25	1	24	\$7,899	\$7,899	\$0	\$45,721	0	8	8	Good	Unlikely	Moderate	M
10	10	Roads - Road Section Mill Street From: King Street To: Pondsford Street	King Street	Pondsford Street	Semi-Urb	Asphalt	98.02	2	196.04		0	1995	20	25	0	26	\$4,128	\$4,128	\$0	\$31,857	0	9	9	Very Good	Rare	Moderate	L
62	62	Roads - Road Section Mill Street From: Leeson Street To: Emma Street	Leeson Street	Emma Street	Semi-Urb	Asphalt	116.82	2	233.64		0	1997	20	25	1	24	\$5,118	\$5,118	\$0	\$37,967	0	9	9	Very Good	Rare	Moderate	L
91	91	Roads - Road Section Mill Street From: Leeson Street To: End	Leeson Street	End	Semi-Urb	Asphalt	36.99	2	73.98		0	1997	20	25	1	24	\$18,873	\$3,437	\$15,436	\$12,022	0	10	10	Very Good	Rare	Moderate	L
22	22	Roads - Road Section Mill Street From: Main Street To: King Street	Main Street	King Street	Semi-Urb	Asphalt	105.63	2	211.26		0	1995	20	25	0	26	\$4,449	\$4,449	\$0	\$34,330	0	8	8	Good	Unlikely	Moderate	M
3796	3796	Roads - Road Section Mount Haven Crescent From: County Road 25 To: County Road 25	County Road 25	County Road 25	Semi-Urb	Asphalt	995.52	2	1991.04		0	1995	20	25	0	26	\$63,008	\$63,008	\$0	\$323,544	0	9	9	Very Good	Rare	Moderate	L
42	42	Roads - Road Section Park View Street From: Main Street To: Cooper Street	Main Street	Cooper Street	Semi-Urb	Asphalt	109.47	2	218.94		0	2007	20	25	11	14	\$7,593	\$4,936	\$2,658	\$35,578	4	9	9	Very Good	Rare	Moderate	L
111	111	Roads - Road Section Pondsford Street From: Mill Street To: Amaranth Street	Mill Street	Amaranth Street	Semi-Urb	Asphalt	162.72	2	325.44		0	1995	20	25	0	26	\$6,853	\$6,853	\$0	\$52,884	0	9	9	Very Good	Rare	Moderate	L
63	63	Roads - Road Section River Street From: Cooper Street To: End	Cooper Street	End	Semi-Urb	Asphalt	98.61	2	197.22		0	1995	20	25	0	26	\$10,929	\$10,929	\$0	\$32,048	0	8	8	Good	Unlikely	Moderate	M
35	35	Roads - Road Section River Street From: Main Street To: Cooper Street	Main Street	Cooper Street	Semi-Urb	Asphalt	120.29	2	240.58		0	2007	20	25	11	14	\$8,344	\$5,423	\$2,920	\$39,094	4	8	8	Good	Unlikely	Moderate	M
21	21	Roads - Road Section Scott Street From: Bielby Street To: End (west)	Bielby Street	End (west)	Semi-Urb	Asphalt	263.25	2	526.5		0	2022	20	25	26	-1	\$145,600	\$0	\$145,600	\$85,556	10	4	4	Poor	Likely	Moderate	H

Fixed Asset #	Subtype	Asset Name - Roads	From	To	Classification	Surface Material	Length (m)	# of Lanes	Total Lane (m)	Width (m)	Square meters (m)	Install Year	Old Useful Life	Useful Life	Remaining Useful Life	Age	Historic Cost	2020 Accumulated Amortization System	2020 Net Book Value System	Replacement Cost/Section 2022	Condition Based On Useful Life	Condition from Road Study	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected Condition)	Consequence of Failure	Risk of Failure
115	115	Roads - Road Section Water Street From: Melody Lane To: Emma Street	Melody Lane	Emma Street	Semi-Urb	Asphalt	406.52	2	813.04		0	1995	20	25	0	26	\$17,121	\$17,121	\$0	\$132,119	0	9	9	Very Good	Rare	Moderate	L
4062	4062	Roads - Road Section Watson Road: County Rd 25 to WWTP	County Road 25	New WWTP	Semi-Urb	Asphalt	277	2	554		0	2011	20	25	15	10	\$25,730	\$11,579	\$14,152	\$90,025	6	10	10	Very Good	Rare	Moderate	L
127	127	Roads - Road Section Webb Street From: Main Street To: Crozier Street	Main Street	Crozier Street	Semi-Urb	Asphalt	139.37	2	278.74		0	1986	20	25	0	35	\$4,427	\$4,427	\$0	\$45,295	0	9	9	Very Good	Rare	Moderate	L
130	130	Roads - Road Section West Bank Alley From: Mill Street To: Amaranth Street	Mill Street	Amaranth Street	Semi-Urb	Asphalt	168.89	2	337.78		0	2004	20	25	8	17	\$9,769	\$7,815	\$1,954	\$54,889	3	6	6	Average	Possible	Moderate	M
142	142	Roads - Road Section William Street From: Emma Street To: Water Street	Emma Street	Water Street	Semi-Urb	Asphalt	77.07	2	154.14		0	1995	20	25	0	26	\$3,246	\$3,246	\$0	\$25,048	0	10	10	Very Good	Rare	Moderate	L
4441	4441	Roads - Road Section AMARANTH STREET FR:EMMA TO:MAIN	EMMA STREET	MAIN STREET	Urban	Asphalt	126.5	2	253		0	2014	20	25	18	7	\$90,974	\$27,292	\$63,682	\$50,600	7	10	10	Very Good	Rare	Moderate	L
5625	90	Roads - Road Section Baker Court From: Crozier Street To: End	Crozier Street	End	Urban	Asphalt	44.72	2	89.44		0	2019	20	25	23	2	\$30,986	\$1,239	\$29,747	\$17,888	9	10	10	Very Good	Rare	Moderate	L
7391	7391	Roads - Road Section Beam Street	Amaranth Street	Hillborne Street	Urban	Asphalt	125.8	2	251.6		0	2015	20	25	19	6	\$26,392	\$0	\$26,392	\$50,320	8	10	10	Very Good	Rare	Moderate	L
7392	7392	Roads - Road Section Beam Street	Hillborne Street	Macintyre Lane	Urban	Asphalt	85.1	2	170.2		0	2015	20	25	19	6	\$17,177	\$0	\$17,177	\$34,040	8	10	10	Very Good	Rare	Moderate	L
7393	7393	Roads - Road Section Beam Street	Macintyre Lane	End	Urban	Asphalt	41.3	2	82.6		0	2015	20	25	19	6	\$8,342	\$0	\$8,342	\$16,520	8	10	10	Very Good	Rare	Moderate	L
5623	88	Roads - Road Section Crozier Street From: Baker Court To: Spruyt Avenue	Baker Court	Spruyt Avenue	Urban	Asphalt	91.09	2	182.18		0	2019	20	25	23	2	\$34,196	\$1,368	\$32,828	\$36,436	9	10	10	Very Good	Rare	Moderate	L
5622	108	Roads - Road Section Crozier Street From: Spruyt Avenue To: Fife Road	Spruyt Avenue	Fife Road	Urban	Asphalt	156.97	2	313.94		0	2019	20	25	23	2	\$58,997	\$2,360	\$56,637	\$62,788	9	10	10	Very Good	Rare	Moderate	L
5624	18	Roads - Road Section Crozier Street From: Webb Street To: Baker Court	Webb Street	Baker Court	Urban	Asphalt	106.04	2	212.08		0	2019	20	25	23	2	\$39,833	\$1,593	\$38,239	\$42,416	9	10	10	Very Good	Rare	Moderate	L
7390	7390	Roads - Road Section Hillborne Street	Beam Street	Mayberry Drive	Urban	Asphalt	304.3	2	608.6		0	2015	20	25	19	6	\$61,413	\$0	\$61,413	\$121,720	8	10	10	Very Good	Rare	Moderate	L
7396	7396	Roads - Road Section Hunt Street	Stuckey Lane	Ritchie Drive	Urban	Asphalt	152.9	2	305.8		0	2015	20	25	19	6	\$30,863	\$0	\$30,863	\$61,160	8	10	10	Very Good	Rare	Moderate	L
12	12	Roads - Road Section Leeson Street From: Melody Lane To: 175 M.S. Of Mill Street	Melody Lane	175 M.S. Of Mill Street	Urban	Asphalt	98.4	2	196.8		0	1993	20	25	0	28	\$5,478	\$4,540	\$937	\$39,360	0	9	9	Very Good	Rare	Moderate	L
7389	7389	Roads - Road Section Macintyre Lane	Beam Street	Mayberry Drive	Urban	Asphalt	241.9	2	483.8		0	2015	20	25	19	6	\$48,812	\$0	\$48,812	\$96,760	8	10	10	Very Good	Rare	Moderate	L
48	48	Roads - Road Section Main Street From: Amaranth Street To: Webb Street	Amaranth Street	Webb Street	Urban	Asphalt	310.1	2	620.2		0	2000	20	25	4	21	\$15,269	\$15,269	\$0	\$124,040	2	9	9	Very Good	Rare	Moderate	L
52	52	Roads - Road Section Main Street From: Mill Street To: Amaranth Street	Mill Street	Amaranth Street	Urban	Asphalt	164.43	2	328.86		0	1995	20	25	0	26	\$6,925	\$6,925	\$0	\$65,772	0	9	9	Very Good	Rare	Moderate	L
57	57	Roads - Road Section Main Street From: Water Street To: Mill Street	Water Street	Mill Street	Urban	Asphalt	132.7	2	265.4		0	1995	20	25	0	26	\$5,589	\$5,589	\$0	\$53,080	0	9	9	Very Good	Rare	Moderate	L
16	16	Roads - Road Section Main Street From: Webb Street To: Spruyt Avenue	Webb Street	Spruyt Avenue	Urban	Asphalt	192.04	2	384.08		0	2000	20	25	4	21	\$9,456	\$9,456	\$0	\$76,816	2	8	8	Good	Unlikely	Moderate	M
7386	7386	Roads - Road Section Mayberry Drive	Amaranth Street	Hillborne Street	Urban	Asphalt	131.2	2	262.4		0	2015	20	25	19	6	\$26,482	\$0	\$26,482	\$52,480	8	10	10	Very Good	Rare	Moderate	L
7387	7387	Roads - Road Section Mayberry Drive	Hillborne Street	Macintyre Lane	Urban	Asphalt	112.5	2	225		0	2015	20	25	19	6	\$22,705	\$0	\$22,705	\$45,000	8	10	10	Very Good	Rare	Moderate	L
7388	7388	Roads - Road Section Mayberry Drive	Macintyre Lane	End	Urban	Asphalt	57.5	2	115		0	2015	20	25	19	6	\$11,598	\$0	\$11,598	\$23,000	8	10	10	Very Good	Rare	Moderate	L
5569	5569	Roads - Road Section Melody Lane From: Development Phase 1 to Taylor Drive	Development Phase 1	Taylor Drive	Urban	Asphalt	60	2			0	2017	20	25	21	4	\$6,594	\$287	\$6,307	\$24,000	8	10	10	Very Good	Rare	Moderate	L
15	15	Roads - Road Section Melody Lane From: Leeson Street To: Development Phase 1	Leeson Street	Development Phase 1	Urban	Asphalt	101.32	2	202.64		0	1993	20	25	0	28	\$9,602	\$4,618	\$4,984	\$40,528	0	10	10	Very Good	Rare	Moderate	L
14	14	Roads - Road Section Melody Lane From: Water Street To: Leeson Street	Water Street	Leeson Street	Urban	Asphalt	152.39	2	304.78		0	1993	20	25	0	28	\$6,064	\$6,064	\$0	\$60,956	0	9	9	Very Good	Rare	Moderate	L
13	13	Roads - Road Section Monty Avenue From: Leeson Street To: End	Leeson Street	End	Urban	Asphalt	75.4	2	150.8		0	1993	20	25	0	28	\$8,536	\$3,583	\$4,952	\$30,160	0	10	10	Very Good	Rare	Moderate	L
7395	7395	Roads - Road Section Ritchie Drive	Hunt Street	End	Urban	Asphalt	88.9	2	177.8		0	2015	20	25	19	6	\$17,944	\$0	\$17,944	\$35,560	8	10	10	Very Good	Rare	Moderate	L
7394	7394	Roads - Road Section Ritchie Drive	Mayberry Drive	Struckey Lane	Urban	Asphalt	237.9	2	475.8		0	2015	20	25	19	6	\$48,018	\$0	\$48,018	\$95,160	8	10	10	Very Good	Rare	Moderate	L
8418	8418	Roads - Road Section Scott Street: from Bielby Street to East End	Bielby Street	East End	Urban	Asphalt	60	2	120	8	480	2022	20	25	26	-1	\$47,742	\$0	\$47,742	\$24,000	10	8	8	Good	Unlikely	Moderate	M
89	89	Roads - Road Section Spruyt Avenue From: Main Street To: Crozier Street	Main Street	Crozier Street	Urban	Asphalt	155.15	2	310.3		0	1972	20	25	0	49	\$1,883	\$1,883	\$0	\$62,060	0	10	10	Very Good	Rare	Moderate	L
7397	7397	Roads - Road Section Stuckey Lane	Ritchie Drive	Hunt Street	Urban	Asphalt	207	2	414		0	2015	20	25	19	6	\$41,770	\$0	\$41,770	\$82,800	8	10	10	Very Good	Rare	Moderate	L
5575	5575	Roads - Road Section Taylor Drive at Mill Street Round About - N/E Section	Mill Street Round About	Mill Street Round About	Urban	Asphalt	10	2			0	2017	20	25	21	4	\$1,178	\$51	\$1,126	\$4,000	8	10	10	Very Good	Rare	Moderate	L
5576	5576	Roads - Road Section Taylor Drive at Mill Street Round About - N/W Section	Mill Street Round About	Mill Street Round About	Urban	Asphalt	10	2			0	2017	20	25	21	4	\$1,178	\$51	\$1,126	\$4,000	8	10	10	Very Good	Rare	Moderate	L
5574	5574	Roads - Road Section Taylor Drive at Mill Street Round About - S/E Section	Mill Street Round About	Mill Street Round About	Urban	Asphalt	10	2			0	2017	20	25	21	4	\$1,178	\$51	\$1,126	\$4,000	8	10	10	Very Good	Rare	Moderate	L
5577	5577	Roads - Road Section Taylor Drive at Mill Street Round About - S/W Section	Mill Street Round About	Mill Street Round About	Urban	Asphalt	10	2			0	2017	20	25	21	4	\$1,178	\$51	\$1,126	\$4,000	8	10	10	Very Good	Rare	Moderate	L
5570	5570	Roads - Road Section Taylor Drive From Melody Lane to Monty Avenue	Melody Lane	Monty Avenue	Urban	Asphalt	89.4	2			0	2017	20	25	21	4	\$10,528	\$458	\$10,070	\$35,760	8	10	10	Very Good	Rare	Moderate	L
5578	5578	Roads - Road Section Taylor Drive from Mill Street Round About to Amaranth Street	Mill Street Round About	Amaranth Street	Urban	Asphalt	141.2	2			0	2017	20	25	21	4	\$16,627	\$723	\$15,904	\$56,480	8	10	10	Very Good	Rare	Moderate	L

Fixed Asset #	Subtype	Asset Name - Roads	From	To	Classification	Surface Material	Length (m)	# of Lanes	Total Lane (m)	Width (m)	Square meters (m)	Install Year	Old Useful Life	Useful Life	Remaining Useful Life	Age	Historic Cost	2020 Accumulated Amortization System	2020 Net Book Value System	Replacement Cost/Section 2022	Condition Based On Useful Life	Condition from Road Study	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected Condition)	Consequence of Failure	Risk of Failure
5571	5571	Roads - Road Section Taylor Drive from Montey Avenue to No Road Name	Monty Avenue	No Road Name	Urban	Asphalt	220	2			0	2017	20	25	21	4	\$25,907	\$1,126	\$24,781	\$88,000	8	10	10	Very Good	Rare	Moderate	L
5572	5572	Roads - Road Section Taylor Drive from No Road Name to Park	No Road Name	Park	Urban	Asphalt	271.1	2			0	2017	20	25	21	4	\$31,924	\$1,388	\$30,536	\$108,440	8	10	10	Very Good	Rare	Moderate	L
5573	5573	Roads - Road Section Taylor Drive from Park to Mill Street	Park	Mill Street Round About	Urban	Asphalt	233.4	2			0	2017	20	25	21	4	\$27,485	\$1,195	\$26,290	\$93,360	8	10	10	Very Good	Rare	Moderate	L
59	59	Roads - Road Section Water Street From: 173167 (county Road 25) To: 173173 (melody Lane)	173167 (county Road 25)	173173 (melody Lane)	Urban	Asphalt	131.81	2	263.62		0	1995	20	25	0	26	\$39,943	\$12,429	\$27,513	\$52,724	0	8	8	Good	Unlikely	Moderate	M
114	114	Roads - Road Section Water Street From: Emma Street To: William Street	Emma Street	William Street	Urban	Asphalt	309.49	2	618.98		0	1995	20	25	0	26	\$13,035	\$13,035	\$0	\$123,796	0	9	9	Very Good	Rare	Moderate	L
33	33	Roads - Road Section Water Street From: William Street To: Main Street	William Street	Main Street	Urban	Asphalt	77.09	2	154.18		0	1995	20	25	0	26	\$6,255	\$4,751	\$1,504	\$30,836	0	9	9	Very Good	Rare	Moderate	L
4055	4055	Roads - Road Section Amaranth - East Luther Townline	County Road 109	Concession Road 2-3	Rural	Gravel	2717.766	2	5435.532		0	2011		4	0	10	\$40,507	\$26,940	\$13,567	\$19,024	0	5	5	Average	Possible	Minor	M
4323	4323	Roads - Road Section Amaranth - East Luther Townline	5 Sideroad (Amaranth)	County Road 10	Rural	Gravel	2458.6	2	4917.2		0	2012		4	0	9	\$12,773	\$7,724	\$5,050	\$17,210	0		0	Very Poor	Almost Certain	Minor	H
4324	4324	Roads - Road Section Amaranth - East Luther Townline	Concession Road 6-7	15 Sideroad (Amaranth)	Rural	Gravel	1046.8	2	2093.6		0	2012		4	0	9	\$8,765	\$3,591	\$5,173	\$7,328	0		0	Very Poor	Almost Certain	Minor	H
4327	4327	Roads - Road Section Amaranth - East Luther Townline	94m North of County Road 10	Concession Road 6-7	Rural	Gravel	2011.8	2	4023.6		0	2012		4	0	9	\$15,216	\$6,500	\$8,715	\$14,083	0		0	Very Poor	Almost Certain	Minor	H
3960	3960	Roads - Road Section Concession Road 12-13	East Luther - Wellington N Townline	Sideroad 21-22	Rural	Gravel	1844.526	2	3689.052		0	2010		4	0	11	\$6,961	\$6,961	\$0	\$12,912	0	5	5	Average	Possible	Minor	M
3961	3961	Roads - Road Section Concession Road 12-13	Sideroad 24-25	Sideroad 27-28	Rural	Gravel	1801.589	2	3603.178		0	2010		4	0	11	\$24,765	\$24,765	\$0	\$12,611	0	5	5	Average	Possible	Minor	M
4395	4395	Roads - Road Section CONCESSION ROAD 12-13	SIDEROAD 21-22	SIDEROAD 24-25	Rural	Gravel	1784.248	2	3568.496		0	2014		4	0	7	\$6,132	\$6,132	\$0	\$12,490	0		0	Very Poor	Almost Certain	Minor	H
4396	4396	Roads - Road Section CONCESSION ROAD 12-13	SIDEROAD 27-28	COUNTY ROAD 25	Rural	Gravel	1857.805	2	3715.61		0	2014		4	0	7	\$6,386	\$6,386	\$0	\$13,005	0		0	Very Poor	Almost Certain	Minor	H
4336	4336	Roads - Road Section Concession Road 12-13 From: County Road 25 To: Amaranth - East Luther Townline	County Road 25	Amaranth - East Luther Townline	Rural	Gravel	1286.26	2	2572.52		0	2013		8	0	8	\$12,086	\$10,575	\$1,511	\$9,004	0		0	Very Poor	Almost Certain	Minor	H
25	25	Roads - Road Section Concession Road 3-4 From: Sideroad 27-28 To: County Road 25	Sideroad 27-28	County Road 25	Rural	Gravel	1856.52	2	3713.04		0	2005		4	0	16	\$14,809	\$13,930	\$879	\$12,996	0	5	5	Average	Possible	Minor	M
3956	3956	Roads - Road Section Concession Road 4-5	Sideroad 24-25	Sideroad 27-28	Rural	Gravel	1860.557	2	3721.114		0	2010		4	0	11	\$7,333	\$7,333	\$0	\$13,024	0	5	5	Average	Possible	Minor	M
3957	3957	Roads - Road Section Concession Road 4-5	Sideroad 27-28	County Road 25	Rural	Gravel	1877.562	2	3755.124		0	2010		4	0	11	\$23,724	\$12,226	\$11,498	\$13,143	0	5	5	Average	Possible	Minor	M
125	125	Roads - Road Section Concession Road 4-5 From: Sideroad 24-25 To: End (west)	Sideroad 24-25	End (west)	Rural	Gravel	585.42	2	1170.84		0	2005		4	0	16	\$3,382	\$3,382	\$0	\$4,098	0	5	5	Average	Possible	Minor	M
3967	3967	Roads - Road Section Concession Road 6-7	Sideroad 21-22	1.38 Km E Of Sideroad 21-22	Rural	Gravel	1379.408	2	2758.816		0	2010		4	0	11	\$8,674	\$8,674	\$0	\$9,656	0	5	5	Average	Possible	Minor	M
4320	4320	Roads - Road Section Concession Road 6-7	County Road 25	Amaranth - East Luther Townline	Rural	Gravel	990.2	2	1980.4		0	2012		4	0	9	\$6,759	\$3,521	\$3,238	\$6,931	0		0	Very Poor	Almost Certain	Minor	H
30	30	Roads - Road Section Concession Road 8-9 From: Sideroad 21-22 To: Sideroad 24-25	Sideroad 21-22	Sideroad 24-25	Rural	Gravel	1810.95	2	3621.9		0	2008		4	0	13	\$21,520	\$20,586	\$934	\$12,677	0	5	5	Average	Possible	Minor	M
4318	4318	Roads - Road Section East Luther - Wellington N. Townline	Concession Road 2-3	End	Rural	Gravel	2712.7	2	5425.4		0	2012		4	0	9	\$15,205	\$8,830	\$6,374	\$18,989	0		0	Very Poor	Almost Certain	Minor	H
4319	4319	Roads - Road Section East Luther - Wellington N. Townline	County Road 109	Concession Road 2-3	Rural	Gravel	2752.4	2	5504.8		0	2012		4	0	9	\$15,317	\$8,868	\$6,449	\$19,267	0		0	Very Poor	Almost Certain	Minor	H
5	5	Roads - Road Section East Luther - Wellington N. Townline From: Concession Road 12-13 To: Highway 89	Concession Road 12-13	Highway 89	Rural	Gravel	2741.15	2	5482.3		0	2008		4	0	13	\$9,594	\$9,594	\$0	\$19,188	0	5	5	Average	Possible	Minor	M
4	4	Roads - Road Section East Luther - Wellington N. Townline From: County Road 15 To: Concession Road 12-13	County Road 15	Concession Road 12-13	Rural	Gravel	2745.04	2	5490.08		0	2008		4	0	13	\$9,608	\$9,608	\$0	\$19,215	0	5	5	Average	Possible	Minor	M
3966	3966	Roads - Road Section Sideroad 21-22	Concession Road 6-7	Concession Road 8-9	Rural	Gravel	2721.277	2	5442.554		0	2010		4	0	11	\$16,657	\$16,657	\$0	\$19,049	0	5	5	Average	Possible	Minor	M
4326	4326	Roads - Road Section Sideroad 21-22	Concession Road 2-3	End	Rural	Gravel	1432.3	2	2864.6		0	2012		4	0	9	\$10,684	\$6,437	\$4,247	\$10,026	0		0	Very Poor	Almost Certain	Minor	H
4328	4328	Roads - Road Section Sideroad 21-22	County Road 109	Concession Road 2-3	Rural	Gravel	2754.2	2	5508.4		0	2012		4	0	9	\$20,874	\$10,730	\$10,145	\$19,279	0		0	Very Poor	Almost Certain	Minor	H
4393	4393	Roads - Road Section SIDEROAD 21-22	CONCESSION ROAD 8-9	COUNTY ROAD 15	Rural	Gravel	2725.91	2	5451.82		0	2014		4	0	7	\$15,824	\$11,050	\$4,774	\$19,081	0		0	Very Poor	Almost Certain	Minor	H
4394	4394	Roads - Road Section SIDEROAD 21-22	COUNTY ROAD 15	CONCESSION ROAD 12-13	Rural	Gravel	2750.612	2	5501.224		0	2014		4	0	7	\$20,242	\$9,271	\$10,972	\$19,254	0		0	Very Poor	Almost Certain	Minor	H
4338	4338	Roads - Road Section Sideroad 21-22 From: Concession Road 12-13 To: Highway 89	Concession Road 12-13	Highway 89	Rural	Gravel	2729	2	5458		0	2013		4	0	8	\$6,406	\$5,605	\$801	\$19,103	0		0	Very Poor	Almost Certain	Minor	H
4054	4054	Roads - Road Section Sideroad 24-25	Concession Road 12-13	Highway 89	Rural	Gravel	2718.661	2	5437.322		0	2011		4	0	10	\$36,794	\$36,794	\$0	\$19,031	0	5	5	Average	Possible	Minor	M
4057	4057	Roads - Road Section Sideroad 24-25	Concession Road 2-3	Concession Road 4-5	Rural	Gravel	2724.095	2	5448.19		0	2011		4	0	10	\$26,895	\$26,895	\$0	\$19,069	0	5	5	Average	Possible	Minor	M
4059	4059	Roads - Road Section Sideroad 24-25	Concession Road 8-9	County Road 15	Rural	Gravel	2721.797	2	5443.594		0	2011		4	0	10	\$38,249	\$24,383	\$13,865	\$19,053	0	5	5	Average	Possible	Minor	M
4060	4060	Roads - Road Section Sideroad 24-25	Concession Road 4-5	Concession Road 6-7	Rural	Gravel	2749.226	2	5498.452		0	2011		4	0	10	\$20,833	\$20,833	\$0	\$19,245	0	5	5	Average	Possible	Minor	M
4061	4061	Roads - Road Section Sideroad 24-25	Concession Road 6-7	Concession Road 8-9	Rural	Gravel	2724.835	2	5449.67		0	2011		4	0	10	\$32,897	\$26,533	\$6,364	\$19,074	0	5	5	Average	Possible	Minor	M
4392	4392	Roads - Road Section SIDEROAD 24-25	COUNTY ROAD 109	CONCESSION ROAD 2-3	Rural	Gravel	2746.344	2	5492.688		0	2014		4	0	7	\$6,765	\$4,170	\$2,594	\$19,224	0		0	Very Poor	Almost Certain	Minor	H

Fixed Asset #	Subtype	Asset Name - Roads	From	To	Classification	Surface Material	Length (m)	# of Lanes	Total Lane (m)	Width (m)	Square meters (m)	Install Year	Old Useful Life	Useful Life	Remaining Useful Life	Age	Historic Cost	2020 Accumulated Amortization System	2020 Net Book Value System	Replacement Cost/Section 2022	Condition Based On Useful Life	Condition from Road Study	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected Condition)	Consequence of Failure	Risk of Failure
4058	Roads - Road Section	Sideroad 24-25 from 15 to 12/13	County Road 15	Concession Road 12-13	Rural	Gravel	2742.559	2	5485.118		0	2011		4	0	10	\$26,761	\$26,761	\$0	\$19,198	0	5	5	Average	Possible	Minor	M
3955	Roads - Road Section	Sideroad 27-28	37m N Of Concession Road 8-9	County Road 15	Rural	Gravel	2629.004	2	5258.008		0	2010		4	0	11	\$17,365	\$13,643	\$3,722	\$18,403	0	5	5	Average	Possible	Minor	M
3959	Roads - Road Section	Sideroad 27-28	Concession Road 12-13	Highway 89	Rural	Gravel	2723.591	2	5447.182		0	2010		4	0	11	\$24,384	\$20,528	\$3,856	\$19,065	0	5	5	Average	Possible	Minor	M
3965	Roads - Road Section	Sideroad 27-28	County Road 15	Concession Road 12-13	Rural	Gravel	2742.121	2	5484.242		0	2010		4	0	11	\$34,791	\$20,786	\$14,005	\$19,195	0	5	5	Average	Possible	Minor	M
3986	Roads - Road Section	Sideroad 27-28	Concession Road 6-7	Concession Road 8-9	Rural	Gravel	2663.935	2	5327.87		0	2010		4	0	11	\$24,296	\$20,525	\$3,771	\$18,648	0	5	5	Average	Possible	Minor	M
4321	Roads - Road Section	Sideroad 27-28	Concession Road 3-4	Concession Road 4-5	Rural	Gravel	1360.5	2	2721		0	2012		4	0	9	\$7,068	\$4,274	\$2,794	\$9,524	0		0	Very Poor	Almost Certain	Minor	H
4322	Roads - Road Section	Sideroad 27-28	County Road 109	Concession Road 2-3	Rural	Gravel	2746.4	2	5492.8		0	2012		4	0	9	\$39,857	\$10,164	\$29,692	\$19,225	0		0	Very Poor	Almost Certain	Minor	H
4325	Roads - Road Section	Sideroad 27-28	Concession Road 2-3	Concession Road 3-4	Rural	Gravel	1368.6	2	2737.2		0	2012		4	0	9	\$10,351	\$4,422	\$5,929	\$9,580	0		0	Very Poor	Almost Certain	Minor	H
4329	Roads - Road Section	Sideroad 27-28	Concession Road 4-5	Concession Road 6-7	Rural	Gravel	2753.4	2	5506.8		0	2012		4	0	9	\$22,563	\$9,376	\$13,187	\$19,274	0		0	Very Poor	Almost Certain	Minor	H
37	Roads - Road Section	Sideroad 28-29 From: Concession Road 2-3 To: End (south)	Concession Road 2-3	End (south)	Rural	Gravel	908.9	2	1817.8		0	2006		4	0	15	\$7,507	\$7,507	\$0	\$6,362	0	5	5	Average	Possible	Minor	M

Grand Valley  
Roads - Road Section Inventory

Current Levels of Service  
Replacement/Improvement Year Based on Current Levels

Expected Levels of Service + Town Input  
Replacement/Improvement Year Based on Expected Levels

Fixed Asset #	Subtype	Asset Name - Roads	Numerical Value of Risk of Failure	Year Replacement due to minimal maintenance practices	Current Levels of Service % benefit	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score	Subsequent Replacement Year	Revised Remaining Useful Life	Proposed Rehabilitation Cost (2021 \$)	Year for Rehabilitation	Note	Proposed Rehabilitation (2) Cost (2021 \$)	Year for Rehabilitation	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current + Condition better than expected for age	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life
46	46	Roads - Road Section Amaranth - East Luther Townline From: Concession Road 2-3 To: 328m N Of Concession Road 2-3	1	2003	10	2006	2021	2057	0	\$1,838	2026	Routine Maintenance				70	2039	2039	2064	18
3739	3739	Roads - Road Section Amaranth - East Luther Townline From: County Road 10 To: Concession Road 6-7	1	2023	10	2026	2026	2051	5	\$210	2026	Routine Maintenance				30	2034	2034	2059	13
1	1	Roads - Road Section Concession Rd 2-3 From: East Luther - Wellington N Townline To: Sideroad 21-22	1	2023	10	2026	2026	2051	5	\$9,975	2026	Preventative Maintenance			8	20	2034	2034	2059	13
26	26	Roads - Road Section Concession Road 10-11 From: County Road 25 To: Amaranth - East Luther Townline	1	2026	10	2029	2029	2054	8	\$6,300	2026	Routine Maintenance				20	2034	2034	2059	13
85	85	Roads - Road Section Concession Road 2-3 From: 162m East Of Bielby Street To: 277m East Of Bielby Street	1	2014	10	2017	2021	2046	0							60	2036	2036	2061	15
	112	Roads - Road Section Concession Road 2-3 From: 453m East Of Bielby Street To: Amaranth - East Luther Townline	1	2040	10	2043	2043	2068	22							0	2043	2043	2068	22
5527	43	Roads - Road Section Concession Road 2-3 From: Sideroad 21-22 To: Sideroad 24-25	1	2036	10	2039	2039	2064	18	\$9,450	2026	Routine Maintenance				0	2039	2039	2064	18
102	102	Roads - Road Section Concession Road 2-3 From: Sideroad 24-25 To: Sideroad 27-28	1	2021	10	2024	2024	2049	3	\$9,975	2026	Routine Maintenance				40	2034	2034	2059	13
7	7	Roads - Road Section Concession Road 2-3 From: Sideroad 27-28 To: Sideroad 28-29	1	2020	10	2023	2023	2048	2	\$3,150	2026	Routine Maintenance				50	2036	2036	2061	15
45	45	Roads - Road Section Concession Road 2-3 From: Sideroad 28-29 To: Leeson Street	1	2020	10	2023	2023	2048	2	\$2,625	2028	Routine Maintenance				50	2036	2036	2061	15
3935	3935	Roads - Road Section Concession Road 6-7 From: 1.38 Km E Of Sideroad 21-22 To: Sideroad 24-25	2	2027	10	2030	2030	2055	9	\$15,575	2024	Preventative Maintenance	\$46,725	2031	25	0	2049	2049	2074	28
28	28	Roads - Road Section Concession Road 6-7 From: County Road 25 To: 52m E Of County Road 25	1	2040	10	2043	2043	2068	22							0	2043	2043	2068	22
3940	3940	Roads - Road Section Concession Road 6-7 From: Sideroad 24-25 To: Sideroad 27-28	2	2027	10	2030	2030	2055	9	\$42,000	2024	Preventative Maintenance	\$126,000	2031	25	5	2049	2049	2074	28
3941	3941	Roads - Road Section Concession Road 6-7 From: Sideroad 24-25 To: Sideroad 27-28	1	2027	10	2030	2030	2055	9	\$3,675	2024	Routine Maintenance				20	2035	2035	2060	14
	96	Roads - Road Section Concession Road 6-7 From: Sideroad 27-28 To: County Road 25	1	2040	10	2043	2043	2068	22							0	2043	2043	2068	22
29	29	Roads - Road Section Concession Road 8-9 From: County Road 25 To: Amaranth - East Luther Townline	1	2025	10	2028	2028	2053	7	\$6,300	2028	Routine Maintenance				30	2036	2036	2061	15
31	31	Roads - Road Section Concession Road 8-9 From: Sideroad 24-25 To: Sideroad 27-28	3	2024	10	2027	2030	2055	9	\$252,167	2025	Rehabilitation			25	0	2050	2050	2075	29
3736	3736	Roads - Road Section Concession Road 8-9 From: Sideroad 24-25 To: Sideroad 27-28	1	2026	10	2029	2029	2054	8	\$902	2024	Routine Maintenance				10	2032	2032	2057	11
4344	4344	Roads - Road Section Concession Road 8-9 From: Sideroad 27-28 To: County Road 25	1	2031	10	2034	2034	2059	13	\$9,713	2024	Routine Maintenance				0	2034	2034	2059	13
44	44	Roads - Road Section Sideroad 27-28 From: 2.66 Km N Of Concession 6-7 To: Concession 8-9 (bridge)	2	2011	10	2014	2021	2049	0	\$1,483	2023	Preventative Maintenance			7	40	2030	2030	2055	9
124	124	Roads - Road Section Sideroad 27-28 From: 37m N Of Concession Road 8-9 To: Concession 8-9	2	2011	10	2014	2021	2049	0	\$1,050	2023	Preventative Maintenance	\$3,150	2030	25	40	2048	2048	2073	27
123	123	Roads - Road Section Sideroad 27-28 From: Concession 8-9 To: Concession 8-9	2	2011	10	2014	2021	2049	0	\$2,100	2023	Preventative Maintenance	\$6,300	2030	25	40	2048	2048	2073	27
79	79	Roads - Road Section Amaranth Street From: Crozier Street To: Pondsford Street	1	2014	10	2017	2021	2046	0	\$2,520	2023	Preventative Maintenance				60	2036	2036	2061	15
49	49	Roads - Road Section Amaranth Street From: King Street To: Crozier Street	1	2014	10	2017	2021	2046	0	\$1,680	2023	Preventative Maintenance				60	2036	2036	2061	15
55	55	Roads - Road Section Amaranth Street From: Leeson Street To: Emma Street	1	2014	10	2017	2021	2046	0	\$630	2027	Routine Maintenance				70	2039	2039	2064	18
51	51	Roads - Road Section Amaranth Street From: Main Street To: King Street	1	2014	10	2017	2021	2046	0	\$2,100	2023	Preventative Maintenance				60	2036	2036	2061	15
78	78	Roads - Road Section Amaranth Street From: Pondsford Street To: Bielby Street	1	2014	10	2017	2021	2046	0	\$2,520	2023	Preventative Maintenance				60	2036	2036	2061	15
75	75	Roads - Road Section Bielby Street From: Amaranth Street To: Gier Street	2	2013	10	2016	2021	2047	0	\$18,480	2025	Resurfacing	\$4,620	2032	20	30	2045	2045	2070	24
143	143	Roads - Road Section Bielby Street From: Gier Street To: Scott Street	2	2013	10	2016	2021	2047	0	\$4,680	2023	Preventative Maintenance	\$18,720	2030	25	50	2048	2048	2073	27
	17	Roads - Road Section Concession Road 2-3 From: 277m East Of Bielby Street To: 453m East Of Bielby Street	1	2040	10	2043	2043	2068	22							0	2043	2043	2068	22
24	24	Roads - Road Section Concession Road 2-3 From: 162m East Of Bielby Street	2	2014	10	2017	2021	2046	0	\$8,640	2023	Preventative Maintenance			10	50	2033	2033	2058	12
39	39	Roads - Road Section Cooper Street From: George Street To: Parkview Street	2	2025	10	2028	2028	2053	7	\$3,600	2024	Preventative Maintenance			10	10	2034	2034	2059	13
66	66	Roads - Road Section Cooper Street From: Parkview Street To: End	2	2025	10	2028	2028	2053	7	\$3,600	2024	Preventative Maintenance			8	10	2032	2032	2057	11
34	34	Roads - Road Section Cooper Street From: River Street To: George Street	2	2025	10	2028	2028	2053	7	\$8,100	2024	Preventative Maintenance			10	10	2034	2034	2059	13



Grand Valley  
Roads - Road Section Inventory

Current Levels of Service  
Replacement/Improvement Year Based on Current Levels

Expected Levels of Service + Town Input  
Replacement/Improvement Year Based on Expected Levels

Fixed Asset #	Subtype	Asset Name - Roads	Numerical Value of Risk of Failure	Year Replacement due to minimal maintenance practices	Current Levels of Service % benefit	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score	Subsequent Replacement Year	Revised Remaining Useful Life	Proposed Rehabilitation Cost (2021 \$)	Year for Rehabilitation	Note	Proposed Rehabilitation (2) Cost (2021 \$)	Year for Rehabilitation	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current + Condition better than expected for age	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life
8422	77	Roads - Road Section Crozier Street From: Amaranth Street To: Gier Street	1	2039	10	2042	2042	2067	21	\$630	2027	Routine Maintenance				0	2042	2042	2067	21
8423	105	Roads - Road Section Crozier Street From: Gier Street To: Webb Street	1	2039	10	2042	2042	2067	21	\$1,140	2027	Routine Maintenance				0	2042	2042	2067	21
141	141	Roads - Road Section Deaken Drive From: County Road 15 To: County Road 15	1	2004	10	2007	2021	2056	0	\$1,943	2028	Routine Maintenance				70	2039	2039	2064	18
80	80	Roads - Road Section Douglas Street From: Leeson Street To: Emma Street	2	2013	10	2016	2021	2047	0	\$20,160	2025	Resurfacing	\$5,040	2031	25	40	2050	2050	2075	29
3958	3958	Roads - Road Section East Back Lane	1	2028	10	2031	2031	2056	10	\$510	2024	Preventative Maintenance				10	2034	2034	2059	13
82	82	Roads - Road Section Emma Street From: Amaranth Street To: Douglas Street	2	2013	10	2016	2021	2047	0	\$36,960	2025	Resurfacing	\$9,240	2031	25	30	2050	2050	2075	29
8421	54	Roads - Road Section Emma Street From: Mill Street To: Amaranth Street	1	2039	10	2042	2042	2067	21	\$765	2024	Routine Maintenance				0	2042	2042	2067	21
	107	Roads - Road Section Emma Street From: Water Street To: William Street	2	2040	10	2043	2043	2068	22	\$10,440	2029	Preventative Maintenance			15	0	2044	2044	2069	23
61	61	Roads - Road Section Emma Street From: William Street To: Mill Street	2	2013	10	2016	2021	2047	0	\$7,140	2023	Preventative Maintenance	\$28,560	2030	15	40	2038	2038	2063	17
109	109	Roads - Road Section Fife Road From: Crozier Street To: Mary Court	1	1990	10	1993	2021	2070	0	\$420	2023	Routine Maintenance				60	2036	2036	2061	15
110	110	Roads - Road Section Fife Road From: Joyce Court To: Crozier Street	1	1990	10	1993	2021	2070	0	\$525	2023	Routine Maintenance				60	2036	2036	2061	15
19	19	Roads - Road Section Fife Road From: Main Street To: Joyce Court	1	1990	10	1993	2021	2070	0	\$315	2023	Routine Maintenance				60	2036	2036	2061	15
3	3	Roads - Road Section Fife Road From: Mary Court To: End (cul-de-sac)	1	1990	10	1993	2021	2070	0	\$473	2024	Routine Maintenance				60	2036	2036	2061	15
38	38	Roads - Road Section George Street From: George Street To: End	1	2025	10	2028	2028	2053	7	\$248	2024	Routine Maintenance				20	2033	2033	2058	12
40	40	Roads - Road Section George Street From: Main Street To: Cooper Street	1	2025	10	2028	2028	2053	7	\$3,960	2024	Preventative Maintenance				20	2033	2033	2058	12
76	76	Roads - Road Section Gier Street From: Crozier Street To: Bielby Street	1	2013	10	2016	2021	2047	0	\$12,600	2024	Preventative Maintenance				60	2036	2036	2061	15
87	87	Roads - Road Section Joyce Court From: Fife Road To: End (cul-de-sac)	2	1990	10	1993	2021	2070	0	\$3,360	2024	Preventative Maintenance				50	2034	2034	2059	13
50	50	Roads - Road Section King Street From: Mill Street To: Amaranth Street	1	2013	10	2016	2021	2047	0	\$893	2027	Routine Maintenance				70	2039	2039	2064	18
113	113	Roads - Road Section Leeson Street From: 175m S Of Mill Street To: Mill Street	2	2011	10	2014	2021	2049	0	\$28,560	2023	Resurfacing	\$7,140	2029	20	30	2043	2043	2068	22
81	81	Roads - Road Section Leeson Street From: Amaranth Street To: Douglas Street	2	2011	10	2014	2021	2049	0	\$38,640	2025	Resurfacing	\$5,040	2031	25	30	2050	2050	2075	29
56	56	Roads - Road Section Leeson Street From: Mill Street To: Amaranth Street	1	2011	10	2014	2021	2049	0	\$893	2023	Routine Maintenance				60	2036	2036	2061	15
121	121	Roads - Road Section Lower Crozier Street From: Gier Street To: End	1	2013	10	2016	2021	2047	0	\$360	2023	Routine Maintenance	\$2,880	2030	25	60	2048	2048	2073	27
41	41	Roads - Road Section Main Street From: George Street To: Parkview Street	2	2040	10	2043	2043	2068	22							0	2043	2043	2068	22
11	11	Roads - Road Section Main Street From: Parkview Street To: End	2	2013	10	2016	2021	2047	0	\$15,120	2025	Resurfacing	\$3,780	2032	20	30	2045	2045	2070	24
36	36	Roads - Road Section Main Street From: River Street To: George Street	2	2040	10	2043	2043	2068	22							0	2043	2043	2068	22
86	86	Roads - Road Section Main Street From: Spruyt Avenue To: Fife Road	2	2018	10	2021	2021	2046	0	\$6,720	2023	Preventative Maintenance	\$26,880	2028	25	30	2048	2048	2073	27
32	32	Roads - Road Section Main Street From: Water Street To: River Street	2	2013	10	2016	2021	2047	0		2028	Bridge Rehab				30	2029	2061	2086	40
20	20	Roads - Road Section Mary Court From: Fife Road To: End (cul-de-sac)	2	1990	10	1993	2021	2070	0	\$2,940	2024	Preventative Maintenance				50	2034	2034	2059	13
23	23	Roads - Road Section Mill Street From: Emma Street To: Main Street	2	2015	10	2018	2021	2046	0	\$12,312	2023	Preventative Maintenance				50	2034	2034	2059	13
10	10	Roads - Road Section Mill Street From: King Street To: Pondsford Street	1	2013	10	2016	2021	2047	0	\$450	2024	Preventative Maintenance				60	2036	2036	2061	15
62	62	Roads - Road Section Mill Street From: Leeson Street To: Emma Street	1	2015	10	2018	2021	2046	0	\$5,520	2023	Preventative Maintenance				60	2036	2036	2061	15
91	91	Roads - Road Section Mill Street From: Leeson Street To: End	1	2015	10	2018	2021	2046	0	\$840	2027	Routine Maintenance				70	2039	2039	2064	18
22	22	Roads - Road Section Mill Street From: Main Street To: King Street	2	2013	10	2016	2021	2047	0	\$99,240	2023	Preventative Maintenance				50	2034	2034	2059	13
3796	3796	Roads - Road Section Mount Haven Crescent From: County Road 25 To: County Road 25	1	2013	10	2016	2021	2047	0	\$5,250	2024	Routine Maintenance				60	2036	2036	2061	15
42	42	Roads - Road Section Park View Street From: Main Street To: Cooper Street	1	2025	10	2028	2028	2053	7	\$495	2024	Routine Maintenance				20	2033	2033	2058	12
111	111	Roads - Road Section Pondsford Street From: Mill Street To: Amaranth Street	1	2013	10	2016	2021	2047	0	\$6,120	2024	Preventative Maintenance				60	2036	2036	2061	15
63	63	Roads - Road Section River Street From: Cooper Street To: End	2	2013	10	2016	2021	2047	0	\$3,451	2024	Preventative Maintenance				50	2034	2034	2059	13
35	35	Roads - Road Section River Street From: Main Street To: Cooper Street	2	2025	10	2028	2028	2053	7	\$4,210	2024	Preventative Maintenance			10	10	2034	2034	2059	13
21	21	Roads - Road Section Scott Street From: Bielby Street To: End (west)	3	2040	10	2043	2046	2071	25	\$10,920	2028	Preventative Maintenance				0	2043	2045	2070	24

Grand Valley  
Roads - Road Section Inventory

Current Levels of Service  
Replacement/Improvement Year Based on Current Levels

Expected Levels of Service + Town Input  
Replacement/Improvement Year Based on Expected Levels

Fixed Asset #	Subtype	Asset Name - Roads	Numerical Value of Risk of Failure	Year Replacement due to minimal maintenance practices	Current Levels of Service % benefit	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score	Subsequent Replacement Year	Revised Remaining Useful Life	Proposed Rehabilitation Cost (2021 \$)	Year for Rehabilitation	Note	Proposed Rehabilitation (2) Cost (2021 \$)	Year for Rehabilitation	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current + Condition better then expected for age	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life
115	Roads - Road Section	Water Street From: Melody Lane To: Emma Street	1	2013	10	2016	2021	2047	0	\$2,100	2023	Routine Maintenance	\$16,800	2031	20	60	2043	2043	2068	22
4062	Roads - Road Section	Watson Road: County Rd 25 to WWTP	1	2029	10	2032	2032	2057	11	\$1,305	2026	Routine Maintenance				10	2035	2035	2060	14
127	Roads - Road Section	Webb Street From: Main Street To: Crozier Street	1	2004	10	2007	2021	2056	0	\$5,040	2024	Preventative Maintenance				60	2036	2036	2061	15
130	Roads - Road Section	West Bank Alley From: Mill Street To: Amaranth Street	2	2022	10	2025	2025	2050	4	\$33,696	2023	Resurfacing	\$8,424	2030	25	5	2048	2048	2073	27
142	Roads - Road Section	William Street From: Emma Street To: Water Street	1	2013	10	2016	2021	2047	0	\$480	2027	Routine Maintenance				70	2039	2039	2064	18
4441	Roads - Road Section	AMARANTH STREET FR:EMMA TO:MAIN	1	2032	10	2035	2035	2060	14	\$420	2027	Routine Maintenance				5	2036	2036	2061	15
5625	Roads - Road Section	Baker Court From: Crozier Street To: End	1	2037	10	2040	2040	2065	19	\$360	2027	Routine Maintenance				0	2040	2040	2065	19
7391	Roads - Road Section	Beam Street	1	2033	10	2036	2036	2061	15							0	2036	2036	2061	15
7392	Roads - Road Section	Beam Street	1	2033	10	2036	2036	2061	15							0	2036	2036	2061	15
7393	Roads - Road Section	Beam Street	1	2033	10	2036	2036	2061	15							0	2036	2036	2061	15
5623	Roads - Road Section	Crozier Street From: Baker Court To: Spruyt Avenue	1	2037	10	2040	2040	2065	19	\$540	2027	Routine Maintenance				0	2040	2040	2065	19
5622	Roads - Road Section	Crozier Street From: Spruyt Avenue To: Fife Road	1	2037	10	2040	2040	2065	19	\$960	2027	Routine Maintenance				0	2040	2040	2065	19
5624	Roads - Road Section	Crozier Street From: Webb Street To: Baker Court	1	2037	10	2040	2040	2065	19	\$600	2027	Routine Maintenance				0	2040	2040	2065	19
7390	Roads - Road Section	Hillborne Street	1	2033	10	2036	2036	2061	15							0	2036	2036	2061	15
7396	Roads - Road Section	Hunt Street	1	2033	10	2036	2036	2061	15							0	2036	2036	2061	15
12	Roads - Road Section	Leeson Street From: Melody Lane To: 175 M.S. Of Mill Street	1	2011	10	2014	2021	2049	0	\$3,720	2023	Preventative Maintenance				60	2036	2036	2061	15
7389	Roads - Road Section	Macintyre Lane	1	2033	10	2036	2036	2061	15							0	2036	2036	2061	15
48	Roads - Road Section	Main Street From: Amaranth Street To: Webb Street	1	2018	10	2021	2021	2046	0	\$2,093	2023	Preventative Maintenance	\$66,960	2030	20	40	2043	2043	2068	22
52	Roads - Road Section	Main Street From: Mill Street To: Amaranth Street	1	2013	10	2016	2021	2047	0	\$1,275	2023	Preventative Maintenance	\$40,800	2030	20	60	2043	2043	2068	22
57	Roads - Road Section	Main Street From: Water Street To: Mill Street	1	2013	10	2016	2021	2047	0	\$825	2023	Preventative Maintenance	\$6,600	2030	15	60	2038	2038	2063	17
16	Roads - Road Section	Main Street From: Webb Street To: Spruyt Avenue	2	2018	10	2021	2021	2046	0	\$998	2023	Preventative Maintenance	\$39,900	2028	25	30	2048	2048	2073	27
7386	Roads - Road Section	Mayberry Drive	1	2033	10	2036	2036	2061	15							0	2036	2036	2061	15
7387	Roads - Road Section	Mayberry Drive	1	2033	10	2036	2036	2061	15							0	2036	2036	2061	15
7388	Roads - Road Section	Mayberry Drive	1	2033	10	2036	2036	2061	15							0	2036	2036	2061	15
5569	Roads - Road Section	Melody Lane From: Development Phase 1 to Taylor Drive	1	2035	10	2038	2038	2063	17	\$360	2026	Routine Maintenance				0	2038	2038	2063	17
15	Roads - Road Section	Melody Lane From: Leeson Street To: Development Phase 1	1	2011	10	2014	2021	2049	0	\$870	2026	Routine Maintenance				70	2039	2039	2064	18
14	Roads - Road Section	Melody Lane From: Water Street To: Leeson Street	1	2011	10	2014	2021	2049	0	\$900	2023	Preventative Maintenance				60	2036	2036	2061	15
13	Roads - Road Section	Monty Avenue From: Leeson Street To: End	1	2011	10	2014	2021	2049	0	\$750	2027	Routine Maintenance				70	2039	2039	2064	18
7395	Roads - Road Section	Ritchie Drive	1	2033	10	2036	2036	2061	15							0	2036	2036	2061	15
7394	Roads - Road Section	Ritchie Drive	1	2033	10	2036	2036	2061	15							0	2036	2036	2061	15
8418	Roads - Road Section	Scott Street: from Bielby Street to East End	2	2040	10	2043	2043	2068	22							0	2043	2043	2068	22
89	Roads - Road Section	Spruyt Avenue From: Main Street To: Crozier Street	1	1990	10	1993	2021	2070	0	\$900	2027	Routine Maintenance				70	2039	2039	2064	18
7397	Roads - Road Section	Stuckey Lane	1	2033	10	2036	2036	2061	15							0	2036	2036	2061	15
5575	Roads - Road Section	Taylor Drive at Mill Street Round About - N/E Section	1	2035	10	2038	2038	2063	17	\$240	2027	Routine Maintenance				0	2038	2038	2063	17
5576	Roads - Road Section	Taylor Drive at Mill Street Round About - N/W Section	1	2035	10	2038	2038	2063	17	\$240	2027	Routine Maintenance				0	2038	2038	2063	17
5574	Roads - Road Section	Taylor Drive at Mill Street Round About - S/E Section	1	2035	10	2038	2038	2063	17	\$240	2027	Routine Maintenance				0	2038	2038	2063	17
5577	Roads - Road Section	Taylor Drive at Mill Street Round About - S/W Section	1	2035	10	2038	2038	2063	17	\$240	2027	Routine Maintenance				0	2038	2038	2063	17
5570	Roads - Road Section	Taylor Drive From Melody Lane to Monty Avenue	1	2035	10	2038	2038	2063	17	\$540	2027	Routine Maintenance				0	2038	2038	2063	17
5578	Roads - Road Section	Taylor Drive from Mill Street Round About to Amaranth Street	1	2035	10	2038	2038	2063	17	\$840	2027	Routine Maintenance				0	2038	2038	2063	17

Grand Valley  
Roads - Road Section Inventory

Current Levels of Service  
Replacement/Improvement Year Based on Current Levels

Expected Levels of Service + Town Input  
Replacement/Improvement Year Based on Expected Levels

Fixed Asset #	Subtype	Asset Name - Roads	Numerical Value of Risk of Failure	Year Replacement due to minimal maintenance practices	Current Levels of Service % benefit	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score	Subsequent Replacement Year	Revised Remaining Useful Life	Proposed Rehabilitation Cost (2021 \$)	Year for Rehabilitation	Note	Proposed Rehabilitation (2) Cost (2021 \$)	Year for Rehabilitation	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current + Condition better than expected for age	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life
5571	Roads - Road Section	Taylor Drive from Montey Avenue to No Road Name	1	2035	10	2038	2038	2063	17	\$2,160	2027	Routine Maintenance				0	2038	2038	2063	17
5572	Roads - Road Section	Taylor Drive from No Road Name to Park	1	2035	10	2038	2038	2063	17	\$1,620	2027	Routine Maintenance				0	2038	2038	2063	17
5573	Roads - Road Section	Taylor Drive from Park to Mill Street	1	2035	10	2038	2038	2063	17	\$1,410	2027	Routine Maintenance				0	2038	2038	2063	17
59	Roads - Road Section	Water Street From: 173167 (county Road 25) To: 173173 (melody Lane)	2	2013	10	2016	2021	2047	0	\$604	2023	Preventative Maintenance				50	2034	2034	2059	13
114	Roads - Road Section	Water Street From: Emma Street To: William Street	1	2013	10	2016	2021	2047	0	\$1,575	2023	Routine Maintenance	\$1,575	2031	20	60	2043	2043	2068	22
33	Roads - Road Section	Water Street From: William Street To: Main Street	1	2013	10	2016	2021	2047	0	\$473	2023	Preventative Maintenance	\$473	2031	15	60	2038	2038	2063	17
4055	Roads - Road Section	Amaranth - East Luther Townline	2	2014	10	2014	2021	2031	0							20	2022	2022	2026	1
4323	Roads - Road Section	Amaranth - East Luther Townline	3	2015	10	2015	2021	2030	0							0	2021	2021	2025	0
4324	Roads - Road Section	Amaranth - East Luther Townline	3	2015	10	2015	2021	2030	0							0	2021	2021	2025	0
4327	Roads - Road Section	Amaranth - East Luther Townline	3	2015	10	2015	2021	2030	0							0	2021	2021	2025	0
3960	Roads - Road Section	Concession Road 12-13	2	2013	10	2013	2021	2032	0							20	2022	2022	2026	1
3961	Roads - Road Section	Concession Road 12-13	2	2013	10	2013	2021	2032	0							20	2022	2022	2026	1
4395	Roads - Road Section	CONCESSION ROAD 12-13	3	2017	10	2017	2021	2028	0							0	2021	2021	2025	0
4396	Roads - Road Section	CONCESSION ROAD 12-13	3	2017	10	2017	2021	2028	0							0	2021	2021	2025	0
4336	Roads - Road Section	Concession Road 12-13 From: County Road 25 To: Amaranth - East Luther Townline	3	2019	10	2020	2021	2029	0							0	2021	2021	2029	0
25	Roads - Road Section	Concession Road 3-4 From: Sideroad 27-28 To: County Road 25	2	2008	10	2008	2021	2037	0							20	2022	2022	2026	1
3956	Roads - Road Section	Concession Road 4-5	2	2013	10	2013	2021	2032	0							20	2022	2022	2026	1
3957	Roads - Road Section	Concession Road 4-5	2	2013	10	2013	2021	2032	0							20	2022	2022	2026	1
125	Roads - Road Section	Concession Road 4-5 From: Sideroad 24-25 To: End (west)	2	2008	10	2008	2021	2037	0							20	2022	2022	2026	1
3967	Roads - Road Section	Concession Road 6-7	2	2013	10	2013	2021	2032	0							20	2022	2022	2026	1
4320	Roads - Road Section	Concession Road 6-7	3	2015	10	2015	2021	2030	0							0	2021	2021	2025	0
30	Roads - Road Section	Concession Road 8-9 From: Sideroad 21-22 To: Sideroad 24-25	2	2011	10	2011	2021	2034	0							20	2022	2022	2026	1
4318	Roads - Road Section	East Luther - Wellington N. Townline	3	2015	10	2015	2021	2030	0							0	2021	2021	2025	0
4319	Roads - Road Section	East Luther - Wellington N. Townline	3	2015	10	2015	2021	2030	0							0	2021	2021	2025	0
5	Roads - Road Section	East Luther - Wellington N. Townline From: Concession Road 12-13 To: Highway 89	2	2011	10	2011	2021	2034	0							20	2022	2022	2026	1
4	Roads - Road Section	East Luther - Wellington N. Townline From: County Road 15 To: Concession Road 12-13	2	2011	10	2011	2021	2034	0							20	2022	2022	2026	1
3966	Roads - Road Section	Sideroad 21-22	2	2013	10	2013	2021	2032	0							20	2022	2022	2026	1
4326	Roads - Road Section	Sideroad 21-22	3	2015	10	2015	2021	2030	0							0	2021	2021	2025	0
4328	Roads - Road Section	Sideroad 21-22	3	2015	10	2015	2021	2030	0							0	2021	2021	2025	0
4393	Roads - Road Section	SIDEROAD 21-22	3	2017	10	2017	2021	2028	0							0	2021	2021	2025	0
4394	Roads - Road Section	SIDEROAD 21-22	3	2017	10	2017	2021	2028	0							0	2021	2021	2025	0
4338	Roads - Road Section	Sideroad 21-22 From: Concession Road 12-13 To: Highway 89	3	2016	10	2016	2021	2029	0							0	2021	2021	2025	0
4054	Roads - Road Section	Sideroad 24-25	2	2014	10	2014	2021	2031	0							20	2022	2022	2026	1
4057	Roads - Road Section	Sideroad 24-25	2	2014	10	2014	2021	2031	0							20	2022	2022	2026	1
4059	Roads - Road Section	Sideroad 24-25	2	2014	10	2014	2021	2031	0							20	2022	2022	2026	1
4060	Roads - Road Section	Sideroad 24-25	2	2014	10	2014	2021	2031	0							20	2022	2022	2026	1
4061	Roads - Road Section	Sideroad 24-25	2	2014	10	2014	2021	2031	0							20	2022	2022	2026	1
4392	Roads - Road Section	SIDEROAD 24-25	3	2017	10	2017	2021	2028	0							0	2021	2021	2025	0

Grand Valley  
Roads - Road Section Inventory

Current Levels of Service  
Replacement/Improvement Year Based on Current Levels

Expected Levels of Service + Town Input  
Replacement/Improvement Year Based on Expected Levels

Fixed Asset #	Subtype	Asset Name - Roads	Numerical Value of Risk of Failure	Year Replacement due to minimal maintenance practices	Current Levels of Service % benefit	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score	Subsequent Replacement Year	Revised Remaining Useful Life	Proposed Rehabilitation Cost (2021 \$)	Year for Rehabilitation	Note	Proposed Rehabilitation (2) Cost (2021 \$)	Year for Rehabilitation	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current + Condition better than expected for age	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life
4058	Roads - Road Section	Sideroad 24-25 from 15 to 12/13	2	2014	10	2014	2021	2031	0							20	2022	2022	2026	1
3955	Roads - Road Section	Sideroad 27-28	2	2013	10	2013	2021	2032	0							20	2022	2022	2026	1
3959	Roads - Road Section	Sideroad 27-28	2	2013	10	2013	2021	2032	0							20	2022	2022	2026	1
3965	Roads - Road Section	Sideroad 27-28	2	2013	10	2013	2021	2032	0							20	2022	2022	2026	1
3986	Roads - Road Section	Sideroad 27-28	2	2013	10	2013	2021	2032	0							20	2022	2022	2026	1
4321	Roads - Road Section	Sideroad 27-28	3	2015	10	2015	2021	2030	0							0	2021	2021	2025	0
4322	Roads - Road Section	Sideroad 27-28	3	2015	10	2015	2021	2030	0							0	2021	2021	2025	0
4325	Roads - Road Section	Sideroad 27-28	3	2015	10	2015	2021	2030	0							0	2021	2021	2025	0
4329	Roads - Road Section	Sideroad 27-28	3	2015	10	2015	2021	2030	0							0	2021	2021	2025	0
37	Roads - Road Section	Sideroad 28-29 From: Concession Road 2-3 To: End (south)	2	2009	10	2009	2021	2036	0							20	2022	2022	2026	1



Grand Valley  
Storm/Sanitary - Catch Basin Inventory

Current Levels of Service  
Replacement/Improvement Year Based on Current Levels Service

Fixed Asset #	Map Link	Subtype	Road Name	Asset Name	Access diameter	Install Year	Useful Life	Remaining Useful Life	Age	Historic Cost	2020 Accumulated Amortization System	2020 Net Book Value System	Replacement Cost	Condition Based On Useful Life	Assessed Condition	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected Condition)	Consequence of Failure	Risk of Failure	Numerical Value of Risk of Failure	Year Replacement due to minimal maintenance practices	Current Levels of Service % benefit	Revised Levels Service Replacement Year	Year Applying Risk Score
								70.2	29.8	\$ 651,640	\$ 58,658	\$ 592,983	\$1,413,364			7.0					1.5				
3204		Storm/Sanitary - Catch Basin	River Street From: Cooper Street To: End	CatchBasin - River Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3205		Storm/Sanitary - Catch Basin	Main Street From: River Street To: George Street	DoubleCatchBasin - Main Street	1200	1969	100	48	52	\$ 501.04	\$ 260.52	\$ 240.52	\$4,500	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3206		Storm/Sanitary - Catch Basin	Main Street From: River Street To: George Street	ManholeCatchBasin - Main Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$4,500	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3207		Storm/Sanitary - Catch Basin	Main Street From: Water Street To: Mill Street	CatchBasin - Main Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3208		Storm/Sanitary - Catch Basin	Amaranth Street From: Crozier Street To: Pondsford Street	CatchBasin - Amaranth Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3209		Storm/Sanitary - Catch Basin	Amaranth Street From: Crozier Street To: Pondsford Street	CatchBasin - Amaranth Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3210		Storm/Sanitary - Catch Basin	Amaranth Street From: King Street To: Crozier Street	CatchBasin - Amaranth Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3211		Storm/Sanitary - Catch Basin	Amaranth Street From: Main Street To: King Street	CatchBasin - 22 Amaranth Street	1200	1969	100	48	52	\$ 2,971.45	\$ 543.73	\$ 2,427.72	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3212		Storm/Sanitary - Catch Basin	Amaranth Street From: Main Street To: King Street	CatchBasin - Amaranth Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3213		Storm/Sanitary - Catch Basin	Main Street From: Mill Street To: Amaranth Street	CatchBasin - Main Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3214		Storm/Sanitary - Catch Basin	Amaranth Street From: Emma Street To: Main Street	CatchBasin - AMARANTH STREET	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3216		Storm/Sanitary - Catch Basin	Amaranth Street From: Leeson Street To: Emma Street	CatchBasin - Amaranth Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3217		Storm/Sanitary - Catch Basin	Amaranth Street From: Leeson Street To: Emma Street	CatchBasin - Amaranth Street	1200	1969	100	48	52	\$ 11,442.65	\$ 377.65	\$ 11,065.00	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3218		Storm/Sanitary - Catch Basin	King Street From: Mill Street To: Amaranth Street	CatchBasin - Leeson Street @ Amaranth	1200	1969	100	48	52	\$ 2,360.89	\$ 486.13	\$ 1,874.76	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3219		Storm/Sanitary - Catch Basin	King Street From: Mill Street To: Amaranth Street	CatchBasin - Leeson Street @ Amaranth	1200	1969	100	48	52	\$ 2,360.89	\$ 486.13	\$ 1,874.76	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3220		Storm/Sanitary - Catch Basin	Main Street From: Spruyt Avenue To: Fife Road	CatchBasin - Main Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3221		Storm/Sanitary - Catch Basin	Spruyt Avenue From: Main Street To: Crozier Street	CatchBasin - Spruyt Avenue	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3222		Storm/Sanitary - Catch Basin	Main Street From: Spruyt Avenue To: Fife Road	CatchBasin - Main Street	1200	1969	100	48	52	\$ 2,153.21	\$ 332.32	\$ 1,820.89	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3223		Storm/Sanitary - Catch Basin	Main Street From: Webb Street To: Spruyt Avenue	CatchBasin - Main Street	1200	1969	100	48	52	\$ 2,153.21	\$ 332.32	\$ 1,820.89	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3224		Storm/Sanitary - Catch Basin	Main Street From: Webb Street To: Spruyt Avenue	CatchBasin - Main Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3225		Storm/Sanitary - Catch Basin	Main Street From: Webb Street To: Spruyt Avenue	CatchBasin - Main Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3226		Storm/Sanitary - Catch Basin	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	CatchBasin - Leeson Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3227		Storm/Sanitary - Catch Basin	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	CatchBasin - Leeson Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3228		Storm/Sanitary - Catch Basin	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	CatchBasin - Leeson Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3229		Storm/Sanitary - Catch Basin	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	CatchBasin - Leeson Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3230		Storm/Sanitary - Catch Basin	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	CatchBasin - Leeson Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3231		Storm/Sanitary - Catch Basin	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	CatchBasin - Leeson Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3232		Storm/Sanitary - Catch Basin	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	CatchBasin - Leeson Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3233		Storm/Sanitary - Catch Basin	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	CatchBasin - Leeson Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3234		Storm/Sanitary - Catch Basin	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	CatchBasin - Leeson Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3235		Storm/Sanitary - Catch Basin	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	CatchBasin - Leeson Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3236		Storm/Sanitary - Catch Basin	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	CatchBasin - Leeson Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3237		Storm/Sanitary - Catch Basin	Leeson Street From: 175m S Of Mill Street To: Mill Street	CatchBasin - Leeson Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3238		Storm/Sanitary - Catch Basin	Leeson Street From: 175m S Of Mill Street To: Mill Street	CatchBasin - Leeson Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3239		Storm/Sanitary - Catch Basin	Leeson Street From: 175m S Of Mill Street To: Mill Street	CatchBasin - Leeson Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3240		Storm/Sanitary - Catch Basin	Mill Street From: Leeson Street To: Emma Street	CatchBasin - Mill Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3241		Storm/Sanitary - Catch Basin	Leeson Street From: Mill Street To: Amaranth Street	CatchBasin - Leeson Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3242		Storm/Sanitary - Catch Basin	Leeson Street From: Mill Street To: Amaranth Street	CatchBasin - Leeson Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3243		Storm/Sanitary - Catch Basin	Leeson Street From: Mill Street To: Amaranth Street	CatchBasin - Leeson Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3244		Storm/Sanitary - Catch Basin	Leeson Street From: Mill Street To: Amaranth Street	CatchBasin - Leeson Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3245		Storm/Sanitary - Catch Basin	Concession Road 2-3 From: Sideroad 28-29 To: Leeson Street	DitchInletCatchBasin - Concession Road 2-3	1200	1969	100	48	52	\$ 9,950.25	\$ 1,775.26	\$ 8,174.99	\$4,500	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3248		Storm/Sanitary - Catch Basin	Emma Street From: Mill Street To: Amaranth Street	CatchBasin - Emma Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069

Grand Valley  
Storm/Sanitary - Catch Basin Inventory

Current Levels of Service  
Replacement/Improvement Year Based on Current Levels Service

Fixed Asset #	Map Link	Subtype	Road Name	Asset Name	Access diameter	Install Year	Useful Life	Remaining Useful Life	Age	Historic Cost	2020 Accumulated Amortization System	2020 Net Book Value System	Replacement Cost	Condition Based On Useful Life	Assessed Condition	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected Condition)	Consequence of Failure	Risk of Failure	Numerical Value of Risk of Failure	Year Replacement due to minimal maintenance practices	Current Levels of Service % benefit	Revised Levels Service Replacement Year	Year Applying Risk Score
								70.2	29.8	\$ 651,640	\$ 58,658	\$ 592,983	\$1,413,364			7.0					1.5				
3249		Storm/Sanitary - Catch Basin	Emma Street From: Mill Street To: Amaranth Street	CatchBasin - Emma Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3250		Storm/Sanitary - Catch Basin	Emma Street From: Mill Street To: Amaranth Street	CatchBasin - Emma Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3251		Storm/Sanitary - Catch Basin	Mill Street From: Leeson Street To: Emma Street	CatchBasin - Mill Street @ Emma	1200	1969	100	48	52	\$ 2,360.89	\$ 486.13	\$ 1,874.76	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3252		Storm/Sanitary - Catch Basin	Mill Street From: Leeson Street To: Emma Street	CatchBasin - Mill Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3253		Storm/Sanitary - Catch Basin	Mill Street From: Emma Street To: Main Street	CatchBasin - Mill Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3254		Storm/Sanitary - Catch Basin	Mill Street From: Emma Street To: Main Street	CatchBasin - Mill Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3255		Storm/Sanitary - Catch Basin	Mill Street From: Emma Street To: Main Street	CatchBasin - Mill Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3256		Storm/Sanitary - Catch Basin	Main Street From: Water Street To: Mill Street	CatchBasin - Main Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3257		Storm/Sanitary - Catch Basin	Mill Street From: Emma Street To: Main Street	CatchBasin - Mill Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3258		Storm/Sanitary - Catch Basin	Mill Street From: Main Street To: King Street	CatchBasin - Mill Street	1200	1969	100	48	52	\$ 313.15	\$ 188.78	\$ 124.37	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3259		Storm/Sanitary - Catch Basin	Mill Street From: Main Street To: King Street	CatchBasin - Mill Street	1200	1969	100	48	52	\$ 313.15	\$ 188.78	\$ 124.37	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3260		Storm/Sanitary - Catch Basin	Mill Street From: King Street To: Pondsford Street	DoubleCatchBasin - King @ Mill Street	1200	1969	100	48	52	\$ 2,548.78	\$ 635.92	\$ 1,912.86	\$4,500	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3261		Storm/Sanitary - Catch Basin	Mill Street From: King Street To: Pondsford Street	CatchBasin - Mill Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3262		Storm/Sanitary - Catch Basin	Pondsford Street From: Mill Street To: Amaranth Street	CatchBasin - Pondsford Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3263		Storm/Sanitary - Catch Basin	Pondsford Street From: Mill Street To: Amaranth Street	CatchBasin - Pondsford Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3264		Storm/Sanitary - Catch Basin	King Street From: Mill Street To: Amaranth Street	CatchBasin - King Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3265		Storm/Sanitary - Catch Basin	King Street From: Mill Street To: Amaranth Street	CatchBasin - King Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3266		Storm/Sanitary - Catch Basin	King Street From: Mill Street To: Amaranth Street	CatchBasin - King Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3267		Storm/Sanitary - Catch Basin	Spruyt Avenue From: Main Street To: Crozier Street	CatchBasin - Spruyt Avenue	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3268		Storm/Sanitary - Catch Basin	Lower Crozier Street From: Gier Street To: End	ManholeCatchBasin - Lower Crozier Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3269		Storm/Sanitary - Catch Basin	Crozier Street From: Gier Street To: Webb Street	ManholeCatchBasin - Crozier Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3270		Storm/Sanitary - Catch Basin	Crozier Street From: Amaranth Street To: Gier Street	CatchBasin - Crozier Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
3271		Storm/Sanitary - Catch Basin	Crozier Street From: Amaranth Street To: Gier Street	ManholeCatchBasin - Crozier Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4091		Storm/Sanitary - Catch Basin	Scott Street From: Bielby Street To: End (west)	Catchbasin - Scott Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4092		Storm/Sanitary - Catch Basin	Leeson Street From: 175m S Of Mill Street To: Mill Street	CatchBasin - Leeson Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4093		Storm/Sanitary - Catch Basin	Mill Street From: Leeson Street To: Emma Street	CatchBasin - Mill Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4094		Storm/Sanitary - Catch Basin	Leeson Street From: Amaranth Street To: Douglas Street	CatchBasin - Leeson Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4095		Storm/Sanitary - Catch Basin	Leeson Street From: Amaranth Street To: Douglas Street	CatchBasin - Leeson Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4096		Storm/Sanitary - Catch Basin	Leeson Street From: Amaranth Street To: Douglas Street	CatchBasin - Leeson Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4097		Storm/Sanitary - Catch Basin	Leeson Street From: Amaranth Street To: Douglas Street	CatchBasin - Leeson Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4098		Storm/Sanitary - Catch Basin	Douglas Street From: Leeson Street To: Emma Street	CatchBasin - Douglas Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4099		Storm/Sanitary - Catch Basin	Douglas Street From: Leeson Street To: Emma Street	CatchBasin - Douglas Steet	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4100		Storm/Sanitary - Catch Basin	Emma Street From: Amaranth Street To: Douglas Street	CatchBasin - Emma Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4101		Storm/Sanitary - Catch Basin	Emma Street From: Amaranth Street To: Douglas Street	CatchBasin - Emma Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4102		Storm/Sanitary - Catch Basin	Emma Street From: Amaranth Street To: Douglas Street	CatchBasin - Emma Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4103		Storm/Sanitary - Catch Basin	Emma Street From: Amaranth Street To: Douglas Street	CatchBasin - Emma Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4104		Storm/Sanitary - Catch Basin	Emma Street From: Mill Street To: Amaranth Street	CatchBasin - Emma Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4105		Storm/Sanitary - Catch Basin	Main Street From: River Street To: George Street	CatchBasin - Main Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4106		Storm/Sanitary - Catch Basin	Main Street From: River Street To: George Street	CatchBasin - Main Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4107		Storm/Sanitary - Catch Basin	Main Street From: River Street To: George Street	CatchBasin - Main Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4108		Storm/Sanitary - Catch Basin	Water Street From: Emma Street To: William Street	CatchBasin - Water Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4109		Storm/Sanitary - Catch Basin	Water Street From: William Street To: Main Street	CatchBasin - Water Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069

Grand Valley  
Storm/Sanitary - Catch Basin Inventory

Current Levels of Service  
Replacement/Improvement Year Based on Current Levels Service

Fixed Asset #	Map Link	Subtype	Road Name	Asset Name	Access diameter	Install Year	Useful Life	Remaining Useful Life	Age	Historic Cost	2020 Accumulated Amortization System	2020 Net Book Value System	Replacement Cost	Condition Based On Useful Life	Assessed Condition	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected Condition)	Consequence of Failure	Risk of Failure	Numerical Value of Risk of Failure	Year Replacement due to minimal maintenance practices	Current Levels of Service % benefit	Revised Levels Service Replacement Year	Year Applying Risk Score
								70.2	29.8	\$ 651,640	\$ 58,658	\$ 592,983	\$1,413,364			7.0					1.5				
4110		Storm/Sanitary - Catch Basin	Water Street From: William Street To: Main Street	CatchBasin - Water Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4111		Storm/Sanitary - Catch Basin	Main Street From: Water Street To: Mill Street	CatchBasin - Main Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4112		Storm/Sanitary - Catch Basin	Main Street From: Mill Street To: Amaranth Street	CatchBasin - Main Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4113		Storm/Sanitary - Catch Basin	Main Street From: Mill Street To: Amaranth Street	Double CatchBasin - Main Street	1200	1969	100	48	52	\$ 501.04	\$ 260.52	\$ 240.52	\$4,500	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4114		Storm/Sanitary - Catch Basin	Crozier Street From: Amaranth Street To: Gier Street	CatchBasin - Crozier Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4115		Storm/Sanitary - Catch Basin	Amaranth Street From: Pondsford Street To: Bielby Street	CatchBasin - Amaranth Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4116		Storm/Sanitary - Catch Basin	Bielby Street From: Amaranth Street To: Gier Street	CatchBasin - Bielby Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4117		Storm/Sanitary - Catch Basin	Bielby Street From: Amaranth Street To: Gier Street	CatchBasin - Bielby Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4118		Storm/Sanitary - Catch Basin	Concession Road 2-3	CatchBasin - Concession Road 2-3	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4119		Storm/Sanitary - Catch Basin	Concession Road 2-3	CatchBasin - Concession Road 2-3	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4120		Storm/Sanitary - Catch Basin	Concession Road 2-3	CatchBasin - Concession Road 2-3	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4121		Storm/Sanitary - Catch Basin	Concession Road 2-3	CatchBasin - Concession Road 2-3	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4122		Storm/Sanitary - Catch Basin	King Street From: Mill Street To: Amaranth Street	CatchBasin - 11 King Street	1200	1969	100	48	52	\$ 2,360.89	\$ 486.13	\$ 1,874.76	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4123		Storm/Sanitary - Catch Basin	King Street From: Mill Street To: Amaranth Street	CatchBasin - King Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4124		Storm/Sanitary - Catch Basin	King Street From: Mill Street To: Amaranth Street	CatchBasin - King Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4125		Storm/Sanitary - Catch Basin	King Street From: Mill Street To: Amaranth Street	CatchBasin - King @ Mill Street	1200	1969	100	48	52	\$ 2,360.89	\$ 486.13	\$ 1,874.76	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4126		Storm/Sanitary - Catch Basin	Mill Street From: Main Street To: King Street	CatchBasin - King @ Mill Street	1200	1969	100	48	52	\$ 2,360.89	\$ 486.13	\$ 1,874.76	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4127		Storm/Sanitary - Catch Basin	Mill Street From: King Street To: Pondsford Street	CatchBasin - King @ Mill Street	1200	1969	100	48	52	\$ 2,360.89	\$ 486.13	\$ 1,874.76	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4128		Storm/Sanitary - Catch Basin	Mill Street From: Main Street To: King Street	CatchBasin - Mill Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4129		Storm/Sanitary - Catch Basin	Mill Street From: Main Street To: King Street	CatchBasin - Mill Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4130		Storm/Sanitary - Catch Basin	Mill Street From: Main Street To: King Street	CatchBasin - Mill Street	1200	1969	100	48	52	\$ 3,969.56	\$ 524.22	\$ 3,445.34	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4131		Storm/Sanitary - Catch Basin	Mill Street From: King Street To: Pondsford Street	CatchBasin - Mill Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4132		Storm/Sanitary - Catch Basin	Mill Street From: King Street To: Pondsford Street	CatchBasin - Mill Street	1200	1969	100	48	52	\$ 313.15	\$ 188.78	\$ 124.37	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4133		Storm/Sanitary - Catch Basin	Mill Street From: King Street To: Pondsford Street	CatchBasin - Mill Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4134		Storm/Sanitary - Catch Basin	Pondsford Street From: Mill Street To: Amaranth Street	CatchBasin - Pondsford Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4135		Storm/Sanitary - Catch Basin	Gier Street From: Crozier Street To: Bielby Street	CatchBasin - Gier Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4136		Storm/Sanitary - Catch Basin	Gier Street From: Crozier Street To: Bielby Street	CatchBasin - Gier Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4137		Storm/Sanitary - Catch Basin	Gier Street From: Crozier Street To: Bielby Street	CatchBasin - Gier Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4138		Storm/Sanitary - Catch Basin	Gier Street From: Crozier Street To: Bielby Street	CatchBasin - Gier Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4139		Storm/Sanitary - Catch Basin	Scott Street From: Bielby Street To: End (west)	CatchBasin - Scott Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4140		Storm/Sanitary - Catch Basin	Scott Street From: Bielby Street To: End (west)	CatchBasin - Scott Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4141		Storm/Sanitary - Catch Basin	Bielby Street From: Gier Street To: Scott Street	CatchBasin - Bielby Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4142		Storm/Sanitary - Catch Basin	Bielby Street From: Gier Street To: Scott Street	CatchBasin - Bielby Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4143		Storm/Sanitary - Catch Basin	Bielby Street From: Gier Street To: Scott Street	CatchBasin - 58 Bielby Street	1200	1969	100	48	52	\$ 2,360.89	\$ 486.13	\$ 1,874.76	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4144		Storm/Sanitary - Catch Basin	Main Street From: Amaranth Street To: Webb Street	CatchBasin - Main Street	1400	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4145		Storm/Sanitary - Catch Basin	Fife Road From: Main Street To: Joyce Court	CatchBasin - Fife Road	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4146		Storm/Sanitary - Catch Basin	Fife Road From: Main Street To: Joyce Court	CatchBasin - Fife Road	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4147		Storm/Sanitary - Catch Basin	Joyce Court From: Fife Road To: End (cul-de-sac)	CatchBasin - Joyce Court	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4148		Storm/Sanitary - Catch Basin	Joyce Court From: Fife Road To: End (cul-de-sac)	CatchBasin - Joyce Court	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4149		Storm/Sanitary - Catch Basin	Joyce Court From: Fife Road To: End (cul-de-sac)	CatchBasin - Joyce Court	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4150		Storm/Sanitary - Catch Basin	Fife Road From: Joyce Court To: Crozier Street	CatchBasin - Fife Road	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4151		Storm/Sanitary - Catch Basin	Fife Road From: Joyce Court To: Crozier Street	CatchBasin - Fife Road	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4152		Storm/Sanitary - Catch Basin	Fife Road From: Crozier Street To: Mary Court	CatchBasin - Fife Road	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4153		Storm/Sanitary - Catch Basin	Fife Road From: Mary Court To: End (cul-de-sac)	CatchBasin - Fife Road	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069



Grand Valley  
Storm/Sanitary - Catch Basin Inventory

Current Levels of Service  
Replacement/Improvement Year Based on Current Levels Service

Fixed Asset #	Map Link	Subtype	Road Name	Asset Name	Access diameter	Install Year	Useful Life	Remaining Useful Life	Age	Historic Cost	2020 Accumulated Amortization System	2020 Net Book Value System	Replacement Cost	Condition Based On Useful Life	Assessed Condition	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected Condition)	Consequence of Failure	Risk of Failure	Numerical Value of Risk of Failure	Year Replacement due to minimal maintenance practices	Current Levels of Service % benefit	Revised Levels Service Replacement Year	Year Applying Risk Score
								70.2	29.8	\$ 651,640	\$ 58,658	\$ 592,983	\$1,413,364			7.0					1.5				
4154		Storm/Sanitary - Catch Basin	Mary Court From: Fife Road To: End (cul-de-sac)	CatchBasin - Mary Court	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4155		Storm/Sanitary - Catch Basin	Mary Court From: Fife Road To: End (cul-de-sac)	CatchBasin - Mary Court	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4156		Storm/Sanitary - Catch Basin	Crozier Street From: Spruyt Avenue To: Fife Road	CatchBasin - Crozier Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4157		Storm/Sanitary - Catch Basin	Crozier Street From: Spruyt Avenue To: Fife Road	CatchBasin -149 Crozier Street	1200	1969	100	48	52	\$ 2,360.89	\$ 486.13	\$ 1,874.76	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4158		Storm/Sanitary - Catch Basin	Crozier Street From: Spruyt Avenue To: Fife Road	CatchBasin - Crozier Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4159		Storm/Sanitary - Catch Basin	Crozier Street From: Spruyt Avenue To: Fife Road	CatchBasin - Crozier Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4160		Storm/Sanitary - Catch Basin	Crozier Street From: Baker Court To: Spruyt Avenue	CatchBasin - Crozier Street	1200	1969	100	48	52	\$ 3,969.56	\$ 502.61	\$ 3,466.95	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4161		Storm/Sanitary - Catch Basin	Crozier Street From: Webb Street To: Baker Court	CatchBasin - 101 Crozier Street	1200	1969	100	48	52	\$ 6,017.30	\$ 792.31	\$ 5,224.99	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4162		Storm/Sanitary - Catch Basin	Crozier Street From: Baker Court To: Spruyt Avenue	CatchBasin - Crozier Street	1200	1969	100	48	52	\$ 3,969.56	\$ 502.61	\$ 3,466.95	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4163		Storm/Sanitary - Catch Basin	Baker Court From: Crozier Street To: End	CatchBasin - Baker Court	1200	1969	100	48	52	\$ 3,969.56	\$ 502.61	\$ 3,466.95	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4164		Storm/Sanitary - Catch Basin	Baker Court From: Crozier Street To: End	CatchBasin - Baker Court	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4165		Storm/Sanitary - Catch Basin	Baker Court From: Crozier Street To: End	CatchBasin - Baker Court	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4166		Storm/Sanitary - Catch Basin	Crozier Street From: Webb Street To: Baker Court	CatchBasin - Crozier Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4167		Storm/Sanitary - Catch Basin	Crozier Street From: Webb Street To: Baker Court	CatchBasin - Crozier Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4168		Storm/Sanitary - Catch Basin	Crozier Street From: Webb Street To: Baker Court	CatchBasin - Crozier Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4169		Storm/Sanitary - Catch Basin	Crozier Street From: Webb Street To: Baker Court	CatchBasin - Crozier Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4170		Storm/Sanitary - Catch Basin	Webb Street From: Main Street To: Crozier Street	CatchBasin - Webb Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4171		Storm/Sanitary - Catch Basin	Webb Street From: Main Street To: Crozier Street	CatchBasin - Webb Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4172		Storm/Sanitary - Catch Basin	Crozier Street From: Gier Street To: Webb Street	CatchBasin - Crozier Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4173		Storm/Sanitary - Catch Basin	Fife Road From: Mary Court To: End (cul-de-sac)	Double CatchBasin - Fife Road	1200	1969	100	48	52	\$ 501.04	\$ 260.52	\$ 240.52	\$4,500	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4238		Storm/Sanitary - Catch Basin	Leeson Street From: Amaranth Street To: Douglas Street	CatchBasin - Leeson Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4239		Storm/Sanitary - Catch Basin	Leeson Street From: Amaranth Street To: Douglas Street	CatchBasin - Leeson Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4240		Storm/Sanitary - Catch Basin	Leeson Street From: Amaranth Street To: Douglas Street	CatchBasin - Leeson Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4241		Storm/Sanitary - Catch Basin	Emma Street From: Mill St to Amaranth St	CatchBasin - Emma Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	11	2070	2070
4242		Storm/Sanitary - Catch Basin	West Bank Alley From: Mill Street To: Amaranth Street	CatchBasin - West Bank Alley	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4243		Storm/Sanitary - Catch Basin	West Bank Alley From: Mill Street To: Amaranth Street	CatchBasin - West Bank Alley	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4244		Storm/Sanitary - Catch Basin	Leeson Street From: Amaranth Street To: Douglas Street	Manhole CatchBasin - Leeson Street	1200	1969	100	48	52	\$ 313.15	\$ 162.76	\$ 150.39	\$4,500	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4431		Storm/Sanitary - Catch Basin	Emma Street From: Amaranth Street To: Douglas Street	DOUBLE CATCH BASIN - EMMA STREET	1200	2014	100	93	7	\$ 4,127.22	\$ 288.89	\$ 3,838.33	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2104	10	2114	2114
4433		Storm/Sanitary - Catch Basin	Amaranth Street From: Leeson Street To: Emma Street	DOUBLE CATCH BASIN - AMARANTH STREET	1200	2014	100	93	7	\$ 4,127.22	\$ 288.89	\$ 3,838.33	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2104	10	2114	2114
4434		Storm/Sanitary - Catch Basin	Amaranth Street From: Leeson Street To: Emma Street	DOUBLE CATCH BASIN - AMARANTH STREET	1200	2014	100	93	7	\$ 4,127.22	\$ 288.89	\$ 3,838.33	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2104	10	2114	2114
4435		Storm/Sanitary - Catch Basin	Emma Street From: Mill Street To: Amaranth Street	DOUBLE CATCH BASIN - EMMA STREET	1200	2014	100	93	7	\$ 4,127.22	\$ 288.89	\$ 3,838.33	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2104	10	2114	2114
4437		Storm/Sanitary - Catch Basin	Emma Street From: Mill Street To: Amaranth Street	DOUBLE CATCH BASIN - EMMA STREET	1200	2014	100	93	7	\$ 4,127.22	\$ 288.89	\$ 3,838.33	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2104	10	2114	2114
4438		Storm/Sanitary - Catch Basin	Emma Street From: Mill Street To: Amaranth Street	CATCH BASIN - AMARANTH STREET	1200	2014	100	93	7	\$ 2,722.93	\$ 190.61	\$ 2,532.32	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2104	10	2114	2114
4508		Storm/Sanitary - Catch Basin	West Bank Alley	Catch Basin - West Bank Alley	2014	100	93	7	\$ 2,700.00	\$ 189.00	\$ 2,511.00	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2104	10	2114	2114	
4509		Storm/Sanitary - Catch Basin	William Street	Double Ditch Inlet Catch Basin - William Street	1969	100	92	8	\$ 2,670	\$ 2,670.00	\$ 2,670.00	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4510		Storm/Sanitary - Catch Basin	Water Street	Ditch Inlet Catch Basin - Water Street	1969	100	48	52	\$ 313	\$ 313.00	\$3,000	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069	
4511		Storm/Sanitary - Catch Basin	Main Street	Catch Basin - Main Street	1975	100	54	46	\$ 555	\$ 555.00	\$3,000	\$5,000	5		5	Average	Possible	Moderate	M	2	2065	10	2075	2075	
4512		Storm/Sanitary - Catch Basin	Amaranth Street	Manhole Catch Basin - Amaranth Street	1975	100	54	46	\$ 555	\$ 255.30	\$ 299.70	\$4,500	5		5	Average	Possible	Moderate	M	2	2065	10	2075	2075	
4513		Storm/Sanitary - Catch Basin	William Street	Double Ditch Inlet Catch Basin - William Street	2013	100	92	8	\$ 2,670	\$ 2,670.00	\$4,500	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4514		Storm/Sanitary - Catch Basin	Leeson Street	Double Ditch Inlet Catch Basin - Leeson Street	2013	100	92	8	\$ 2,670	\$ 2,670.00	\$4,500	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4515		Storm/Sanitary - Catch Basin	Leeson Street	Double Ditch Inlet Catch Basin - Leeson Street	2013	100	92	8	\$ 2,670	\$ 2,670.00	\$4,500	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4516		Storm/Sanitary - Catch Basin	Leeson Street	Double Ditch Inlet Catch Basin - Leeson Street	2013	100	92	8	\$ 2,670	\$ 2,670.00	\$4,500	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4517		Storm/Sanitary - Catch Basin	William Street	Double Ditch Inlet Catch Basin - William Street	2013	100	92	8	\$ 2,670	\$ 2,670.00	\$4,500	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4518		Storm/Sanitary - Catch Basin	William Street	Double Ditch Inlet Catch Basin - William Street	2013	100	92	8	\$ 2,670	\$ 2,670.00	\$4,500	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4519		Storm/Sanitary - Catch Basin	William Street	Double Ditch Inlet Catch Basin - William Street	2013	100	92	8	\$ 2,670	\$ 2,670.00	\$4,500	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4520		Storm/Sanitary - Catch Basin	Cooper Street	Ditch Inlet Catch Basin - Cooper Street	1996	100	75	25	\$ 1,411	\$ 1,411.00	\$3,000	\$8,000	8		8	Very Good	Rare	Moderate	L	1	2086	10	2096	2096	
4521		Storm/Sanitary - Catch Basin	Cooper Street	Ditch Inlet Catch Basin - Cooper Street	1996	100	75	25	\$ 1,411	\$ 352.75	\$ 1,058.25	\$3,000	8		8	Very Good	Rare	Moderate	L	1	2086	10	2096	2096	
4522		Storm/Sanitary - Catch Basin	Mill Street	Catch Basin - Mill Street	1969	100																			

Grand Valley  
Storm/Sanitary - Catch Basin Inventory

Current Levels of Service  
Replacement/Improvement Year Based on Current Levels Service

Fixed Asset #	Map Link	Subtype	Road Name	Asset Name	Access diameter	Install Year	Useful Life	Remaining Useful Life	Age	Historic Cost	2020 Accumulated Amortization System	2020 Net Book Value System	Replacement Cost	Condition Based On Useful Life	Assessed Condition	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected Condition)	Consequence of Failure	Risk of Failure	Numerical Value of Risk of Failure	Year Replacement due to minimal maintenance practices	Current Levels of Service % benefit	Revised Levels of Service Replacement Year	Year Applying Risk Score
								70.2	29.8	\$ 651,640	\$ 58,658	\$ 592,983	\$1,413,364			7.0					1.5				
4530		Storm/Sanitary - Catch Basin	William Street	Catch Basin - William Street		2013	100	92	8	\$2,670	\$ 2,670.00	\$3,000	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4531		Storm/Sanitary - Catch Basin	Concession Rd 2-3	Ditch Inlet Catch Basin - Concession Rd 2-3		2013	100	92	8	\$2,670	\$ 2,670.00	\$3,000	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4532		Storm/Sanitary - Catch Basin	Concession Rd 2-3	Ditch Inlet Catch Basin - Concession Rd 2-3		2013	100	92	8	\$2,670	\$ 2,670.00	\$3,000	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4533		Storm/Sanitary - Catch Basin	Concession Rd 2-3	Manhole Catch Basin - Concession Rd 2-3		2013	100	92	8	\$2,670	\$ 2,670.00	\$4,500	\$4,500	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4534		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive		2013	100	92	8	\$2,670	\$ 2,670.00	\$3,000	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4535		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive		2013	100	92	8	\$2,670	\$ 2,670.00	\$3,000	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4536		Storm/Sanitary - Catch Basin	Mill Street	Double Catch Basin - Mill Street		2013	100	92	8	\$2,670	\$ 2,670.00	\$4,500	\$4,500	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4537		Storm/Sanitary - Catch Basin	Melody Lane	STC 4000 - Melody Lane		2013	100	92	8	\$2,670	\$ 2,670.00	\$4,500	\$4,500	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4538		Storm/Sanitary - Catch Basin	Monty Ave	STC 2000 - Monty Ave		2013	100	92	8	\$2,670	\$ 2,670.00	\$3,000	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4539		Storm/Sanitary - Catch Basin	Mill Street	Double Catch Basin - Mill Street		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$4,500	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4540		Storm/Sanitary - Catch Basin	Mill Street	Double Catch Basin - Mill Street		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$4,500	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4541		Storm/Sanitary - Catch Basin	Mill Street	Double Catch Basin - Mill Street		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$4,500	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4542		Storm/Sanitary - Catch Basin	Mill Street	Double Catch Basin - Mill Street		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$4,500	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4543		Storm/Sanitary - Catch Basin	Mill Street	Double Catch Basin - Mill Street		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$4,500	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4544		Storm/Sanitary - Catch Basin	Taylor Drive	Double Catch Basin - Taylor Drive		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$4,500	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4545		Storm/Sanitary - Catch Basin	Taylor Drive	Double Catch Basin - Taylor Drive		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$4,500	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4546		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4547		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4548		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4549		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4550		Storm/Sanitary - Catch Basin	Street 14	Catch Basin - Street 14		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4551		Storm/Sanitary - Catch Basin	Street 14	Catch Basin - Street 14		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4552		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4553		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4554		Storm/Sanitary - Catch Basin	William Street - Backyard	Ditch Inlet Catch Basin - William Street - Backyard		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4555		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4556		Storm/Sanitary - Catch Basin	Taylor Drive	Double Catch Basin - Taylor Drive		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$4,500	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4557		Storm/Sanitary - Catch Basin	Taylor Drive	Double Catch Basin - Taylor Drive		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$4,500	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4558		Storm/Sanitary - Catch Basin	Melody Lane	Catch Basin - Melody Lane		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4559		Storm/Sanitary - Catch Basin	Melody Lane	Catch Basin - Melody Lane		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4560		Storm/Sanitary - Catch Basin	Melody Lane	Double Catch Basin - Melody Lane		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$4,500	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4561		Storm/Sanitary - Catch Basin	Melody Lane	Double Catch Basin - Melody Lane		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$4,500	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4562		Storm/Sanitary - Catch Basin	Concession Rd 2-3	Rearlot Catch Basin - Concession Rd 2-3		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4563		Storm/Sanitary - Catch Basin	Concession Rd 2-3	Manhole Catch Basin - Concession Rd 2-3		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$4,500	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4564		Storm/Sanitary - Catch Basin	Concession Rd 2-3	Ditch Inlet Catch Basin - Concession Rd 2-3		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4565		Storm/Sanitary - Catch Basin	Concession Rd 2-3	Manhole Catch Basin - Concession Rd 2-3		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$4,500	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4566		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4567		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4568		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4569		Storm/Sanitary - Catch Basin	<Null>	Catch Basin - <Null>		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4570		Storm/Sanitary - Catch Basin	<Null>	Catch Basin - <Null>		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4571		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4572		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4573		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4574		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4575		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4576		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4577		Storm/Sanitary - Catch Basin	Monty Ave	Double Catch Basin - Monty Ave		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$4,500	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4578		Storm/Sanitary - Catch Basin	Monty Ave	Double Catch Basin - Monty Ave		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$4,500	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4579		Storm/Sanitary - Catch Basin	Mill Street	Rearlot Catch Basin - Mill Street		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$3,000	9	9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113	
4580		Storm/Sanitary - Catch Basin	Mill Street	Rearlot Catch Basin - Mill Street		2013	100	92	8	\$2,670	\$ 56.80	\$ 2,613.20	\$3												

Grand Valley  
Storm/Sanitary - Catch Basin Inventory

Current Levels of Service  
Replacement/Improvement Year Based on Current Levels Service

Fixed Asset #	Map Link	Subtype	Road Name	Asset Name	Access diameter	Install Year	Useful Life	Remaining Useful Life	Age	Historic Cost	2020 Accumulated Amortization System	2020 Net Book Value System	Replacement Cost	Condition Based On Useful Life	Assessed Condition	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected Condition)	Consequence of Failure	Risk of Failure	Numerical Value of Risk of Failure	Replacement due to minimal maintenance practices	Current Levels of Service % benefit	Revised Levels Service Replacement Year	Year Applying Risk Score
								70.2	29.8	\$ 651,640	\$ 58,658	\$ 592,983	\$1,413,364			7.0					1.5				
4612		Storm/Sanitary - Catch Basin	Leeson Street	Catch Basin - Leeson Street		1969	100	48	52	\$313	\$ 162.76	\$ 150.24	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4613		Storm/Sanitary - Catch Basin	Leeson Street	Catch Basin - Leeson Street		1969	100	48	52	\$313	\$ 162.76	\$ 150.24	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4614		Storm/Sanitary - Catch Basin	Leeson Street	Catch Basin - Leeson Street		1969	100	48	52	\$313	\$ 162.76	\$ 150.24	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4615		Storm/Sanitary - Catch Basin	Leeson Street	Catch Basin - Leeson Street		1969	100	48	52	\$313	\$ 162.76	\$ 150.24	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
4616		Storm/Sanitary - Catch Basin	Leeson Street	Catch Basin - Leeson Street		1969	100	48	52	\$313	\$ 162.76	\$ 150.24	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
5228		CatchBasin	Rear Lot - 10 Main Street	CatchBasin - Rear Lot - 10 Main Street	<Null>	1969	100	48	52	\$313	\$ 162.76	\$ 150.24	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
5236		ManholeCatchBasin	Mount Haven Crescent	ManholeCatchBasin - Mount Haven Crescent	1500 mm	1995	100	74	26	\$1,385	\$ 360.10	\$ 1,024.90	\$4,500	7		7	Good	Unlikely	Moderate	M	2	2085	10	2095	2095
5237		DitchInletCatchBasin	Mount Haven Crescent	DitchInletCatchBasin - Mount Haven Crescent	600 mm	1995	100	74	26	\$1,385	\$ 360.10	\$ 1,024.90	\$3,000	7		7	Good	Unlikely	Moderate	M	2	2085	10	2095	2095
5238		DitchInletCatchBasin	Mount Haven Crescent	DitchInletCatchBasin - Mount Haven Crescent	600 mm	1995	100	74	26	\$1,385	\$ 360.10	\$ 1,024.90	\$3,000	7		7	Good	Unlikely	Moderate	M	2	2085	10	2095	2095
5281		CatchBasin	Wastewater Treatment Plant - Industrial Road	CatchBasin - Wastewater Treatment Plant - Industrial Road	<Null>	2013	100	92	8	\$2,670	\$ 213.60	\$ 2,456.40	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113
5282		RearlotCatchbasin	Rear Lot, East of Crozier Street	RearlotCatchbasin - Rear Lot, East of Crozier Street	<Null>	1969	100	48	52	\$313	\$ 162.76	\$ 150.24	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
5283		CatchBasin	Wastewater Treatment Plant - Industrial Road	CatchBasin - Wastewater Treatment Plant - Industrial Road	<Null>	2013	100	92	8	\$2,670	\$ 213.60	\$ 2,456.40	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113
5284		CatchBasin	East Back Lane	CatchBasin - East Back Lane	<Null>	2013	100	92	8	\$ -	\$ -	\$ -	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113
5285		CatchBasin	Wastewater Treatment Plant - Industrial Road	CatchBasin - Wastewater Treatment Plant - Industrial Road	<Null>	2013	100	92	8	\$2,670	\$ 213.60	\$ 2,456.40	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113
5286		RearlotCatchbasin	Rear Lot, 52 Leeson Street	RearlotCatchbasin - Rear Lot, 52 Leeson Street	<Null>	2013	100	92	8	\$ -	\$ -	\$ -	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113
5287		CatchBasin	Wastewater Treatment Plant - Industrial Road	CatchBasin - Wastewater Treatment Plant - Industrial Road	<Null>	2013	100	92	8	\$2,670	\$ 213.60	\$ 2,456.40	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113
5351		DoubleCatchBasin	Stub Street Off Taylor Drive	DoubleCatchBasin - Stub Street Off Taylor Drive	<Null>	2016	100	95	5	\$2,725	\$ 56.18	\$ 2,668.82	\$4,500	10		10	Very Good	Rare	Moderate	L	1	2106	10	2116	2116
5352		DoubleCatchBasin	Stub Street Off Taylor Drive	DoubleCatchBasin - Stub Street Off Taylor Drive	<Null>	2016	100	95	5	\$2,725	\$ 56.18	\$ 2,668.82	\$4,500	10		10	Very Good	Rare	Moderate	L	1	2106	10	2116	2116
5377	4510	DitchInletCatchBasin	Water Street	Ditch Inlet Catch Basin - Water Street		1969	100	48	52	\$ 313.00	\$160	\$ 153.37	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
5378	4511	CatchBasin	Main Street	Catch Basin - Main Street		1975	100	54	46	\$ 555.00	\$250	\$ 305.25	\$3,000	5		5	Average	Possible	Moderate	M	2	2065	10	2075	2075
5379	4520	DitchInletCatchBasin	Cooper Street	Ditch Inlet Catch Basin - Cooper Street		1996	100	75	25	\$ 1,411.00	\$339	\$ 1,072.36	\$3,000	8		8	Very Good	Rare	Moderate	L	1	2086	10	2096	2096
5380	4522	CatchBasin	Mill Street	Catch Basin - Mill Street		1969	100	48	52	\$ 313.00	\$160	\$ 153.37	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
5381	4526	CatchBasin	Main Street	Catch Basin - Main Street		1996	100	75	25	\$ 1,411.00	\$339	\$ 1,072.36	\$3,000	8		8	Very Good	Rare	Moderate	L	1	2086	10	2096	2096
5382	4527	DitchInletCatchBasinManhole	Main Street	Ditch Inlet Catch Basin Manhole - Main Street		1996	100	75	25	\$ 1,411.00	\$339	\$ 1,072.36	\$3,000	8		8	Very Good	Rare	Moderate	L	1	2086	10	2096	2096
5383	4528	CatchBasin	Main Street	Catch Basin - Main Street		1969	100	48	52	\$ 313.00	\$160	\$ 153.37	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
5384	4529	CatchBasin	Main Street	Catch Basin - Main Street		1969	100	48	52	\$ 313.00	\$160	\$ 153.37	\$3,000	5		5	Average	Possible	Moderate	M	2	2059	10	2069	2069
5550	4509	DoubleDitchInletCatchBasinTayloratso uthofStormPond	Taylor at south of Storm Pond on East	Double Ditch Inlet Catch Basin - Taylor at south of Storm Pond on East		2013	100	92	8	\$ 2,670.00	\$187	\$ 2,483.10	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113
5551	4513	DoubleDitchInletCatchBasinTayloratso uthofStormPond	Taylor at south of Storm Pond on East	Double Ditch Inlet Catch Basin - Taylor at south of Storm Pond on East		2013	100	92	8	\$ 2,670.00	\$187	\$ 2,483.10	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113
5552	4514	DoubleDitchInletCatchBasin	Leeson Street	Double Ditch Inlet Catch Basin - Leeson Street		2013	100	92	8	\$ 2,670.00	\$187	\$ 2,483.10	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113
5553	4515	DoubleDitchInletCatchBasin	Leeson Street	Double Ditch Inlet Catch Basin - Leeson Street		2013	100	92	8	\$ 2,670.00	\$187	\$ 2,483.10	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113
5554	4516	DoubleDitchInletCatchBasin	Leeson Street	Double Ditch Inlet Catch Basin - Leeson Street		2013	100	92	8	\$ 2,670.00	\$187	\$ 2,483.10	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113
5555	4517	DoubleDitchInletCatchBasin	William Street	Double Ditch Inlet Catch Basin - William Street		2013	100	92	8	\$ 2,670.00	\$187	\$ 2,483.10	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113
5556	4518	DoubleDitchInletCatchBasin	William Street	Double Ditch Inlet Catch Basin - William Street		2013	100	92	8	\$ 2,670.00	\$187	\$ 2,483.10	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113
5557	4519	DoubleDitchInletCatchBasin	William Street	Double Ditch Inlet Catch Basin - William Street		2013	100	92	8	\$ 2,670.00	\$187	\$ 2,483.10	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113
5558	4523	DoubleDitchInletCatchBasin	William Street	Double Ditch Inlet Catch Basin - William Street		2013	100	92	8	\$ 2,670.00	\$187	\$ 2,483.10	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113
5559	4524	CatchBasin	Leeson Street	Catch Basin - Leeson Street		2013	100	92	8	\$ 2,670.00	\$187	\$ 2,483.10	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113
5560	4530	CatchBasin	William Street	Catch Basin - William Street		2013	100	92	8	\$ 2,670.00	\$187	\$ 2,483.10	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113
5561	4531	DitchInletCatchBasin	Concession Rd 2-3	Ditch Inlet Catch Basin - Concession Rd 2-3		2013	100	92	8	\$ 2,670.00	\$187	\$ 2,483.10	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113
5562	4532	DitchInletCatchBasin	Concession Rd 2-3	Ditch Inlet Catch Basin - Concession Rd 2-3		2013	100	92	8	\$ 2,670.00	\$187	\$ 2,483.10	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113
5563	4533	ManholeCatchBasin	Concession Rd 2-3	Manhole Catch Basin - Concession Rd 2-3		2013	100	92	8	\$ 2,670.00	\$187	\$ 2,483.10	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113
5564	4534	CatchBasin	Taylor Drive	Catch Basin - Taylor Drive		2013	100	92	8	\$ 2,670.00	\$187	\$ 2,483.10	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113
5565	4535	CatchBasin	Taylor Drive	Catch Basin - Taylor Drive		2013	100	92	8	\$ 2,670.00	\$187	\$ 2,483.10	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113
5566	4536	DoubleCatchBasin	Mill Street	Double Catch Basin - Mill Street		2013	100	92	8	\$ 2,670.00	\$187	\$ 2,483.10	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113
5567	4537	STC	Melody Lane	STC 4000 - Melody Lane		2013	100	92	8	\$ 2,670.00	\$187	\$ 2,483.10	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113
5568	4538	STC	Monty Ave	STC 2000 - Monty Ave		2013	100	92	8	\$ 2,670.00	\$187	\$ 2,483.10	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2103	10	2113	2113
5642		CatchBasin		CATCH BASIN - MILL ST @ EMMMA ST		2020	100	99	1	\$8,771	\$88	\$8,683	\$3,000	10		10	Very Good	Rare	Moderate	L	1	2110	10	2120	2120
7399		DoubleCatchBasin		DDICB.10		2015	100	94	6	\$3,250	\$0	\$3,250	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7400		CatchBasin		CB.39		2015	100	94	6	\$1,832	\$0	\$1,832	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7401		CatchBasin		CB.40		2015	100	94	6	\$1,832	\$0	\$1,832	\$3,000	9		9	Very Good	Rare</							

Grand Valley  
Storm/Sanitary - Catch Basin Inventory

Current Levels of Service  
Replacement/Improvement Year Based on Current Levels Service

Fixed Asset #	Map Link	Subtype	Road Name	Asset Name	Access diameter	Install Year	Useful Life	Remaining Useful Life	Age	Historic Cost	2020 Accumulated Amortization System	2020 Net Book Value System	Replacement Cost	Condition Based On Useful Life	Assessed Condition	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected Condition)	Consequence of Failure	Risk of Failure	Numerical Value of Risk of Failure	Year Replacement due to minimal maintenance practices	Current Levels of Service % benefit	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score
								70.2	29.8	\$ 651,640	\$ 58,658	\$ 592,983	\$1,413,364			7.0					1.5				
7429		CatchBasin		CB.25		2015	100	94	6	\$1,832	\$0	\$1,832	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7430		CatchBasin		CB.2		2015	100	94	6	\$1,832	\$0	\$1,832	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7431		CatchBasin		CB.1		2015	100	94	6	\$1,832	\$0	\$1,832	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7432		CatchBasin		CB.14		2015	100	94	6	\$1,832	\$0	\$1,832	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7433		CatchBasin		CB.13		2015	100	94	6	\$1,832	\$0	\$1,832	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7434		DoubleCatchBasin		DDICB.9		2015	100	94	6	\$3,250	\$0	\$3,250	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7435		DoubleCatchBasin		DDICB.8		2015	100	94	6	\$3,250	\$0	\$3,250	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7436				RYCB.14		2015	100	94	6	\$3,016	\$0	\$3,016	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7437				RYCB.13		2015	100	94	6	\$5,473	\$0	\$5,473	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7438				RYCB.6		2015	100	94	6	\$3,695	\$0	\$3,695	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7439		DoubleCatchBasin		DICB.7		2015	100	94	6	\$2,750	\$0	\$2,750	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7440		CatchBasin		CB.12		2015	100	94	6	\$1,832	\$0	\$1,832	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7441		CatchBasin		CB.11		2015	100	94	6	\$1,832	\$0	\$1,832	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7442		CatchBasin		CB.9		2015	100	94	6	\$1,832	\$0	\$1,832	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7443		CatchBasin		CB.10		2015	100	94	6	\$1,832	\$0	\$1,832	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7444		CatchBasin		CB.8		2015	100	94	6	\$1,832	\$0	\$1,832	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7445		CatchBasin		CB.7		2015	100	94	6	\$1,832	\$0	\$1,832	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7446		DoubleCatchBasin		DCB.5		2015	100	94	6	\$2,500	\$0	\$2,500	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7447		DoubleCatchBasin		DCB.6		2015	100	94	6	\$2,500	\$0	\$2,500	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7448				RYCB.2		2015	100	94	6	\$4,675	\$0	\$4,675	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7449		CatchBasin		CB.20		2015	100	94	6	\$1,832	\$0	\$1,832	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7450		CatchBasin		CB.19		2015	100	94	6	\$1,832	\$0	\$1,832	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7451		DoubleCatchBasin		DCB.53		2015	100	94	6	\$2,500	\$0	\$2,500	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7452		CatchBasin		CB.36		2015	100	94	6	\$1,832	\$0	\$1,832	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7453		CatchBasin		CB.35		2015	100	94	6	\$1,832	\$0	\$1,832	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7454		CatchBasin		CB.33		2015	100	94	6	\$1,832	\$0	\$1,832	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7455		CatchBasin		CB.34		2015	100	94	6	\$1,832	\$0	\$1,832	\$3,000	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7456		DoubleCatchBasin		DCB.31		2015	100	94	6	\$2,500	\$0	\$2,500	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7457		DoubleCatchBasin		DCB.32		2015	100	94	6	\$2,500	\$0	\$2,500	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7458		DoubleCatchBasin		DICB.19		2015	100	94	6	\$2,750	\$0	\$2,750	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7459		DoubleCatchBasin		DICB.15		2015	100	94	6	\$2,750	\$0	\$2,750	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7460				RYCB.5		2015	100	94	6	\$5,396	\$0	\$5,396	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7461				RYCB.3		2015	100	94	6	\$5,396	\$0	\$5,396	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7462				RYCB.1		2015	100	94	6	\$3,422	\$0	\$3,422	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7463		DoubleCatchBasin		DCB.4		2015	100	94	6	\$2,500	\$0	\$2,500	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7464		DoubleCatchBasin		DCB.3		2015	100	94	6	\$2,500	\$0	\$2,500	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7465		DoubleCatchBasin		DDICB.11		2015	100	94	6	\$3,250	\$0	\$3,250	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7467				RYCB.17		2015	100	94	6	\$2,400	\$0	\$2,400	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7476		DoubleCatchBasin		DICB.18		2015	100	94	6	\$2,750	\$0	\$2,750	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7711				RYCB.4		2015	100	94	6	\$5,263	\$0	\$5,263	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7712		DoubleCatchBasin		DDICB.12		2015	100	94	6	\$3,250	\$0	\$3,250	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115
7713				RYCB.7		2015	100	94	6	\$3,057	\$0	\$3,057	\$4,500	9		9	Very Good	Rare	Moderate	L	1	2105	10	2115	2115

Grand Valley  
Storm/Sanitary - Catch Basin Inventory

Expected Levels of Service  
Replacement/Improvement Year Based on Expected Levels Service

Fixed Asset #	Map Link	Subtype	Road Name	Asset Name	Subsequent Replacement Year	Revised Remaining Useful Life	Rehabilitation Cost (2022)	Year for Rehabilitation	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life
							\$ -							
3161		Storm/Sanitary - Catch Basin	Main Street From: Webb Street To: Spruyt Avenue	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3162		Storm/Sanitary - Catch Basin	Main Street From: Webb Street To: Spruyt Avenue	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3163		Storm/Sanitary - Catch Basin	Main Street From: Webb Street To: Spruyt Avenue	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3164		Storm/Sanitary - Catch Basin	Main Street From: Webb Street To: Spruyt Avenue	CatchBasin - 90 Main Street	2169	48				0	2069	2069	2169	48
3165		Storm/Sanitary - Catch Basin	Main Street From: Amaranth Street To: Webb Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3166		Storm/Sanitary - Catch Basin	Main Street From: Amaranth Street To: Webb Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3167		Storm/Sanitary - Catch Basin	Main Street From: Amaranth Street To: Webb Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3168		Storm/Sanitary - Catch Basin	Main Street From: Amaranth Street To: Webb Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3169		Storm/Sanitary - Catch Basin	Main Street From: Amaranth Street To: Webb Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3170		Storm/Sanitary - Catch Basin	Main Street From: Amaranth Street To: Webb Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3171		Storm/Sanitary - Catch Basin	Main Street From: Amaranth Street To: Webb Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3172		Storm/Sanitary - Catch Basin	Main Street From: Amaranth Street To: Webb Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3173		Storm/Sanitary - Catch Basin	Main Street From: Amaranth Street To: Webb Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3174		Storm/Sanitary - Catch Basin	Main Street From: Amaranth Street To: Webb Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3175		Storm/Sanitary - Catch Basin	Main Street From: Amaranth Street To: Webb Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3176		Storm/Sanitary - Catch Basin	Main Street From: Amaranth Street To: Webb Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3177		Storm/Sanitary - Catch Basin	Main Street From: Mill Street To: Amaranth Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3178		Storm/Sanitary - Catch Basin	Main Street From: Mill Street To: Amaranth Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3179		Storm/Sanitary - Catch Basin	Main Street From: Mill Street To: Amaranth Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3180		Storm/Sanitary - Catch Basin	Main Street From: Mill Street To: Amaranth Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3181		Storm/Sanitary - Catch Basin	Main Street From: Mill Street To: Amaranth Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3182		Storm/Sanitary - Catch Basin	Main Street From: Mill Street To: Amaranth Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3183		Storm/Sanitary - Catch Basin	Main Street From: Water Street To: Mill Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3184		Storm/Sanitary - Catch Basin	Main Street From: Water Street To: Mill Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3185		Storm/Sanitary - Catch Basin	Main Street From: Water Street To: Mill Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3186		Storm/Sanitary - Catch Basin	Main Street From: Water Street To: Mill Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3187		Storm/Sanitary - Catch Basin	Melody Lane From: Leeson Street To: End	CatchBasin - Melody Lane	2169	48				0	2069	2069	2169	48
3188		Storm/Sanitary - Catch Basin	Melody Lane From: Leeson Street To: End	CatchBasin - Melody Lane	2169	48				0	2069	2069	2169	48
3189		Storm/Sanitary - Catch Basin	Melody Lane From: Water Street To: Leeson Street	CatchBasin - Melody Lane	2169	48				0	2069	2069	2169	48
3190		Storm/Sanitary - Catch Basin	Melody Lane From: Water Street To: Leeson Street	CatchBasin - Melody Lane	2169	48				0	2069	2069	2169	48
3191		Storm/Sanitary - Catch Basin	Melody Lane From: Water Street To: Leeson Street	CatchBasin - Melody Lane	2169	48				0	2069	2069	2169	48
3192		Storm/Sanitary - Catch Basin	Melody Lane From: Water Street To: Leeson Street	CatchBasin - Melody Lane	2169	48				0	2069	2069	2169	48
3193		Storm/Sanitary - Catch Basin	Melody Lane From: Water Street To: Leeson Street	CatchBasin - Melody Lane	2169	48				0	2069	2069	2169	48
3194		Storm/Sanitary - Catch Basin	Melody Lane From: Water Street To: Leeson Street	CatchBasin - Melody Lane	2169	48				0	2069	2069	2169	48
3195		Storm/Sanitary - Catch Basin	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
3196		Storm/Sanitary - Catch Basin	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
3197		Storm/Sanitary - Catch Basin	Monty Avenue From: Leeson Street To: End	CatchBasin - Monty Avenue	2169	48				0	2069	2069	2169	48
3198		Storm/Sanitary - Catch Basin	Monty Avenue From: Leeson Street To: End	CatchBasin - Monty Avenue	2169	48				0	2069	2069	2169	48
3199		Storm/Sanitary - Catch Basin	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
3200		Storm/Sanitary - Catch Basin	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
3201		Storm/Sanitary - Catch Basin	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
3202		Storm/Sanitary - Catch Basin	Gier Street From: Crozier Street To: Bielby Street	CatchBasin - Gier Street	2169	48				0	2069	2069	2169	48
3203		Storm/Sanitary - Catch Basin	Gier Street From: Crozier Street To: Bielby Street	CatchBasin - Gier Street	2169	48				0	2069	2069	2169	48

Grand Valley  
Storm/Sanitary - Catch Basin Inventory

Expected Levels of Service  
Replacement/Improvement Year Based on Expected Levels Service

Fixed Asset #	Map Link	Subtype	Road Name	Asset Name	Subsequent Replacement Year	Revised Remaining Useful Life	Rehabilitation Cost (2022)	Year for Rehabilitation	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life
							\$ -							
3204		Storm/Sanitary - Catch Basin	River Street From: Cooper Street To: End	CatchBasin - River Street	2169	48				0	2069	2069	2169	48
3205		Storm/Sanitary - Catch Basin	Main Street From: River Street To: George Street	DoubleCatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3206		Storm/Sanitary - Catch Basin	Main Street From: River Street To: George Street	ManholeCatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3207		Storm/Sanitary - Catch Basin	Main Street From: Water Street To: Mill Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3208		Storm/Sanitary - Catch Basin	Amaranth Street From: Crozier Street To: Pondsford Street	CatchBasin - Amaranth Street	2169	48				0	2069	2069	2169	48
3209		Storm/Sanitary - Catch Basin	Amaranth Street From: Crozier Street To: Pondsford Street	CatchBasin - Amaranth Street	2169	48				0	2069	2069	2169	48
3210		Storm/Sanitary - Catch Basin	Amaranth Street From: King Street To: Crozier Street	CatchBasin - Amaranth Street	2169	48				0	2069	2069	2169	48
3211		Storm/Sanitary - Catch Basin	Amaranth Street From: Main Street To: King Street	CatchBasin - 22 Amaranth Street	2169	48				0	2069	2069	2169	48
3212		Storm/Sanitary - Catch Basin	Amaranth Street From: Main Street To: King Street	CatchBasin - Amaranth Street	2169	48				0	2069	2069	2169	48
3213		Storm/Sanitary - Catch Basin	Main Street From: Mill Street To: Amaranth Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3214		Storm/Sanitary - Catch Basin	Amaranth Street From: Emma Street To: Main Street	CatchBasin - AMARANTH STREET	2169	48				0	2069	2069	2169	48
3216		Storm/Sanitary - Catch Basin	Amaranth Street From: Leeson Street To: Emma Street	CatchBasin - Amaranth Street	2169	48				0	2069	2069	2169	48
3217		Storm/Sanitary - Catch Basin	Amaranth Street From: Leeson Street To: Emma Street	CatchBasin - Amaranth Street	2169	48				0	2069	2069	2169	48
3218		Storm/Sanitary - Catch Basin	King Street From: Mill Street To: Amaranth Street	CatchBasin - Leeson Street @ Amaranth	2169	48				0	2069	2069	2169	48
3219		Storm/Sanitary - Catch Basin	King Street From: Mill Street To: Amaranth Street	CatchBasin - Leeson Street @ Amaranth	2169	48				0	2069	2069	2169	48
3220		Storm/Sanitary - Catch Basin	Main Street From: Spruyt Avenue To: Fife Road	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3221		Storm/Sanitary - Catch Basin	Spruyt Avenue From: Main Street To: Crozier Street	CatchBasin - Spruyt Avenue	2169	48				0	2069	2069	2169	48
3222		Storm/Sanitary - Catch Basin	Main Street From: Spruyt Avenue To: Fife Road	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3223		Storm/Sanitary - Catch Basin	Main Street From: Webb Street To: Spruyt Avenue	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3224		Storm/Sanitary - Catch Basin	Main Street From: Webb Street To: Spruyt Avenue	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3225		Storm/Sanitary - Catch Basin	Main Street From: Webb Street To: Spruyt Avenue	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3226		Storm/Sanitary - Catch Basin	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
3227		Storm/Sanitary - Catch Basin	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
3228		Storm/Sanitary - Catch Basin	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
3229		Storm/Sanitary - Catch Basin	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
3230		Storm/Sanitary - Catch Basin	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
3231		Storm/Sanitary - Catch Basin	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
3232		Storm/Sanitary - Catch Basin	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
3233		Storm/Sanitary - Catch Basin	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
3234		Storm/Sanitary - Catch Basin	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
3235		Storm/Sanitary - Catch Basin	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
3236		Storm/Sanitary - Catch Basin	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
3237		Storm/Sanitary - Catch Basin	Leeson Street From: 175m S Of Mill Street To: Mill Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
3238		Storm/Sanitary - Catch Basin	Leeson Street From: 175m S Of Mill Street To: Mill Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
3239		Storm/Sanitary - Catch Basin	Leeson Street From: 175m S Of Mill Street To: Mill Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
3240		Storm/Sanitary - Catch Basin	Mill Street From: Leeson Street To: Emma Street	CatchBasin - Mill Street	2169	48				0	2069	2069	2169	48
3241		Storm/Sanitary - Catch Basin	Leeson Street From: Mill Street To: Amaranth Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
3242		Storm/Sanitary - Catch Basin	Leeson Street From: Mill Street To: Amaranth Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
3243		Storm/Sanitary - Catch Basin	Leeson Street From: Mill Street To: Amaranth Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
3244		Storm/Sanitary - Catch Basin	Leeson Street From: Mill Street To: Amaranth Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
3245		Storm/Sanitary - Catch Basin	Concession Road 2-3 From: Sideroad 28-29 To: Leeson Street	DitchInletCatchBasin - Concession Road 2-3	2169	48				0	2069	2069	2169	48
3248		Storm/Sanitary - Catch Basin	Emma Street From: Mill Street To: Amaranth Street	CatchBasin - Emma Street	2169	48				0	2069	2069	2169	48

Grand Valley  
Storm/Sanitary - Catch Basin Inventory

Expected Levels of Service  
Replacement/Improvement Year Based on Expected Levels Service

Fixed Asset #	Map Link	Subtype	Road Name	Asset Name	Subsequent Replacement Year	Revised Remaining Useful Life	Rehabilitation Cost (2022)	Year for Rehabilitation	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life
							\$ -							
3249		Storm/Sanitary - Catch Basin	Emma Street From: Mill Street To: Amaranth Street	CatchBasin - Emma Street	2169	48				0	2069	2069	2169	48
3250		Storm/Sanitary - Catch Basin	Emma Street From: Mill Street To: Amaranth Street	CatchBasin - Emma Street	2169	48				0	2069	2069	2169	48
3251		Storm/Sanitary - Catch Basin	Mill Street From: Leeson Street To: Emma Street	CatchBasin - Mill Street @ Emma	2169	48				0	2069	2069	2169	48
3252		Storm/Sanitary - Catch Basin	Mill Street From: Leeson Street To: Emma Street	CatchBasin - Mill Street	2169	48				0	2069	2069	2169	48
3253		Storm/Sanitary - Catch Basin	Mill Street From: Emma Street To: Main Street	CatchBasin - Mill Street	2169	48				0	2069	2069	2169	48
3254		Storm/Sanitary - Catch Basin	Mill Street From: Emma Street To: Main Street	CatchBasin - Mill Street	2169	48				0	2069	2069	2169	48
3255		Storm/Sanitary - Catch Basin	Mill Street From: Emma Street To: Main Street	CatchBasin - Mill Street	2169	48				0	2069	2069	2169	48
3256		Storm/Sanitary - Catch Basin	Main Street From: Water Street To: Mill Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
3257		Storm/Sanitary - Catch Basin	Mill Street From: Emma Street To: Main Street	CatchBasin - Mill Street	2169	48				0	2069	2069	2169	48
3258		Storm/Sanitary - Catch Basin	Mill Street From: Main Street To: King Street	CatchBasin - Mill Street	2169	48				0	2069	2069	2169	48
3259		Storm/Sanitary - Catch Basin	Mill Street From: Main Street To: King Street	CatchBasin - Mill Street	2169	48				0	2069	2069	2169	48
3260		Storm/Sanitary - Catch Basin	Mill Street From: King Street To: Pondsford Street	DoubleCatchBasin - King @ Mill Street	2169	48				0	2069	2069	2169	48
3261		Storm/Sanitary - Catch Basin	Mill Street From: King Street To: Pondsford Street	CatchBasin - Mill Street	2169	48				0	2069	2069	2169	48
3262		Storm/Sanitary - Catch Basin	Pondsford Street From: Mill Street To: Amaranth Street	CatchBasin - Pondsford Street	2169	48				0	2069	2069	2169	48
3263		Storm/Sanitary - Catch Basin	Pondsford Street From: Mill Street To: Amaranth Street	CatchBasin - Pondsford Street	2169	48				0	2069	2069	2169	48
3264		Storm/Sanitary - Catch Basin	King Street From: Mill Street To: Amaranth Street	CatchBasin - King Street	2169	48				0	2069	2069	2169	48
3265		Storm/Sanitary - Catch Basin	King Street From: Mill Street To: Amaranth Street	CatchBasin - King Street	2169	48				0	2069	2069	2169	48
3266		Storm/Sanitary - Catch Basin	King Street From: Mill Street To: Amaranth Street	CatchBasin - King Street	2169	48				0	2069	2069	2169	48
3267		Storm/Sanitary - Catch Basin	Spruyt Avenue From: Main Street To: Crozier Street	CatchBasin - Spruyt Avenue	2169	48				0	2069	2069	2169	48
3268		Storm/Sanitary - Catch Basin	Lower Crozier Street From: Gier Street To: End	ManholeCatchBasin - Lower Crozier Street	2169	48				0	2069	2069	2169	48
3269		Storm/Sanitary - Catch Basin	Crozier Street From: Gier Street To: Webb Street	ManholeCatchBasin - Crozier Street	2169	48				0	2069	2069	2169	48
3270		Storm/Sanitary - Catch Basin	Crozier Street From: Amaranth Street To: Gier Street	CatchBasin - Crozier Street	2169	48				0	2069	2069	2169	48
3271		Storm/Sanitary - Catch Basin	Crozier Street From: Amaranth Street To: Gier Street	ManholeCatchBasin - Crozier Street	2169	48				0	2069	2069	2169	48
4091		Storm/Sanitary - Catch Basin	Scott Street From: Bielby Street To: End (west)	Catchbasin - Scott Street	2169	48				0	2069	2069	2169	48
4092		Storm/Sanitary - Catch Basin	Leeson Street From: 175m S Of Mill Street To: Mill Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
4093		Storm/Sanitary - Catch Basin	Mill Street From: Leeson Street To: Emma Street	CatchBasin - Mill Street	2169	48				0	2069	2069	2169	48
4094		Storm/Sanitary - Catch Basin	Leeson Street From: Amaranth Street To: Douglas Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
4095		Storm/Sanitary - Catch Basin	Leeson Street From: Amaranth Street To: Douglas Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
4096		Storm/Sanitary - Catch Basin	Leeson Street From: Amaranth Street To: Douglas Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
4097		Storm/Sanitary - Catch Basin	Leeson Street From: Amaranth Street To: Douglas Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
4098		Storm/Sanitary - Catch Basin	Douglas Street From: Leeson Street To: Emma Street	CatchBasin - Douglas Street	2169	48				0	2069	2069	2169	48
4099		Storm/Sanitary - Catch Basin	Douglas Street From: Leeson Street To: Emma Street	CatchBasin - Douglas Steet	2169	48				0	2069	2069	2169	48
4100		Storm/Sanitary - Catch Basin	Emma Street From: Amaranth Street To: Douglas Street	CatchBasin - Emma Street	2169	48				0	2069	2025	2125	4
4101		Storm/Sanitary - Catch Basin	Emma Street From: Amaranth Street To: Douglas Street	CatchBasin - Emma Street	2169	48				0	2069	2025	2125	4
4102		Storm/Sanitary - Catch Basin	Emma Street From: Amaranth Street To: Douglas Street	CatchBasin - Emma Street	2169	48				0	2069	2025	2125	4
4103		Storm/Sanitary - Catch Basin	Emma Street From: Amaranth Street To: Douglas Street	CatchBasin - Emma Street	2169	48				0	2069	2025	2125	4
4104		Storm/Sanitary - Catch Basin	Emma Street From: Mill Street To: Amaranth Street	CatchBasin - Emma Street	2169	48				0	2069	2069	2169	48
4105		Storm/Sanitary - Catch Basin	Main Street From: River Street To: George Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
4106		Storm/Sanitary - Catch Basin	Main Street From: River Street To: George Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
4107		Storm/Sanitary - Catch Basin	Main Street From: River Street To: George Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
4108		Storm/Sanitary - Catch Basin	Water Street From: Emma Street To: William Street	CatchBasin - Water Street	2169	48				0	2069	2069	2169	48
4109		Storm/Sanitary - Catch Basin	Water Street From: William Street To: Main Street	CatchBasin - Water Street	2169	48				0	2069	2069	2169	48

Grand Valley  
Storm/Sanitary - Catch Basin Inventory

Expected Levels of Service  
Replacement/Improvement Year Based on Expected Levels Service

Fixed Asset #	Map Link	Subtype	Road Name	Asset Name	Subsequent Replacement Year	Revised Remaining Useful Life	Rehabilitation Cost (2022)	Year for Rehabilitation	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life
							\$ -							
4110		Storm/Sanitary - Catch Basin	Water Street From: William Street To: Main Street	CatchBasin - Water Street	2169	48				0	2069	2069	2169	48
4111		Storm/Sanitary - Catch Basin	Main Street From: Water Street To: Mill Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
4112		Storm/Sanitary - Catch Basin	Main Street From: Mill Street To: Amaranth Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
4113		Storm/Sanitary - Catch Basin	Main Street From: Mill Street To: Amaranth Street	Double CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
4114		Storm/Sanitary - Catch Basin	Crozier Street From: Amaranth Street To: Gier Street	CatchBasin - Crozier Street	2169	48				0	2069	2069	2169	48
4115		Storm/Sanitary - Catch Basin	Amaranth Street From: Pondsford Street To: Bielby Street	CatchBasin - Amaranth Street	2169	48				0	2069	2069	2169	48
4116		Storm/Sanitary - Catch Basin	Bielby Street From: Amaranth Street To: Gier Street	CatchBasin - Bielby Street	2169	48				0	2069	2069	2169	48
4117		Storm/Sanitary - Catch Basin	Bielby Street From: Amaranth Street To: Gier Street	CatchBasin - Bielby Street	2169	48				0	2069	2069	2169	48
4118		Storm/Sanitary - Catch Basin	Concession Road 2-3	CatchBasin - Concession Road 2-3	2169	48				0	2069	2069	2169	48
4119		Storm/Sanitary - Catch Basin	Concession Road 2-3	CatchBasin - Concession Road 2-3	2169	48				0	2069	2069	2169	48
4120		Storm/Sanitary - Catch Basin	Concession Road 2-3	CatchBasin - Concession Road 2-3	2169	48				0	2069	2069	2169	48
4121		Storm/Sanitary - Catch Basin	Concession Road 2-3	CatchBasin - Concession Road 2-3	2169	48				0	2069	2069	2169	48
4122		Storm/Sanitary - Catch Basin	King Street From: Mill Street To: Amaranth Street	CatchBasin - 11 King Street	2169	48				0	2069	2069	2169	48
4123		Storm/Sanitary - Catch Basin	King Street From: Mill Street To: Amaranth Street	CatchBasin - King Street	2169	48				0	2069	2069	2169	48
4124		Storm/Sanitary - Catch Basin	King Street From: Mill Street To: Amaranth Street	CatchBasin - King Street	2169	48				0	2069	2069	2169	48
4125		Storm/Sanitary - Catch Basin	King Street From: Mill Street To: Amaranth Street	CatchBasin - King @ Mill Street	2169	48				0	2069	2069	2169	48
4126		Storm/Sanitary - Catch Basin	Mill Street From: Main Street To: King Street	CatchBasin - King @ Mill Street	2169	48				0	2069	2069	2169	48
4127		Storm/Sanitary - Catch Basin	Mill Street From: King Street To: Pondsford Street	CatchBasin - King @ Mill Street	2169	48				0	2069	2069	2169	48
4128		Storm/Sanitary - Catch Basin	Mill Street From: Main Street To: King Street	CatchBasin - Mill Street	2169	48				0	2069	2069	2169	48
4129		Storm/Sanitary - Catch Basin	Mill Street From: Main Street To: King Street	CatchBasin - Mill Street	2169	48				0	2069	2069	2169	48
4130		Storm/Sanitary - Catch Basin	Mill Street From: Main Street To: King Street	CatchBasin - Mill Street	2169	48				0	2069	2069	2169	48
4131		Storm/Sanitary - Catch Basin	Mill Street From: King Street To: Pondsford Street	CatchBasin - Mill Street	2169	48				0	2069	2069	2169	48
4132		Storm/Sanitary - Catch Basin	Mill Street From: King Street To: Pondsford Street	CatchBasin - Mill Street	2169	48				0	2069	2069	2169	48
4133		Storm/Sanitary - Catch Basin	Mill Street From: King Street To: Pondsford Street	CatchBasin - Mill Street	2169	48				0	2069	2069	2169	48
4134		Storm/Sanitary - Catch Basin	Ponsford Street From: Mill Street To: Amaranth Street	CatchBasin - Ponsford Street	2169	48				0	2069	2069	2169	48
4135		Storm/Sanitary - Catch Basin	Gier Street From: Crozier Street To: Bielby Street	CatchBasin - Gier Street	2169	48				0	2069	2069	2169	48
4136		Storm/Sanitary - Catch Basin	Gier Street From: Crozier Street To: Bielby Street	CatchBasin - Gier Street	2169	48				0	2069	2069	2169	48
4137		Storm/Sanitary - Catch Basin	Gier Street From: Crozier Street To: Bielby Street	CatchBasin - Gier Street	2169	48				0	2069	2069	2169	48
4138		Storm/Sanitary - Catch Basin	Gier Street From: Crozier Street To: Bielby Street	CatchBasin - Gier Street	2169	48				0	2069	2069	2169	48
4139		Storm/Sanitary - Catch Basin	Scott Street From: Bielby Street To: End (west)	CatchBasin - Scott Street	2169	48				0	2069	2069	2169	48
4140		Storm/Sanitary - Catch Basin	Scott Street From: Bielby Street To: End (west)	CatchBasin - Scott Street	2169	48				0	2069	2069	2169	48
4141		Storm/Sanitary - Catch Basin	Bielby Street From: Gier Street To: Scott Street	CatchBasin - Bielby Street	2169	48				0	2069	2069	2169	48
4142		Storm/Sanitary - Catch Basin	Bielby Street From: Gier Street To: Scott Street	CatchBasin - Bielby Street	2169	48				0	2069	2069	2169	48
4143		Storm/Sanitary - Catch Basin	Bielby Street From: Gier Street To: Scott Street	CatchBasin - 58 Bielby Street	2169	48				0	2069	2069	2169	48
4144		Storm/Sanitary - Catch Basin	Main Street From: Amaranth Street To: Webb Street	CatchBasin - Main Street	2169	48				0	2069	2069	2169	48
4145		Storm/Sanitary - Catch Basin	Fife Road From: Main Street To: Joyce Court	CatchBasin - Fife Road	2169	48				0	2069	2069	2169	48
4146		Storm/Sanitary - Catch Basin	Fife Road From: Main Street To: Joyce Court	CatchBasin - Fife Road	2169	48				0	2069	2069	2169	48
4147		Storm/Sanitary - Catch Basin	Joyce Court From: Fife Road To: End (cul-de-sac)	CatchBasin - Joyce Court	2169	48				0	2069	2069	2169	48
4148		Storm/Sanitary - Catch Basin	Joyce Court From: Fife Road To: End (cul-de-sac)	CatchBasin - Joyce Court	2169	48				0	2069	2069	2169	48
4149		Storm/Sanitary - Catch Basin	Joyce Court From: Fife Road To: End (cul-de-sac)	CatchBasin - Joyce Court	2169	48				0	2069	2069	2169	48
4150		Storm/Sanitary - Catch Basin	Fife Road From: Joyce Court To: Crozier Street	CatchBasin - Fife Road	2169	48				0	2069	2069	2169	48
4151		Storm/Sanitary - Catch Basin	Fife Road From: Joyce Court To: Crozier Street	CatchBasin - Fife Road	2169	48				0	2069	2069	2169	48
4152		Storm/Sanitary - Catch Basin	Fife Road From: Crozier Street To: Mary Court	CatchBasin - Fife Road	2169	48				0	2069	2069	2169	48
4153		Storm/Sanitary - Catch Basin	Fife Road From: Mary Court To: End (cul-de-sac)	CatchBasin - Fife Road	2169	48				0	2069	2069	2169	48



Grand Valley  
Storm/Sanitary - Catch Basin Inventory

Expected Levels of Service  
Replacement/Improvement Year Based on Expected Levels Service

Fixed Asset #	Map Link	Subtype	Road Name	Asset Name	Subsequent Replacement Year	Revised Remaining Useful Life	Rehabilitation Cost (2022)	Year for Rehabilitation	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life
							\$ -							
4154		Storm/Sanitary - Catch Basin	Mary Court From: Fife Road To: End (cul-de-sac)	CatchBasin - Mary Court	2169	48				0	2069	2069	2169	48
4155		Storm/Sanitary - Catch Basin	Mary Court From: Fife Road To: End (cul-de-sac)	CatchBasin - Mary Court	2169	48				0	2069	2069	2169	48
4156		Storm/Sanitary - Catch Basin	Crozier Street From: Spruyt Avenue To: Fife Road	CatchBasin - Crozier Street	2169	48				0	2069	2069	2169	48
4157		Storm/Sanitary - Catch Basin	Crozier Street From: Spruyt Avenue To: Fife Road	CatchBasin -149 Crozier Street	2169	48				0	2069	2069	2169	48
4158		Storm/Sanitary - Catch Basin	Crozier Street From: Spruyt Avenue To: Fife Road	CatchBasin - Crozier Street	2169	48				0	2069	2069	2169	48
4159		Storm/Sanitary - Catch Basin	Crozier Street From: Spruyt Avenue To: Fife Road	CatchBasin - Crozier Street	2169	48				0	2069	2069	2169	48
4160		Storm/Sanitary - Catch Basin	Crozier Street From: Baker Court To: Spruyt Avenue	CatchBasin - Crozier Street	2169	48				0	2069	2069	2169	48
4161		Storm/Sanitary - Catch Basin	Crozier Street From: Webb Street To: Baker Court	CatchBasin - 101 Crozier Street	2169	48				0	2069	2069	2169	48
4162		Storm/Sanitary - Catch Basin	Crozier Street From: Baker Court To: Spruyt Avenue	CatchBasin - Crozier Street	2169	48				0	2069	2069	2169	48
4163		Storm/Sanitary - Catch Basin	Baker Court From: Crozier Street To: End	CatchBasin - Baker Court	2169	48				0	2069	2069	2169	48
4164		Storm/Sanitary - Catch Basin	Baker Court From: Crozier Street To: End	CatchBasin - Baker Court	2169	48				0	2069	2069	2169	48
4165		Storm/Sanitary - Catch Basin	Baker Court From: Crozier Street To: End	CatchBasin - Baker Court	2169	48				0	2069	2069	2169	48
4166		Storm/Sanitary - Catch Basin	Crozier Street From: Webb Street To: Baker Court	CatchBasin - Crozier Street	2169	48				0	2069	2069	2169	48
4167		Storm/Sanitary - Catch Basin	Crozier Street From: Webb Street To: Baker Court	CatchBasin - Crozier Street	2169	48				0	2069	2069	2169	48
4168		Storm/Sanitary - Catch Basin	Crozier Street From: Webb Street To: Baker Court	CatchBasin - Crozier Street	2169	48				0	2069	2069	2169	48
4169		Storm/Sanitary - Catch Basin	Crozier Street From: Webb Street To: Baker Court	CatchBasin - Crozier Street	2169	48				0	2069	2069	2169	48
4170		Storm/Sanitary - Catch Basin	Webb Street From: Main Street To: Crozier Street	CatchBasin - Webb Street	2169	48				0	2069	2069	2169	48
4171		Storm/Sanitary - Catch Basin	Webb Street From: Main Street To: Crozier Street	CatchBasin - Webb Street	2169	48				0	2069	2069	2169	48
4172		Storm/Sanitary - Catch Basin	Crozier Street From: Gier Street To: Webb Street	CatchBasin - Crozier Street	2169	48				0	2069	2069	2169	48
4173		Storm/Sanitary - Catch Basin	Fife Road From: Mary Court To: End (cul-de-sac)	Double CatchBasin - Fife Road	2169	48				0	2069	2069	2169	48
4238		Storm/Sanitary - Catch Basin	Leeson Street From: Amaranth Street To: Douglas Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
4239		Storm/Sanitary - Catch Basin	Leeson Street From: Amaranth Street To: Douglas Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
4240		Storm/Sanitary - Catch Basin	Leeson Street From: Amaranth Street To: Douglas Street	CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
4241		Storm/Sanitary - Catch Basin	Emma Street from Mill St to Amaranth St	CatchBasin - Emma Street	2171	49				0	2070	2070	2170	49
4242		Storm/Sanitary - Catch Basin	West Bank Alley From: Mill Street To: Amaranth Street	CatchBasin - West Bank Alley	2169	48				0	2069	2069	2169	48
4243		Storm/Sanitary - Catch Basin	West Bank Alley From: Mill Street To: Amaranth Street	CatchBasin - West Bank Alley	2169	48				0	2069	2069	2169	48
4244		Storm/Sanitary - Catch Basin	Leeson Street From: Amaranth Street To: Douglas Street	Manhole CatchBasin - Leeson Street	2169	48				0	2069	2069	2169	48
4431		Storm/Sanitary - Catch Basin	Emma Street From: Amaranth Street To: Douglas Street	DOUBLE CATCH BASIN - EMMA STREET	2214	93				0	2114	2114	2214	93
4433		Storm/Sanitary - Catch Basin	Amaranth Street From: Leeson Street To: Emma Street	DOUBLE CATCH BASIN - AMARANTH STREET	2214	93				0	2114	2114	2214	93
4434		Storm/Sanitary - Catch Basin	Amaranth Street From: Leeson Street To: Emma Street	DOUBLE CATCH BASIN - AMARANTH STREET	2214	93				0	2114	2114	2214	93
4435		Storm/Sanitary - Catch Basin	Emma Street From: Mill Street To: Amaranth Street	DOUBLE CATCH BASIN - EMMA STREET	2214	93				0	2114	2114	2214	93
4437		Storm/Sanitary - Catch Basin	Emma Street From: Mill Street To: Amaranth Street	DOUBLE CATCH BASIN - EMMA STREET	2214	93				0	2114	2114	2214	93
4438		Storm/Sanitary - Catch Basin	Emma Street From: Mill Street To: Amaranth Street	CATCH BASIN - AMARANTH STREET	2214	93				0	2114	2114	2214	93
4508		Storm/Sanitary - Catch Basin	West Bank Alley	Catch Basin - West Bank Alley	2214	93				0	2114	2114	2214	93
4509		Storm/Sanitary - Catch Basin	William Street	Double Ditch Inlet Catch Basin - William Street	2213	92				0	2113	2113	2213	92
4510		Storm/Sanitary - Catch Basin	Water Street	Ditch Inlet Catch Basin - Water Street	2169	48				0	2069	2069	2169	48
4511		Storm/Sanitary - Catch Basin	Main Street	Catch Basin - Main Street	2175	54				0	2075	2075	2175	54
4512		Storm/Sanitary - Catch Basin	Amaranth Street	Manhole Catch Basin - Amaranth Street	2175	54				0	2075	2075	2175	54
4513		Storm/Sanitary - Catch Basin	William Street	Double Ditch Inlet Catch Basin - William Street	2213	92				0	2113	2113	2213	92
4514		Storm/Sanitary - Catch Basin	Leeson Street	Double Ditch Inlet Catch Basin - Leeson Street	2213	92				0	2113	2113	2213	92
4515		Storm/Sanitary - Catch Basin	Leeson Street	Double Ditch Inlet Catch Basin - Leeson Street	2213	92				0	2113	2113	2213	92
4516		Storm/Sanitary - Catch Basin	Leeson Street	Double Ditch Inlet Catch Basin - Leeson Street	2213	92				0	2113	2113	2213	92
4517		Storm/Sanitary - Catch Basin	William Street	Double Ditch Inlet Catch Basin - William Street	2213	92				0	2113	2113	2213	92
4518		Storm/Sanitary - Catch Basin	William Street	Double Ditch Inlet Catch Basin - William Street	2213	92				0	2113	2113	2213	92
4519		Storm/Sanitary - Catch Basin	William Street	Double Ditch Inlet Catch Basin - William Street	2213	92				0	2113	2113	2213	92
4520		Storm/Sanitary - Catch Basin	Cooper Street	Ditch Inlet Catch Basin - Cooper Street	2196	75				0	2096	2096	2196	75
4521		Storm/Sanitary - Catch Basin	Cooper Street	Ditch Inlet Catch Basin - Cooper Street	2196	75				0	2096	2096	2196	75
4522		Storm/Sanitary - Catch Basin	Mill Street	Catch Basin - Mill Street	2169	48				0	2069	2069	2169	48
4523		Storm/Sanitary - Catch Basin	William Street	Double Ditch Inlet Catch Basin - William Street	2213	92				0	2113	2113	2213	92
4524		Storm/Sanitary - Catch Basin	Leeson Street	Catch Basin - Leeson Street	2213	92				0	2113	2113	2213	92
4525		Storm/Sanitary - Catch Basin	Cooper Street	Catch Basin - Cooper Street	2169	48				0	2069	2069	2169	48
4526		Storm/Sanitary - Catch Basin	Main Street	Catch Basin - Main Street	2196	75				0	2096	2096	2196	75
4527		Storm/Sanitary - Catch Basin	Main Street	Ditch Inlet Catch Basin Manhole - Main Street	2196	75				0	2096	2096	2196	75
4528		Storm/Sanitary - Catch Basin	Main Street	Catch Basin - Main Street	2169	48				0	2069	2069	2169	48
4529		Storm/Sanitary - Catch Basin	Main Street	Catch Basin - Main Street	2169	48				0	2069	2069	2169	48

Grand Valley  
Storm/Sanitary - Catch Basin Inventory

Expected Levels of Service  
Replacement/Improvement Year Based on Expected Levels Service

Fixed Asset #	Map Link	Subtype	Road Name	Asset Name	Subsequent Replacement Year	Revised Remaining Useful Life	Rehabilitation Cost (2022)	Year for Rehabilitation	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life
							\$ -							
4530		Storm/Sanitary - Catch Basin	William Street	Catch Basin - William Street	2213	92				0	2113	2113	2213	92
4531		Storm/Sanitary - Catch Basin	Concession Rd 2-3	Ditch Inlet Catch Basin - Concession Rd 2-3	2213	92				0	2113	2113	2213	92
4532		Storm/Sanitary - Catch Basin	Concession Rd 2-3	Ditch Inlet Catch Basin - Concession Rd 2-3	2213	92				0	2113	2113	2213	92
4533		Storm/Sanitary - Catch Basin	Concession Rd 2-3	Manhole Catch Basin - Concession Rd 2-3	2213	92				0	2113	2113	2213	92
4534		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive	2213	92				0	2113	2113	2213	92
4535		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive	2213	92				0	2113	2113	2213	92
4536		Storm/Sanitary - Catch Basin	Mill Street	Double Catch Basin - Mill Street	2213	92				0	2113	2113	2213	92
4537		Storm/Sanitary - Catch Basin	Melody Lane	STC 4000 - Melody Lane	2213	92				0	2113	2113	2213	92
4538		Storm/Sanitary - Catch Basin	Monty Ave	STC 2000 - Monty Ave	2213	92				0	2113	2113	2213	92
4539		Storm/Sanitary - Catch Basin	Mill Street	Double Catch Basin - Mill Street	2213	92				0	2113	2113	2213	92
4540		Storm/Sanitary - Catch Basin	Mill Street	Double Catch Basin - Mill Street	2213	92				0	2113	2113	2213	92
4541		Storm/Sanitary - Catch Basin	Mill Street	Double Catch Basin - Mill Street	2213	92				0	2113	2113	2213	92
4542		Storm/Sanitary - Catch Basin	Mill Street	Double Catch Basin - Mill Street	2213	92				0	2113	2113	2213	92
4543		Storm/Sanitary - Catch Basin	Mill Street	Double Catch Basin - Mill Street	2213	92				0	2113	2113	2213	92
4544		Storm/Sanitary - Catch Basin	Taylor Drive	Double Catch Basin - Taylor Drive	2213	92				0	2113	2113	2213	92
4545		Storm/Sanitary - Catch Basin	Taylor Drive	Double Catch Basin - Taylor Drive	2213	92				0	2113	2113	2213	92
4546		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive	2213	92				0	2113	2113	2213	92
4547		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive	2213	92				0	2113	2113	2213	92
4548		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive	2213	92				0	2113	2113	2213	92
4549		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive	2213	92				0	2113	2113	2213	92
4550		Storm/Sanitary - Catch Basin	Street 14	Catch Basin - Street 14	2213	92				0	2113	2113	2213	92
4551		Storm/Sanitary - Catch Basin	Street 14	Catch Basin - Street 14	2213	92				0	2113	2113	2213	92
4552		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive	2213	92				0	2113	2113	2213	92
4553		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive	2213	92				0	2113	2113	2213	92
4554		Storm/Sanitary - Catch Basin	William Street - Backyard	Ditch Inlet Catch Basin - William Street - Backyard	2213	92				0	2113	2113	2213	92
4555		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive	2213	92				0	2113	2113	2213	92
4556		Storm/Sanitary - Catch Basin	Taylor Drive	Double Catch Basin - Taylor Drive	2213	92				0	2113	2113	2213	92
4557		Storm/Sanitary - Catch Basin	Taylor Drive	Double Catch Basin - Taylor Drive	2213	92				0	2113	2113	2213	92
4558		Storm/Sanitary - Catch Basin	Melody Lane	Catch Basin - Melody Lane	2213	92				0	2113	2113	2213	92
4559		Storm/Sanitary - Catch Basin	Melody Lane	Catch Basin - Melody Lane	2213	92				0	2113	2113	2213	92
4560		Storm/Sanitary - Catch Basin	Melody Lane	Double Catch Basin - Melody Lane	2213	92				0	2113	2113	2213	92
4561		Storm/Sanitary - Catch Basin	Melody Lane	Double Catch Basin - Melody Lane	2213	92				0	2113	2113	2213	92
4562		Storm/Sanitary - Catch Basin	Concession Rd 2-3	Rearlot Catch Basin - Concession Rd 2-3	2213	92				0	2113	2113	2213	92
4563		Storm/Sanitary - Catch Basin	Concession Rd 2-3	Manhole Catch Basin - Concession Rd 2-3	2213	92				0	2113	2113	2213	92
4564		Storm/Sanitary - Catch Basin	Concession Rd 2-3	Ditch Inlet Catch Basin - Concession Rd 2-3	2213	92				0	2113	2113	2213	92
4565		Storm/Sanitary - Catch Basin	Concession Rd 2-3	Manhole Catch Basin - Concession Rd 2-3	2213	92				0	2113	2113	2213	92
4566		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive	2213	92				0	2113	2113	2213	92
4567		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive	2213	92				0	2113	2113	2213	92
4568		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive	2213	92				0	2113	2113	2213	92
4569		Storm/Sanitary - Catch Basin	<Null>	Catch Basin - <Null>	2213	92				0	2113	2113	2213	92
4570		Storm/Sanitary - Catch Basin	<Null>	Catch Basin - <Null>	2213	92				0	2113	2113	2213	92
4571		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive	2213	92				0	2113	2113	2213	92
4572		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive	2213	92				0	2113	2113	2213	92
4573		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive	2213	92				0	2113	2113	2213	92
4574		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive	2213	92				0	2113	2113	2213	92
4575		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive	2213	92				0	2113	2113	2213	92
4576		Storm/Sanitary - Catch Basin	Taylor Drive	Catch Basin - Taylor Drive	2213	92				0	2113	2113	2213	92
4577		Storm/Sanitary - Catch Basin	Monty Ave	Double Catch Basin - Monty Ave	2213	92				0	2113	2113	2213	92
4578		Storm/Sanitary - Catch Basin	Monty Ave	Double Catch Basin - Monty Ave	2213	92				0	2113	2113	2213	92
4579		Storm/Sanitary - Catch Basin	Mill Street	Rearlot Catch Basin - Mill Street	2213	92				0	2113	2113	2213	92
4580		Storm/Sanitary - Catch Basin	Mill Street	Rearlot Catch Basin - Mill Street	2213	92				0	2113	2113	2213	92
4581		Storm/Sanitary - Catch Basin	Mill Street	Double Catch Basin - Mill Street	2213	92				0	2113	2113	2213	92
4582		Storm/Sanitary - Catch Basin	Mill Street	Double Catch Basin - Mill Street	2213	92				0	2113	2113	2213	92
4583		Storm/Sanitary - Catch Basin	Street 14	Manhole Catch Basin - Street 14	2213	92				0	2113	2113	2213	92
4584		Storm/Sanitary - Catch Basin	<Null>	Rearlot Catch Basin - <Null>	2213	92				0	2113	2113	2213	92
4585		Storm/Sanitary - Catch Basin	Taylor Rd - Backyard	Double Rearlot Catch Basin - Taylor Rd - Backyard	2213	92				0	2113	2113	2213	92
4586		Storm/Sanitary - Catch Basin	Mill Street	Rearlot Catch Basin - Mill Street	2213	92				0	2113	2113	2213	92
4587		Storm/Sanitary - Catch Basin	Melody Lane	Rearlot Catch Basin - Melody Lane	2213	92				0	2113	2113	2213	92
4588		Storm/Sanitary - Catch Basin	Melody Lane	Catch Basin - Melody Lane	2213	92				0	2113	2113	2213	92
4589		Storm/Sanitary - Catch Basin	Melody Lane	Catch Basin - Melody Lane	2213	92				0	2113	2113	2213	92
4590		Storm/Sanitary - Catch Basin	Melody Lane - Backyard	Rearlot Catch Basin - Melody Lane - Backyard	2213	92				0	2113	2113	2213	92
4591		Storm/Sanitary - Catch Basin	William Street	Catch Basin - William Street	2213	92				0	2113	2113	2213	92
4592		Storm/Sanitary - Catch Basin	Cooper Street	Catch Basin - Cooper Street	2169	48				0	2069	2069	2169	48
4593		Storm/Sanitary - Catch Basin	Cooper Street	Catch Basin - Cooper Street	2169	48				0	2069	2069	2169	48
4594		Storm/Sanitary - Catch Basin	Monty Avenue	Ditch Inlet Catch Basin - Monty Avenue	2192	71				0	2092	2092	2192	71
4595		Storm/Sanitary - Catch Basin	Joyce Court	Catch Basin - Joyce Court	2169	48				0	2069	2069	2169	48
4596		Storm/Sanitary - Catch Basin	Water Street	Ditch Inlet Catch Basin - Water Street	2213	92				0	2113	2113	2213	92
4597		Storm/Sanitary - Catch Basin	Water Street	Ditch Inlet Catch Basin - Water Street	2213	92				0	2113	2113	2213	92
4598		Storm/Sanitary - Catch Basin	Water Street	Ditch Inlet Catch Basin - Water Street	2213	92				0	2113	2113	2213	92
4599		Storm/Sanitary - Catch Basin	Water Street	Manhole Catch Basin - Water Street	2213	92				0	2113	2113	2213	92
4600		Storm/Sanitary - Catch Basin	Water Street	Manhole Ditch Inlet Catch Basin - Water Street	2213	92				0	2113	2113	2213	92
4601		Storm/Sanitary - Catch Basin	Water Street	Ditch Inlet Catch Basin - Water Street	2213	92				0	2113	2113	2213	92
4602		Storm/Sanitary - Catch Basin	Amaranth Street	Catch Basin - Amaranth Street	2169	48				0	2069	2069	2169	48
4603		Storm/Sanitary - Catch Basin	Gier Street	Catch Basin - Gier Street	2169	48				0	2069	2069	2169	48
4604		Storm/Sanitary - Catch Basin	Crozier Street	Catch Basin - Crozier Street	2169	48				0	2069	2069	2169	48
4605		Storm/Sanitary - Catch Basin	Crozier Street	Catch Basin - Crozier Street	2169	48				0	2069	2069	2169	48
4606		Storm/Sanitary - Catch Basin	Crozier Street	Catch Basin - Crozier Street	2169	48				0	2069	2069	2169	48
4607		Storm/Sanitary - Catch Basin	Crozier Street	Catch Basin - Crozier Street	2169	48				0	2069	2069	2169	48
4608		Storm/Sanitary - Catch Basin	Mill Street	Catch Basin - Mill Street	2169	48				0	2069	2069	2169	48
4609		Storm/Sanitary - Catch Basin	River Street	Catch Basin - River Street	2169	48				0	2069	2069	2169	48
4610		Storm/Sanitary - Catch Basin	Leeson Street	Catch Basin - Leeson Street	2169	48				0	2069	2069	2169	48
4611		Storm/Sanitary - Catch Basin	Leeson Street	Catch Basin - Leeson Street	2169	48				0	2069	2069	2169	48

Grand Valley  
Storm/Sanitary - Catch Basin Inventory

Expected Levels of Service  
Replacement/Improvement Year Based on Expected Levels Service

Fixed Asset #	Map Link	Subtype	Road Name	Asset Name	Subsequent Replacement Year	Revised Remaining Useful Life	Rehabilitation Cost (2022)	Year for Rehabilitation	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life
							\$ -							
4612		Storm/Sanitary - Catch Basin	Leeson Street	Catch Basin - Leeson Street	2169	48				0	2069	2069	2169	48
4613		Storm/Sanitary - Catch Basin	Leeson Street	Catch Basin - Leeson Street	2169	48				0	2069	2069	2169	48
4614		Storm/Sanitary - Catch Basin	Leeson Street	Catch Basin - Leeson Street	2169	48				0	2069	2069	2169	48
4615		Storm/Sanitary - Catch Basin	Leeson Street	Catch Basin - Leeson Street	2169	48				0	2069	2069	2169	48
4616		Storm/Sanitary - Catch Basin	Leeson Street	Catch Basin - Leeson Street	2169	48				0	2069	2069	2169	48
5228		CatchBasin	Rear Lot - 10 Main Street	CatchBasin - Rear Lot - 10 Main Street	2169	48				0	2069	2069	2169	48
5236		ManholeCatchBasin	Mount Haven Crescent	ManholeCatchBasin - Mount Haven Crescent	2195	74				0	2095	2095	2195	74
5237		DitchInletCatchBasin	Mount Haven Crescent	DitchInletCatchBasin - Mount Haven Crescent	2195	74				0	2095	2095	2195	74
5238		DitchInletCatchBasin	Mount Haven Crescent	DitchInletCatchBasin - Mount Haven Crescent	2195	74				0	2095	2095	2195	74
5281		CatchBasin	Wastewater Treatment Plant - Industrial Road	CatchBasin - Wastewater Treatment Plant - Industrial Road	2213	92				0	2113	2113	2213	92
5282		RearlotCatchbasin	Rear Lot, East of Crozier Street	RearlotCatchbasin - Rear Lot, East of Crozier Street	2169	48				0	2069	2069	2169	48
5283		CatchBasin	Wastewater Treatment Plant - Industrial Road	CatchBasin - Wastewater Treatment Plant - Industrial Road	2213	92				0	2113	2113	2213	92
5284		CatchBasin	East Back Lane	CatchBasin - East Back Lane	2213	92				0	2113	2113	2213	92
5285		CatchBasin	Wastewater Treatment Plant - Industrial Road	CatchBasin - Wastewater Treatment Plant - Industrial Road	2213	92				0	2113	2113	2213	92
5286		RearlotCatchbasin	Rear Lot, 52 Leeson Street	RearlotCatchbasin - Rear Lot, 52 Leeson Street	2213	92				0	2113	2113	2213	92
5287		CatchBasin	Wastewater Treatment Plant - Industrial Road	CatchBasin - Wastewater Treatment Plant - Industrial Road	2213	92				0	2113	2113	2213	92
5351		DoubleCatchBasin	Stub Street Off Taylor Drive	DoubleCatchBasin - Stub Street Off Taylor Drive	2216	95				0	2116	2116	2216	95
5352		DoubleCatchBasin	Stub Street Off Taylor Drive	DoubleCatchBasin - Stub Street Off Taylor Drive	2216	95				0	2116	2116	2216	95
5377	4510	DitchInletCatchBasin	Water Street	Ditch Inlet Catch Basin - Water Street	2169	48				0	2069	2069	2169	48
5378	4511	CatchBasin	Main Street	Catch Basin - Main Street	2175	54				0	2075	2075	2175	54
5379	4520	DitchInletCatchBasin	Cooper Street	Ditch Inlet Catch Basin - Cooper Street	2196	75				0	2096	2096	2196	75
5380	4522	CatchBasin	Mill Street	Catch Basin - Mill Street	2169	48				0	2069	2069	2169	48
5381	4526	CatchBasin	Main Street	Catch Basin - Main Street	2196	75				0	2096	2096	2196	75
5382	4527	DitchInletCatchBasinManhole	Main Street	Ditch Inlet Catch Basin Manhole - Main Street	2196	75				0	2096	2096	2196	75
5383	4528	CatchBasin	Main Street	Catch Basin - Main Street	2169	48				0	2069	2069	2169	48
5384	4529	CatchBasin	Main Street	Catch Basin - Main Street	2169	48				0	2069	2069	2169	48
5550	4509	DoubleDitchInletCatchBasinTayloratso uthofStormPond	Taylor at south of Storm Pond on East	Double Ditch Inlet Catch Basin - Taylor at south of Storm Pond on East	2213	92				0	2113	2113	2213	92
5551	4513	DoubleDitchInletCatchBasinTayloratso uthofStormPond	Taylor at south of Storm Pond on East	Double Ditch Inlet Catch Basin - Taylor at south of Storm Pond on East	2213	92				0	2113	2113	2213	92
5552	4514	DoubleDitchInletCatchBasin	Leeson Street	Double Ditch Inlet Catch Basin - Leeson Street	2213	92				0	2113	2113	2213	92
5553	4515	DoubleDitchInletCatchBasin	Leeson Street	Double Ditch Inlet Catch Basin - Leeson Street	2213	92				0	2113	2113	2213	92
5554	4516	DoubleDitchInletCatchBasin	Leeson Street	Double Ditch Inlet Catch Basin - Leeson Street	2213	92				0	2113	2113	2213	92
5555	4517	DoubleDitchInletCatchBasin	William Street	Double Ditch Inlet Catch Basin - William Street	2213	92				0	2113	2113	2213	92
5556	4518	DoubleDitchInletCatchBasin	William Street	Double Ditch Inlet Catch Basin - William Street	2213	92				0	2113	2113	2213	92
5557	4519	DoubleDitchInletCatchBasin	William Street	Double Ditch Inlet Catch Basin - William Street	2213	92				0	2113	2113	2213	92
5558	4523	DoubleDitchInletCatchBasin	William Street	Double Ditch Inlet Catch Basin - William Street	2213	92				0	2113	2113	2213	92
5559	4524	CatchBasin	Leeson Street	Catch Basin - Leeson Street	2213	92				0	2113	2113	2213	92
5560	4530	CatchBasin	William Street	Catch Basin - William Street	2213	92				0	2113	2113	2213	92
5561	4531	DitchInletCatchBasin	Concession Rd 2-3	Ditch Inlet Catch Basin - Concession Rd 2-3	2213	92				0	2113	2113	2213	92
5562	4532	DitchInletCatchBasin	Concession Rd 2-3	Ditch Inlet Catch Basin - Concession Rd 2-3	2213	92				0	2113	2113	2213	92
5563	4533	ManholeCatchBasin	Concession Rd 2-3	Manhole Catch Basin - Concession Rd 2-3	2213	92				0	2113	2113	2213	92
5564	4534	CatchBasin	Taylor Drive	Catch Basin - Taylor Drive	2213	92				0	2113	2113	2213	92
5565	4535	CatchBasin	Taylor Drive	Catch Basin - Taylor Drive	2213	92				0	2113	2113	2213	92
5566	4536	DoubleCatchBasin	Mill Street	Double Catch Basin - Mill Street	2213	92				0	2113	2113	2213	92
5567	4537	STC	Melody Lane	STC 4000 - Melody Lane	2213	92				0	2113	2113	2213	92
5568	4538	STC	Monty Ave	STC 2000 - Monty Ave	2213	92				0	2113	2113	2213	92
5642		CatchBasin		CATCH BASIN - MILL ST @ EMMA ST	2220	99				0	2120	2120	2220	99
7399		DoubleCatchBasin		DDICB.10	2215	94				0	2115	2115	2215	94
7400		CatchBasin		CB.39	2215	94				0	2115	2115	2215	94
7401		CatchBasin		CB.40	2215	94				0	2115	2115	2215	94
7402		CatchBasin		CB.47	2215	94				0	2115	2115	2215	94
7403		CatchBasin		CB.48	2215	94				0	2115	2115	2215	94
7404		CatchBasin		CB.49	2215	94				0	2115	2115	2215	94
7405		CatchBasin		CB.50	2215	94				0	2115	2115	2215	94
7406		CatchBasin		CB.51	2215	94				0	2115	2115	2215	94
7407		CatchBasin		CB.52	2215	94				0	2115	2115	2215	94
7408		CatchBasin		CB.43	2215	94				0	2115	2115	2215	94
7409		CatchBasin		CB.44	2215	94				0	2115	2115	2215	94
7410		CatchBasin		CB.41	2215	94				0	2115	2115	2215	94
7411		CatchBasin		CB.42	2215	94				0	2115	2115	2215	94
7412		CatchBasin		CB.45	2215	94				0	2115	2115	2215	94
7413		CatchBasin		CB.46	2215	94				0	2115	2115	2215	94
7414		CatchBasin		CB.37	2215	94				0	2115	2115	2215	94
7415		CatchBasin		CB.38	2215	94				0	2115	2115	2215	94
7416		DoubleCatchBasin		DCB.17	2215	94				0	2115	2115	2215	94
7417		DoubleCatchBasin		DCB.18	2215	94				0	2115	2115	2215	94
7418		CatchBasin		CB.15	2215	94				0	2115	2115	2215	94
7419		CatchBasin		CB.16	2215	94				0	2115	2115	2215	94
7420		DoubleCatchBasin		DCB.29	2215	94				0	2115	2115	2215	94
7421		DoubleCatchBasin		DCB.30	2215	94				0	2115	2115	2215	94
7422		CatchBasin		CB.27	2215	94				0	2115	2115	2215	94
7423		CatchBasin		CB.28	2215	94				0	2115	2115	2215	94
7424		CatchBasin		CB.21	2215	94				0	2115	2115	2215	94
7425		CatchBasin		CB.22	2215	94				0	2115	2115	2215	94
7426		CatchBasin		CB.23	2215	94				0	2115	2115	2215	94
7427		CatchBasin		CB.24	2215	94				0	2115	2115	2215	94
7428		CatchBasin		CB.26	2215	94				0	2115	2115	2215	94

Grand Valley  
Storm/Sanitary - Catch Basin Inventory

Expected Levels of Service  
Replacement/Improvement Year Based on Expected Levels Service

Fixed Asset #	Map Link	Subtype	Road Name	Asset Name	Subsequent Replacement Year	Revised Remaining Useful Life	Rehabilitation Cost (2022)	Year for Rehabilitation	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life
							\$ -							
7429		CatchBasin		CB.25	2215	94				0	2115	2115	2215	94
7430		CatchBasin		CB.2	2215	94				0	2115	2115	2215	94
7431		CatchBasin		CB.1	2215	94				0	2115	2115	2215	94
7432		CatchBasin		CB.14	2215	94				0	2115	2115	2215	94
7433		CatchBasin		CB.13	2215	94				0	2115	2115	2215	94
7434		DoubleCatchBasin		DDICB.9	2215	94				0	2115	2115	2215	94
7435		DoubleCatchBasin		DDICB.8	2215	94				0	2115	2115	2215	94
7436				RYCB.14	2215	94				0	2115	2115	2215	94
7437				RYCB.13	2215	94				0	2115	2115	2215	94
7438				RYCB.6	2215	94				0	2115	2115	2215	94
7439		DoubleCatchBasin		DICB.7	2215	94				0	2115	2115	2215	94
7440		CatchBasin		CB.12	2215	94				0	2115	2115	2215	94
7441		CatchBasin		CB.11	2215	94				0	2115	2115	2215	94
7442		CatchBasin		CB.9	2215	94				0	2115	2115	2215	94
7443		CatchBasin		CB.10	2215	94				0	2115	2115	2215	94
7444		CatchBasin		CB.8	2215	94				0	2115	2115	2215	94
7445		CatchBasin		CB.7	2215	94				0	2115	2115	2215	94
7446		DoubleCatchBasin		DCB.5	2215	94				0	2115	2115	2215	94
7447		DoubleCatchBasin		DCB.6	2215	94				0	2115	2115	2215	94
7448				RYCB.2	2215	94				0	2115	2115	2215	94
7449		CatchBasin		CB.20	2215	94				0	2115	2115	2215	94
7450		CatchBasin		CB.19	2215	94				0	2115	2115	2215	94
7451		DoubleCatchBasin		DCB.53	2215	94				0	2115	2115	2215	94
7452		CatchBasin		CB.36	2215	94				0	2115	2115	2215	94
7453		CatchBasin		CB.35	2215	94				0	2115	2115	2215	94
7454		CatchBasin		CB.33	2215	94				0	2115	2115	2215	94
7455		CatchBasin		CB.34	2215	94				0	2115	2115	2215	94
7456		DoubleCatchBasin		DCB.31	2215	94				0	2115	2115	2215	94
7457		DoubleCatchBasin		DCB.32	2215	94				0	2115	2115	2215	94
7458		DoubleCatchBasin		DICB.19	2215	94				0	2115	2115	2215	94
7459		DoubleCatchBasin		DICB.15	2215	94				0	2115	2115	2215	94
7460				RYCB.5	2215	94				0	2115	2115	2215	94
7461				RYCB.3	2215	94				0	2115	2115	2215	94
7462				RYCB.1	2215	94				0	2115	2115	2215	94
7463		DoubleCatchBasin		DCB.4	2215	94				0	2115	2115	2215	94
7464		DoubleCatchBasin		DCB.3	2215	94				0	2115	2115	2215	94
7465		DoubleCatchBasin		DDICB.11	2215	94				0	2115	2115	2215	94
7467				RYCB.17	2215	94				0	2115	2115	2215	94
7476		DoubleCatchBasin		DICB.18	2215	94				0	2115	2115	2215	94
7711				RYCB.4	2215	94				0	2115	2115	2215	94
7712		DoubleCatchBasin		DDICB.12	2215	94				0	2115	2115	2215	94
7713				RYCB.7	2215	94				0	2115	2115	2215	94

Grand Valley  
Storm/Sanitary Manhole Inventory

Fixed Asset #	Subtype	Road Name	Asset Name	Access diameter (mm)	Access Type	Water Type	Install Year	Useful Life	Remaining Useful Life	Age	Historic Cost	2020 Accumulated Amortization System	2020 Net Book Value System	Replacement Cost	Condition Based On Useful Life	Assessed Condition	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected Condition)	Consequence of Failure	Risk of Failure	
									83.7	16	\$ 712,149	\$ 29,147	\$ 683,002	\$ 1,090,000			8.2					
3576	Storm/Sanitary - Manhole	Main Street From: River Street To: George Street	Storm Manhole - Main Street	1200	Cover	Storm	1969	100	48	52	\$626	\$319	\$307	\$10,000	5		5	Average	Possible	Moderate	M	
4174	Storm/Sanitary - Manhole	Melody Lane From: Water Street To: Leeson Street	Storm Manhole - Melody Lane	1500	Manhole Cover	Storm Runoff	1992	100	71	29	\$2,601	\$728	\$1,872	\$15,000	7		7	Good	Unlikely	Moderate	M	
4175	Storm/Sanitary - Manhole	Melody Lane From: Water Street To: Leeson Street	Storm Manhole - Melody Lane	1500	Manhole Cover	Storm Runoff	1992	100	71	29	\$2,601	\$728	\$1,872	\$15,000	7		7	Good	Unlikely	Moderate	M	
4176	Storm/Sanitary - Manhole	Melody Lane From: Leeson Street To: End	Storm Manhole - Melody Lane	1500	Manhole Cover	Storm Runoff	1992	100	71	29	\$2,601	\$728	\$1,872	\$15,000	7		7	Good	Unlikely	Moderate	M	
4177	Storm/Sanitary - Manhole	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	Storm Manhole - Leeson Street	1500	Manhole Cover	Storm Runoff	1992	100	71	29	\$2,601	\$728	\$1,872	\$15,000	7		7	Good	Unlikely	Moderate	M	
4178	Storm/Sanitary - Manhole	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	Storm Manhole - Leeson Street	1500	Manhole Cover	Storm Runoff	1992	100	71	29	\$2,601	\$728	\$1,872	\$15,000	7		7	Good	Unlikely	Moderate	M	
4179	Storm/Sanitary - Manhole	Monty Avenue From: Leeson Street To: End of 1992 development	Storm Manhole - Monty Avenue	1500	Manhole Cover	Storm Runoff	1992	100	71	29	\$2,601	\$728	\$1,872	\$15,000	7		7	Good	Unlikely	Moderate	M	
4180	Storm/Sanitary - Manhole	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	Storm Manhole - Leeson Street	1500	Manhole Cover	Storm Runoff	1992	100	71	29	\$2,601	\$728	\$1,872	\$15,000	7		7	Good	Unlikely	Moderate	M	
4181	Storm/Sanitary - Manhole	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	Storm Manhole - Leeson Street	1500	Manhole Cover	Storm Runoff	1992	100	71	29	\$2,601	\$728	\$1,872	\$15,000	7		7	Good	Unlikely	Moderate	M	
4182	Storm/Sanitary - Manhole	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	Storm Manhole - Leeson Street	1500	Manhole Cover	Storm Runoff	1992	100	71	29	\$2,601	\$728	\$1,872	\$15,000	7		7	Good	Unlikely	Moderate	M	
4183	Storm/Sanitary - Manhole	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	Storm Manhole - Leeson Street	1500	Manhole Cover	Storm Runoff	1992	100	71	29	\$2,601	\$728	\$1,872	\$15,000	7		7	Good	Unlikely	Moderate	M	
4184	Storm/Sanitary - Manhole	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	Storm Manhole - Leeson Street	1500	Manhole Cover	Storm Runoff	1992	100	71	29	\$2,601	\$728	\$1,872	\$15,000	7		7	Good	Unlikely	Moderate	M	
4185	Storm/Sanitary - Manhole	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	Storm Manhole - Leeson Street	1500	Manhole Cover	Storm Runoff	1992	100	71	29	\$2,601	\$728	\$1,872	\$15,000	7		7	Good	Unlikely	Moderate	M	
4186	Storm/Sanitary - Manhole	Emma Street From: Mill Street To: Amaranth Street	Manhole - Emma Street	1500	Manhole Cover	Storm Runoff	1969	100	48	52	\$626	\$319	\$307	\$15,000	5		5	Average	Possible	Moderate	M	
4187	Storm/Sanitary - Manhole	Mill Street From: Emma Street To: Main Street	Manhole - Mill Street	1500	Manhole Cover	Storm Runoff	1969	100	48	52	\$626	\$319	\$307	\$15,000	5		5	Average	Possible	Moderate	M	
4188	Storm/Sanitary - Manhole	Amaranth Street From: Main Street To: King Street	Manhole - Amaranth Street	1500	Manhole Cover	Storm Runoff	1969	100	48	52	\$626	\$319	\$307	\$15,000	5		5	Average	Possible	Moderate	M	
4189	Storm/Sanitary - Manhole	Main Street From: Amaranth Street To: Webb Street	Manhole - Main Street	1500	Manhole Cover	Storm Runoff	1969	100	48	52	\$626	\$319	\$307	\$15,000	5		5	Average	Possible	Moderate	M	
4190	Storm/Sanitary - Manhole	Fife Road From: Main Street To: Joyce Court	Manhole - Fife Road	1200	Manhole Cover	Storm Runoff	1969	100	48	52	\$626	\$319	\$307	\$10,000	5		5	Average	Possible	Moderate	M	
4191	Storm/Sanitary - Manhole	Fife Road From: Main Street To: Joyce Court	Manhole - Fife Road	1200	Manhole Cover	Storm Runoff	1969	100	48	52	\$626	\$319	\$307	\$10,000	5		5	Average	Possible	Moderate	M	
4192	Storm/Sanitary - Manhole	Fife Road From: Joyce Court To: Crozier Street	Manhole - Fife Road	1200	Manhole Cover	Storm Runoff	1969	100	48	52	\$626	\$319	\$307	\$10,000	5		5	Average	Possible	Moderate	M	
4193	Storm/Sanitary - Manhole	Fife Road From: Mary Court To: End (cul-de-sac)	Manhole - Fife Road	1200	Manhole Cover	Storm Runoff	1969	100	48	52	\$626	\$319	\$307	\$10,000	5		5	Average	Possible	Moderate	M	
4194	Storm/Sanitary - Manhole	Crozier Street From: Spruyt Avenue To: Fife Road	Manhole - Crozier Street	1200	Manhole Cover	Storm Runoff	1969	100	48	52	\$626	\$319	\$307	\$10,000	5		5	Average	Possible	Moderate	M	
4195	Storm/Sanitary - Manhole	Crozier Street From: Spruyt Avenue To: Fife Road	Manhole - Crozier Street	1200	Manhole Cover	Storm Runoff	1969	100	48	52	\$626	\$319	\$307	\$10,000	5		5	Average	Possible	Moderate	M	
4196	Storm/Sanitary - Manhole	Crozier Street From: Baker Court To: Spruyt Avenue	Manhole - Crozier Street	1200	Manhole Cover	Storm Runoff	1969	100	48	52	\$626	\$319	\$307	\$10,000	5		5	Average	Possible	Moderate	M	
4197	Storm/Sanitary - Manhole	Crozier Street From: Baker Court To: Spruyt Avenue	Manhole - Crozier Street	1200	Manhole Cover	Storm Runoff	1969	100	48	52	\$626	\$319	\$307	\$10,000	5		5	Average	Possible	Moderate	M	
4198	Storm/Sanitary - Manhole	Crozier Street From: Webb Street To: Baker Court	Manhole - Crozier Street	1200	Manhole Cover	Storm Runoff	1969	100	48	52	\$626	\$319	\$307	\$10,000	5		5	Average	Possible	Moderate	M	
4199	Storm/Sanitary - Manhole	Crozier Street From: Webb Street To: Baker Court	Manhole - Crozier Street	1200	Manhole Cover	Storm Runoff	1969	100	48	52	\$626	\$319	\$307	\$10,000	5		5	Average	Possible	Moderate	M	
4200	Storm/Sanitary - Manhole	Crozier Street From: Webb Street To: Baker Court	Manhole - Crozier Street	1200	Manhole Cover	Storm Runoff	1969	100	48	52	\$626	\$319	\$307	\$10,000	5		5	Average	Possible	Moderate	M	
4425	Storm/Sanitary - Manhole	Emma Street Inland	STORM MANHOLE #1	1800	Manhole Cover	Storm	2014	100	93	7	\$7,505	\$450	\$7,055	\$15,000	9		9	Very Good	Rare	Moderate	L	
4426	Storm/Sanitary - Manhole	Emma Street Inland	STORM MANHOLE #2	1800	Manhole Cover	Storm	2014	100	93	7	\$7,917	\$475	\$7,442	\$15,000	9		9	Very Good	Rare	Moderate	L	
4427	Storm/Sanitary - Manhole	Emma Street From: Amaranth Street To: Douglas Street	STORM MANHOLE #3	2400	Manhole Cover	Storm	2014	100	93	7	\$14,348	\$861	\$13,487	\$20,000	9		9	Very Good	Rare	Moderate	L	
4428	Storm/Sanitary - Manhole	Emma Street From: Mill Street To: Amaranth Street	STORM MANHOLE #4	2400	Manhole Cover	Storm	2014	100	93	7	\$14,348	\$861	\$13,487	\$20,000	9		9	Very Good	Rare	Moderate	L	
4429	Storm/Sanitary - Manhole	Emma Street From: Mill Street To: Amaranth Street	STORM MANHOLE #5	1200	Manhole Cover	Storm	2014	100	93	7	\$4,861	\$292	\$4,569	\$10,000	9		9	Very Good	Rare	Moderate	L	
4430	Storm/Sanitary - Manhole	Amaranth Street From: Emma Street To: Main Street	STORM MANHOLE #6	1800	Manhole Cover	Storm	2014	100	93	7	\$9,440	\$566	\$8,874	\$15,000	9		9	Very Good	Rare	Moderate	L	
4619	Storm/Sanitary - Manhole	Crozier Street	Storm Manhole - Crozier Street	1200	Manhole Cover	Storm	1969	100	48	52	\$575	\$293	\$282	\$10,000	5		5	Average	Possible	Moderate	M	
4620	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor at south of Storm Pond on East	2400	Manhole Cover	Storm	2013	100	92	8	\$14,000	\$149	\$13,851	\$20,000	9		9	Very Good	Rare	Moderate	L	
4621	Storm/Sanitary - Manhole	William Street	Storm Manhole - William Street at Lesson	2400	Manhole Cover	Storm	2013	100	92	8	\$14,000	\$149	\$13,851	\$20,000	9		9	Very Good	Rare	Moderate	L	
4623	Storm/Sanitary - Manhole	William Street	Storm Manhole - William Street between Lesson and Emma	2400	Manhole Cover	Storm	2013	100	92	8	\$14,000	\$149	\$13,851	\$20,000	9		9	Very Good	Rare	Moderate	L	
4624	Storm/Sanitary - Manhole	William Street	Storm Manhole - William Street at Emma	2400	Manhole Cover	Storm	2013	100	92	8	\$14,000	\$149	\$13,851	\$20,000	9		9	Very Good	Rare	Moderate	L	
4625	Storm/Sanitary - Manhole	William Street	Storm Manhole - William Street at Water Street	3900 x 2400	Manhole Cover	Storm	2013	100	92	8	\$18,000	\$191	\$17,809	\$30,000	9		9	Very Good	Rare	Moderate	L	
4632	Storm/Sanitary - Manhole	Mill Street	Storm Manhole - Mill Street	1200	Manhole Cover	Storm	2013	100	92	8	\$4,900	\$52	\$4,848	\$10,000	9		9	Very Good	Rare	Moderate	L	
4633	Storm/Sanitary - Manhole	Mill Street	Sanitary Manhole - Mill Street	1200	Manhole Cover	Storm	2013	100	92	8	\$4,900	\$343	\$4,557	\$10,000	9		9	Very Good	Rare	Moderate	L	
4634	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1200	Manhole Cover	Storm	2013	100	92	8	\$4,900	\$52	\$4,848	\$10,000	9		9	Very Good	Rare	Moderate	L	
4635	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1200	Manhole Cover	Storm	2013	100	92	8	\$4,900	\$52	\$4,848	\$10,000	9		9	Very Good	Rare	Moderate	L	
4636	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1200	Manhole Cover	Storm	2013	100	92	8	\$4,900	\$52	\$4,848	\$10,000	9		9	Very Good	Rare	Moderate	L	
4637	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1200	Manhole Cover	Storm	2013	100	92	8	\$4,900	\$52	\$4,848	\$10,000	9		9	Very Good	Rare	Moderate	L	
4638	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1200	Manhole Cover	Storm	2013	100	92	8	\$4,900	\$52	\$4,848	\$10,000	9		9	Very Good	Rare	Moderate	L	
4639	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1200	Manhole Cover	Storm	2013	100	92	8	\$4,900	\$52	\$4,848	\$10,000	9		9	Very Good	Rare	Moderate	L	
4640	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1200	Manhole Cover	Storm	2013	100	92	8	\$4,900	\$52	\$4,848	\$10,000	9		9	Very Good	Rare	Moderate	L	
4641	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1200	Manhole Cover	Storm	2013	100	92	8	\$4,900	\$52	\$4,848	\$10,000	9		9	Very Good	Rare	Moderate	L	
4642	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1200	Manhole Cover	Storm	2013	100	92	8	\$4,900	\$52	\$4,848	\$10,000	9		9	Very Good	Rare	Moderate	L	
4643	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1200	Manhole Cover	Storm	2013	100	92	8	\$4,900	\$52	\$4,848	\$10,000	9		9	Very Good	Rare	Moderate	L	
4663	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1500	Manhole Cover	Storm	2013	100	92	8	\$7,800	\$83	\$7,717	\$15,000	9		9	Very Good	Rare	Moderate	L	
4664	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1500	Manhole Cover	Storm	2013	100	92	8	\$7,800	\$83	\$7,717	\$15,000	9		9	Very Good	Rare	Moderate	L	
4665	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole with flow splitter and 200mm concrete weir - Taylor Drive	1500	Manhole Cover	Storm	2013	100	92	8	\$7,800	\$83	\$7,717	\$15,000	9		9	Very Good	Rare	Moderate	L	
4666	Storm/Sanitary - Manhole	Melody Lane	Storm Manhole - Melody Lane	1800	Manhole Cover	Storm	2013	100	92	8	\$7,800	\$83	\$7,717	\$15,000	9		9	Very Good	Rare	Moderate	L	
4667	Storm/Sanitary - Manhole	Melody Lane	Storm Manhole - Melody Lane	1500	Manhole Cover	Storm	2013	100	92	8	\$7,800	\$83	\$7,717	\$15,000	9		9	Very Good	Rare	Moderate	L	

Grand Valley  
Storm/Sanitary Manhole Inventory

Fixed Asset #	Subtype	Road Name	Asset Name	Access diameter (mm)	Access Type	Water Type	Install Year	Useful Life	Remaining Useful Life	Age	Historic Cost	2020 Accumulated Amortization System	2020 Net Book Value System	Replacement Cost	Condition Based On Useful Life	Assessed Condition	Condition Used for Analysis	Asset Condition (As per Priority Rating)	Probability of Failure (Based on Condition or Expected Condition)	Consequence of Failure	Risk of Failure
								83.7	16	\$ 712,149	\$ 29,147	\$ 683,002	\$ 1,090,000				8.2				
4676	Storm/Sanitary - Manhole	Water Street	Storm Manhole - Water Street	1500	Manhole Cover	Storm	1992	100	71	29	\$3,800	\$1,064	\$2,736	\$15,000	7		7	Good	Unlikely	Moderate	M
4678	Storm/Sanitary - Manhole	Monty Avenue	Storm Manhole - Monty Avenue	1200	Manhole Cover	Storm	2013	100	92	8	\$4,900	\$52	\$4,848	\$10,000	9		9	Very Good	Rare	Moderate	L
4679	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive south of Amaranth (east side)	2400	Manhole Cover	Storm	2013	100	92	8	\$14,000	\$149	\$13,851	\$20,000	9		9	Very Good	Rare	Moderate	L
4680	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive north of Mill	2400	Manhole Cover	Storm	2013	100	92	8	\$14,000	\$149	\$13,851	\$20,000	9		9	Very Good	Rare	Moderate	L
4681	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive at Mill	2400	Manhole Cover	Storm	2013	100	92	8	\$14,000	\$149	\$13,851	\$20,000	9		9	Very Good	Rare	Moderate	L
4682	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive south of Amaranth	1200	Manhole Cover	Storm	2013	100	92	8	\$4,900	\$52	\$4,848	\$10,000	9		9	Very Good	Rare	Moderate	L
4683	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1200	Manhole Cover	Storm	2013	100	92	8	\$4,900	\$52	\$4,848	\$10,000	9		9	Very Good	Rare	Moderate	L
4684	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1200	Manhole Cover	Storm	2013	100	92	8	\$4,900	\$52	\$4,848	\$10,000	9		9	Very Good	Rare	Moderate	L
4685	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1200	Manhole Cover	Storm	2013	100	92	8	\$4,900	\$52	\$4,848	\$10,000	9		9	Very Good	Rare	Moderate	L
4686	Storm/Sanitary - Manhole	Mill Street	Storm Manhole - Mill Street	1200	Manhole Cover	Storm	2013	100	92	8	\$4,900	\$52	\$4,848	\$10,000	9		9	Very Good	Rare	Moderate	L
4690	Storm/Sanitary - Manhole	Emma Street	Storm Manhole - Emma Street	1200	Manhole Cover	Storm	2013	100	92	8	\$4,900	\$52	\$4,848	\$10,000	9		9	Very Good	Rare	Moderate	L
4692	Storm/Sanitary - Manhole	Fife Road	Storm Manhole - Fife Road	1200	Manhole Cover	Storm	1969	100	48	52	\$575	\$293	\$282	\$10,000	5		5	Average	Possible	Moderate	M
4693	Storm/Sanitary - Manhole	Joyce Court	Storm Manhole - Joyce Court	1200	Manhole Cover	Storm	1969	100	48	52	\$575	\$293	\$282	\$10,000	5		5	Average	Possible	Moderate	M
4694	Storm/Sanitary - Manhole	William Street - North Backyard	Storm Manhole - William Street - North Backyard	1200	Manhole Cover	Storm	2013	100	92	8	\$4,900	\$52	\$4,848	\$10,000	9		9	Very Good	Rare	Moderate	L
5240	Storm/Sanitary - Manhole	Rear Lot - 26 Mount Haven Crescent	Storm Runoff Manhole - Rear Lot - 26 Mount Haven Crescent	2400	Manhole Cover	Storm	1995	100	74	26	\$14,000	\$3,500	\$10,500	\$20,000	7		7	Good	Unlikely	Moderate	M
5241	Storm/Sanitary - Manhole	Rear Lot - 24 Mount Haven Crescent	Storm Runoff Manhole - Rear Lot - 24 Mount Haven Crescent	1500	Manhole Cover	Storm	1995	100	74	26	\$4,000	\$1,000	\$3,000	\$15,000	7		7	Good	Unlikely	Moderate	M
5335	Storm/Sanitary - Manhole	Wastewater Treatment Plant - Industrial Road	Storm Runoff Manhole - Wastewater Treatment Plant - Industrial Road	1500	Manhole Cover	Storm	2013	100	92	8	\$7,800	\$546	\$7,254	\$15,000	9		9	Very Good	Rare	Moderate	L
5337	Storm/Sanitary - Manhole	Rear Lot, East of Crozier Street	Storm Runoff Manhole - Rear Lot, East of Crozier Street	1200	Manhole Cover	Storm	1969	100	48	52	\$575	\$293	\$282	\$10,000	5		5	Average	Possible	Moderate	M
7300	Storm/Sanitary - Manhole	Beam Street	Storm Manhole - Beam Street		Manhole Cover	Storm	2015	100	94	6	\$3,900	\$0	\$3,900	\$10,000	9		9	Very Good	Rare	Moderate	L
7301	Storm/Sanitary - Manhole	Beam Street	Storm Manhole - Beam Street		Manhole Cover	Storm	2015	100	94	6	\$6,500	\$0	\$6,500	\$15,000	9		9	Very Good	Rare	Moderate	L
7302	Storm/Sanitary - Manhole	Beam Street	Storm Manhole - Beam Street		Manhole Cover	Storm	2015	100	94	6	\$3,900	\$0	\$3,900	\$10,000	9		9	Very Good	Rare	Moderate	L
7303	Storm/Sanitary - Manhole	Beam Street	Storm Manhole - Beam Street		Manhole Cover	Storm	2015	100	94	6	\$3,900	\$0	\$3,900	\$10,000	9		9	Very Good	Rare	Moderate	L
7304	Storm/Sanitary - Manhole	Beam Street	Storm Manhole - Beam Street		Manhole Cover	Storm	2015	100	94	6	\$6,500	\$0	\$6,500	\$15,000	9		9	Very Good	Rare	Moderate	L
7305	Storm/Sanitary - Manhole	Beam Street	Storm Manhole - Beam Street		Manhole Cover	Storm	2015	100	94	6	\$3,900	\$0	\$3,900	\$10,000	9		9	Very Good	Rare	Moderate	L
7306	Storm/Sanitary - Manhole	Beam Street	Storm Manhole - Beam Street		Manhole Cover	Storm	2015	100	94	6	\$3,900	\$0	\$3,900	\$10,000	9		9	Very Good	Rare	Moderate	L
7307	Storm/Sanitary - Manhole	Hillborn Street	Storm Manhole - Hillborn Street		Manhole Cover	Storm	2015	100	94	6	\$6,500	\$0	\$6,500	\$15,000	9		9	Very Good	Rare	Moderate	L
7308	Storm/Sanitary - Manhole	Hillborn Street	Storm Manhole - Hillborn Street		Manhole Cover	Storm	2015	100	94	6	\$6,500	\$0	\$6,500	\$15,000	9		9	Very Good	Rare	Moderate	L
7309	Storm/Sanitary - Manhole	Hillborn Street	Storm Manhole - Hillborn Street		Manhole Cover	Storm	2015	100	94	6	\$8,000	\$0	\$8,000	\$15,000	9		9	Very Good	Rare	Moderate	L
7310	Storm/Sanitary - Manhole	Hillborn Street	Storm Manhole - Hillborn Street		Manhole Cover	Storm	2015	100	94	6	\$15,000	\$0	\$15,000	\$20,000	9		9	Very Good	Rare	Moderate	L
7311	Storm/Sanitary - Manhole	Mayberry Drive	Storm Manhole - Mayberry Drive		Manhole Cover	Storm	2015	100	94	6	\$3,900	\$0	\$3,900	\$10,000	9		9	Very Good	Rare	Moderate	L
7312	Storm/Sanitary - Manhole	Mayberry Drive	Storm Manhole - Mayberry Drive		Manhole Cover	Storm	2015	100	94	6	\$3,900	\$0	\$3,900	\$10,000	9		9	Very Good	Rare	Moderate	L
7313	Storm/Sanitary - Manhole	Mayberry Drive	Storm Manhole - Mayberry Drive		Manhole Cover	Storm	2015	100	94	6	\$3,900	\$0	\$3,900	\$10,000	9		9	Very Good	Rare	Moderate	L
7314	Storm/Sanitary - Manhole	Mayberry Drive	Storm Manhole - Mayberry Drive		Manhole Cover	Storm	2015	100	94	6	\$8,000	\$0	\$8,000	\$15,000	9		9	Very Good	Rare	Moderate	L
7315	Storm/Sanitary - Manhole	MacIntyre Lane	Storm Manhole - MacIntyre Lane		Manhole Cover	Storm	2015	100	94	6	\$22,000	\$0	\$22,000	\$30,000	9		9	Very Good	Rare	Moderate	L
7316	Storm/Sanitary - Manhole	Mayberry Drive	Storm Manhole - Mayberry Drive		Manhole Cover	Storm	2015	100	94	6	\$22,000	\$0	\$22,000	\$30,000	9		9	Very Good	Rare	Moderate	L
7317	Storm/Sanitary - Manhole	Mayberry Drive	Storm Manhole - Mayberry Drive		Manhole Cover	Storm	2015	100	94	6	\$8,000	\$0	\$8,000	\$15,000	9		9	Very Good	Rare	Moderate	L
7318	Storm/Sanitary - Manhole	MacIntyre Lane	Storm Manhole - MacIntyre Lane		Manhole Cover	Storm	2015	100	94	6	\$6,500	\$0	\$6,500	\$15,000	9		9	Very Good	Rare	Moderate	L
7319	Storm/Sanitary - Manhole	MacIntyre Lane	Storm Manhole - MacIntyre Lane		Manhole Cover	Storm	2015	100	94	6	\$3,900	\$0	\$3,900	\$10,000	9		9	Very Good	Rare	Moderate	L
7320	Storm/Sanitary - Manhole	Mayberry Drive	Storm Manhole - Mayberry Drive		Manhole Cover	Storm	2015	100	94	6	\$15,000	\$0	\$15,000	\$20,000	9		9	Very Good	Rare	Moderate	L
7321	Storm/Sanitary - Manhole	Ritchie Drive	Storm Manhole - Ritchie Drive		Manhole Cover	Storm	2015	100	94	6	\$3,900	\$0	\$3,900	\$10,000	9		9	Very Good	Rare	Moderate	L
7322	Storm/Sanitary - Manhole	Ritchie Drive	Storm Manhole - Ritchie Drive		Manhole Cover	Storm	2015	100	94	6	\$3,900	\$0	\$3,900	\$10,000	9		9	Very Good	Rare	Moderate	L
7323	Storm/Sanitary - Manhole	Ritchie Drive	Storm Manhole - Ritchie Drive		Manhole Cover	Storm	2015	100	94	6	\$3,900	\$0	\$3,900	\$10,000	9		9	Very Good	Rare	Moderate	L
7324	Storm/Sanitary - Manhole	Ritchie Drive	Storm Manhole - Ritchie Drive		Manhole Cover	Storm	2015	100	94	6	\$3,900	\$0	\$3,900	\$10,000	9		9	Very Good	Rare	Moderate	L
7325	Storm/Sanitary - Manhole	Ritchie Drive	Storm Manhole - Ritchie Drive		Manhole Cover	Storm	2015	100	94	6	\$19,750	\$0	\$19,750	\$30,000	9		9	Very Good	Rare	Moderate	L
7326	Storm/Sanitary - Manhole	Ritchie Drive	Storm Manhole - Ritchie Drive		Manhole Cover	Storm	2015	100	94	6	\$6,150	\$0	\$6,150	\$15,000	9		9	Very Good	Rare	Moderate	L
7327	Storm/Sanitary - Manhole	Ritchie Drive	Storm Manhole - Ritchie Drive		Manhole Cover	Storm	2015	100	94	6	\$8,000	\$0	\$8,000	\$15,000	9		9	Very Good	Rare	Moderate	L
7328	Storm/Sanitary - Manhole	Stuckey Lane	Storm Manhole - Stuckey Lane		Manhole Cover	Storm	2015	100	94	6	\$15,000	\$0	\$15,000	\$20,000	9		9	Very Good	Rare	Moderate	L
7329	Storm/Sanitary - Manhole	Hunt Street	Storm Manhole - Hunt Street		Manhole Cover	Storm	2015	100	94	6	\$15,000	\$0	\$15,000	\$20,000	9		9	Very Good	Rare	Moderate	L
7330	Storm/Sanitary - Manhole	Jenkins Street	Storm Manhole - Jenkins Street		Manhole Cover	Storm	2015	100	94	6	\$3,900	\$0	\$3,900	\$10,000	9		9	Very Good	Rare	Moderate	L
7331	Storm/Sanitary - Manhole	Hunt Street	Storm Manhole - Hunt Street		Manhole Cover	Storm	2015	100	94	6	\$3,900	\$0	\$3,900	\$10,000	9		9	Very Good	Rare	Moderate	L
7332	Storm/Sanitary - Manhole	Hunt Street	Storm Manhole - Hunt Street		Manhole Cover	Storm	2015	100	94	6	\$3,900	\$0	\$3,900	\$10,000	9		9	Very Good	Rare	Moderate	L
7333	Storm/Sanitary - Manhole	Stuckey Lane	Storm Manhole - Stuckey Lane		Manhole Cover	Storm	2015	100	94	6	\$3,900	\$0	\$3,900	\$10,000	9		9	Very Good	Rare	Moderate	L
7334	Storm/Sanitary - Manhole	Stuckey Lane	Storm Manhole - Stuckey Lane		Manhole Cover	Storm	2015	100	94	6	\$3,900	\$0	\$3,900	\$10,000	9		9	Very Good	Rare	Moderate	L
7335	Storm/Sanitary - Manhole	Stuckey Lane	Storm Manhole - Stuckey Lane		Manhole Cover	Storm	2015	100	94	6	\$3,900	\$0	\$3,900	\$10,000	9		9	Very Good	Rare	Moderate	L
7336	Storm/Sanitary - Manhole	Stuckey Lane	Storm Manhole - Stuckey Lane		Manhole Cover	Storm	2015	100	94	6	\$3,900	\$0	\$3,900	\$10,000	9		9	Very Good	Rare	Moderate	L
7337	Storm/Sanitary - Manhole	Stuckey Lane	Storm Manhole - Stuckey Lane		Manhole Cover	Storm	2015	100	94	6	\$3,900	\$0	\$3,900	\$10,000	9		9	Very Good	Rare	Moderate	L
7338	Storm/Sanitary - Manhole	MacIntyre Lane	Storm Manhole - MacIntyre Lane		Manhole Cover	Storm	2015	100	94	6	\$3,900	\$0	\$3,900	\$10,000	9		9	Very Good	Rare	Moderate	L

Grand Valley  
Storm/Sanitary Manhole Inventory

Current Levels of Service  
Replacement/Improvement Year Based on Current Levels Service

Expected Levels of Service  
Replacement/Improvement Year Based on Expected Levels Service

Fixed Asset #	Subtype	Road Name	Asset Name	Numerical Value of Risk of Failure	Year Replacement due to minimal maintenance practices	Current Levels of Service					Expected Levels of Service								
						Current Levels of Service % benefit	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score	Subsequent Replacement Year	Revised Remaining Useful Life	Rehabilitation Year	Rehabilitation Cost (2021)	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life	
				1,3															
3576	Storm/Sanitary - Manhole	Main Street From: River Street To: George Street	Storm Manhole - Main Street	2	2059	10	2069	2069	2169	48				\$ -	0	2069	2069	2169	48
4174	Storm/Sanitary - Manhole	Melody Lane From: Water Street To: Leeson Street	Storm Manhole - Melody Lane	2	2082	10	2092	2092	2192	71					0	2092	2092	2192	71
4175	Storm/Sanitary - Manhole	Melody Lane From: Water Street To: Leeson Street	Storm Manhole - Melody Lane	2	2082	10	2092	2092	2192	71					0	2092	2092	2192	71
4176	Storm/Sanitary - Manhole	Melody Lane From: Leeson Street To: End	Storm Manhole - Melody Lane	2	2082	10	2092	2092	2192	71					0	2092	2092	2192	71
4177	Storm/Sanitary - Manhole	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	Storm Manhole - Leeson Street	2	2082	10	2092	2092	2192	71					0	2092	2092	2192	71
4178	Storm/Sanitary - Manhole	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	Storm Manhole - Leeson Street	2	2082	10	2092	2092	2192	71					0	2092	2092	2192	71
4179	Storm/Sanitary - Manhole	Monty Avenue From: Leeson Street To: End of 1992 development	Storm Manhole - Monty Avenue	2	2082	10	2092	2092	2192	71					0	2092	2092	2192	71
4180	Storm/Sanitary - Manhole	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	Storm Manhole - Leeson Street	2	2082	10	2092	2092	2192	71					0	2092	2092	2192	71
4181	Storm/Sanitary - Manhole	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	Storm Manhole - Leeson Street	2	2082	10	2092	2092	2192	71					0	2092	2092	2192	71
4182	Storm/Sanitary - Manhole	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	Storm Manhole - Leeson Street	2	2082	10	2092	2092	2192	71					0	2092	2092	2192	71
4183	Storm/Sanitary - Manhole	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	Storm Manhole - Leeson Street	2	2082	10	2092	2092	2192	71					0	2092	2092	2192	71
4184	Storm/Sanitary - Manhole	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	Storm Manhole - Leeson Street	2	2082	10	2092	2092	2192	71					0	2092	2092	2192	71
4185	Storm/Sanitary - Manhole	Leeson Street From: Melody Lane To: 175 M S. Of Mill Street	Storm Manhole - Leeson Street	2	2082	10	2092	2092	2192	71					0	2092	2092	2192	71
4186	Storm/Sanitary - Manhole	Emma Street From: Mill Street To: Amaranth Street	Manhole - Emma Street	2	2059	10	2069	2069	2169	48					0	2069	2069	2169	48
4187	Storm/Sanitary - Manhole	Mill Street From: Emma Street To: Main Street	Manhole - Mill Street	2	2059	10	2069	2069	2169	48					0	2069	2069	2169	48
4188	Storm/Sanitary - Manhole	Amaranth Street From: Main Street To: King Street	Manhole - Amaranth Street	2	2059	10	2069	2069	2169	48					0	2069	2069	2169	48
4189	Storm/Sanitary - Manhole	Main Street From: Amaranth Street To: Webb Street	Manhole - Main Street	2	2059	10	2069	2069	2169	48					0	2069	2069	2169	48
4190	Storm/Sanitary - Manhole	Fife Road From: Main Street To: Joyce Court	Manhole - Fife Road	2	2059	10	2069	2069	2169	48					0	2069	2069	2169	48
4191	Storm/Sanitary - Manhole	Fife Road From: Main Street To: Joyce Court	Manhole - Fife Road	2	2059	10	2069	2069	2169	48					0	2069	2069	2169	48
4192	Storm/Sanitary - Manhole	Fife Road From: Joyce Court To: Crozier Street	Manhole - Fife Road	2	2059	10	2069	2069	2169	48					0	2069	2069	2169	48
4193	Storm/Sanitary - Manhole	Fife Road From: Mary Court To: End (cul-de-sac)	Manhole - Fife Road	2	2059	10	2069	2069	2169	48					0	2069	2069	2169	48
4194	Storm/Sanitary - Manhole	Crozier Street From: Spruyt Avenue To: Fife Road	Manhole - Crozier Street	2	2059	10	2069	2069	2169	48					0	2069	2069	2169	48
4195	Storm/Sanitary - Manhole	Crozier Street From: Spruyt Avenue To: Fife Road	Manhole - Crozier Street	2	2059	10	2069	2069	2169	48					0	2069	2069	2169	48
4196	Storm/Sanitary - Manhole	Crozier Street From: Baker Court To: Spruyt Avenue	Manhole - Crozier Street	2	2059	10	2069	2069	2169	48					0	2069	2069	2169	48
4197	Storm/Sanitary - Manhole	Crozier Street From: Baker Court To: Spruyt Avenue	Manhole - Crozier Street	2	2059	10	2069	2069	2169	48					0	2069	2069	2169	48
4198	Storm/Sanitary - Manhole	Crozier Street From: Webb Street To: Baker Court	Manhole - Crozier Street	2	2059	10	2069	2069	2169	48					0	2069	2069	2169	48
4199	Storm/Sanitary - Manhole	Crozier Street From: Webb Street To: Baker Court	Manhole - Crozier Street	2	2059	10	2069	2069	2169	48					0	2069	2069	2169	48
4200	Storm/Sanitary - Manhole	Crozier Street From: Webb Street To: Baker Court	Manhole - Crozier Street	2	2059	10	2069	2069	2169	48					0	2069	2069	2169	48
4425	Storm/Sanitary - Manhole	Emma Street Inland	STORM MANHOLE #1	1	2104	10	2114	2114	2214	93					0	2114	2114	2214	93
4426	Storm/Sanitary - Manhole	Emma Street Inland	STORM MANHOLE #2	1	2104	10	2114	2114	2214	93					0	2114	2114	2214	93
4427	Storm/Sanitary - Manhole	Emma Street From: Amaranth Street To: Douglas Street	STORM MANHOLE #3	1	2104	10	2114	2114	2214	93					0	2114	2114	2214	93
4428	Storm/Sanitary - Manhole	Emma Street From: Mill Street To: Amaranth Street	STORM MANHOLE #4	1	2104	10	2114	2114	2214	93					0	2114	2114	2214	93
4429	Storm/Sanitary - Manhole	Emma Street From: Mill Street To: Amaranth Street	STORM MANHOLE #5	1	2104	10	2114	2114	2214	93					0	2114	2114	2214	93
4430	Storm/Sanitary - Manhole	Amaranth Street From: Emma Street To: Main Street	STORM MANHOLE #6	1	2104	10	2114	2114	2214	93					0	2114	2114	2214	93
4619	Storm/Sanitary - Manhole	Crozier Street	Storm Manhole - Crozier Street	2	2059	10	2069	2069	2169	48					0	2069	2069	2169	48
4620	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor at south of Storm Pond on East	1	2103	10	2113	2113	2213	92					0	2113	2113	2213	92
4621	Storm/Sanitary - Manhole	William Street	Storm Manhole - William Street at Lesson	1	2103	10	2113	2113	2213	92					0	2113	2113	2213	92
4623	Storm/Sanitary - Manhole	William Street	Storm Manhole - William Street between Lesson and Emma	1	2103	10	2113	2113	2213	92					0	2113	2113	2213	92
4624	Storm/Sanitary - Manhole	William Street	Storm Manhole - William Street at Emma	1	2103	10	2113	2113	2213	92					0	2113	2113	2213	92
4625	Storm/Sanitary - Manhole	William Street	Storm Manhole - William Street at Water Street	1	2103	10	2113	2113	2213	92					0	2113	2113	2213	92
4632	Storm/Sanitary - Manhole	Mill Street	Storm Manhole - Mill Street	1	2103	10	2113	2113	2213	92					0	2113	2113	2213	92
4633	Storm/Sanitary - Manhole	Mill Street	Sanitary Manhole - Mill Street	1	2103	10	2113	2113	2213	92					0	2113	2113	2213	92
4634	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1	2103	10	2113	2113	2213	92					0	2113	2113	2213	92
4635	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1	2103	10	2113	2113	2213	92					0	2113	2113	2213	92
4636	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1	2103	10	2113	2113	2213	92					0	2113	2113	2213	92
4637	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1	2103	10	2113	2113	2213	92					0	2113	2113	2213	92
4638	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1	2103	10	2113	2113	2213	92					0	2113	2113	2213	92
4639	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1	2103	10	2113	2113	2213	92					0	2113	2113	2213	92
4640	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1	2103	10	2113	2113	2213	92					0	2113	2113	2213	92
4641	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1	2103	10	2113	2113	2213	92					0	2113	2113	2213	92
4642	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1	2103	10	2113	2113	2213	92					0	2113	2113	2213	92
4643	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1	2103	10	2113	2113	2213	92					0	2113	2113	2213	92
4663	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1	2103	10	2113	2113	2213	92					0	2113	2113	2213	92
4664	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1	2103	10	2113	2113	2213	92					0	2113	2113	2213	92
4665	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole with flow splitter and 200mm concrete weir - Taylor Drive	1	2103	10	2113	2113	2213	92					0	2113	2113	2213	92
4666	Storm/Sanitary - Manhole	Melody Lane	Storm Manhole - Melody Lane	1	2103	10	2113	2113	2213	92					0	2113	2113	2213	92
4667	Storm/Sanitary - Manhole	Melody Lane	Storm Manhole - Melody Lane	1	2103	10	2113	2113	2213	92					0	2113	2113	2213	92
4668	Storm/Sanitary - Manhole	Melody Lane	Storm Manhole - Melody Lane	1	2103	10	2113	2113	2213	92					0	2113	2113	2213	92
4669	Storm/Sanitary - Manhole	Melody Lane	Storm Manhole - Melody Lane	1	2103	10	2113	2113	2213	92					0	2113	2113	2213	92
4670	Storm/Sanitary - Manhole	Water Street	Storm Manhole - Water Street	2	2082	10	2092	2092	2192	71					0	2092	2092	2192	71
4671	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive between Mill and William	1	2103	10	2113	2113	2213	92					0	2113	2113	2213	92
4672	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor at south of the Storm Pond	1	2103	10	2113	2113	2213	92					0	2113	2113	2213	92

Grand Valley  
Storm/Sanitary Manhole Inventory

Current Levels of Service  
Replacement/Improvement Year Based on Current Levels Service

Expected Levels of Service  
Replacement/Improvement Year Based on Expected Levels Service

Fixed Asset #	Subtype	Road Name	Asset Name	Numerical Value of Risk of Failure	Year Replacement due to minimal maintenance practices	Current Levels of Service						Expected Levels of Service						
						Current Levels of Service % benefit	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score	Subsequent Replacement Year	Revised Remaining Useful Life	Rehabilitation Year	Rehabilitation Cost (2021)	Extended Life (Years) due to Betterment	Expected Levels of Service % benefit over Current	Revised Levels Service Replacement Year	Year Replacement Applying Risk Score - or Staff Override	Subsequent Replacement Year	Revised Remaining Useful Life
				1.3														
												\$ -						
4676	Storm/Sanitary - Manhole	Water Street	Storm Manhole - Water Street	2	2082	10	2092	2092	2192	71				0	2092	2092	2192	71
4678	Storm/Sanitary - Manhole	Monty Avenue	Storm Manhole - Monty Avenue	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
4679	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive south of Amaranth (east side)	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
4680	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive north of Mill	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
4681	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive at Mill	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
4682	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive south of Amaranth	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
4683	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
4684	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
4685	Storm/Sanitary - Manhole	Taylor Drive	Storm Manhole - Taylor Drive	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
4686	Storm/Sanitary - Manhole	Mill Street	Storm Manhole - Mill Street	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
4690	Storm/Sanitary - Manhole	Emma Street	Storm Manhole - Emma Street	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
4692	Storm/Sanitary - Manhole	Fife Road	Storm Manhole - Fife Road	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
4693	Storm/Sanitary - Manhole	Joyce Court	Storm Manhole - Joyce Court	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
4694	Storm/Sanitary - Manhole	William Street - North Backyard	Storm Manhole - William Street - North Backyard	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
5240	Storm/Sanitary - Manhole	Rear Lot - 26 Mount Haven Crescent	Storm Runoff Manhole - Rear Lot - 26 Mount Haven Crescent	2	2085	10	2095	2095	2195	74				0	2095	2095	2195	74
5241	Storm/Sanitary - Manhole	Rear Lot - 24 Mount Haven Crescent	Storm Runoff Manhole - Rear Lot - 24 Mount Haven Crescent	2	2085	10	2095	2095	2195	74				0	2095	2095	2195	74
5335	Storm/Sanitary - Manhole	Wastewater Treatment Plant - Industrial Road	Storm Runoff Manhole - Wastewater Treatment Plant - Industrial Road	1	2103	10	2113	2113	2213	92				0	2113	2113	2213	92
5337	Storm/Sanitary - Manhole	Rear Lot, East of Crozier Street	Storm Runoff Manhole - Rear Lot, East of Crozier Street	2	2059	10	2069	2069	2169	48				0	2069	2069	2169	48
7300	Storm/Sanitary - Manhole	Beam Street	Storm Manhole - Beam Street	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7301	Storm/Sanitary - Manhole	Beam Street	Storm Manhole - Beam Street	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7302	Storm/Sanitary - Manhole	Beam Street	Storm Manhole - Beam Street	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7303	Storm/Sanitary - Manhole	Beam Street	Storm Manhole - Beam Street	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7304	Storm/Sanitary - Manhole	Beam Street	Storm Manhole - Beam Street	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7305	Storm/Sanitary - Manhole	Beam Street	Storm Manhole - Beam Street	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7306	Storm/Sanitary - Manhole	Beam Street	Storm Manhole - Beam Street	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7307	Storm/Sanitary - Manhole	Hillborn Street	Storm Manhole - Hillborn Street	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7308	Storm/Sanitary - Manhole	Hillborn Street	Storm Manhole - Hillborn Street	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7309	Storm/Sanitary - Manhole	Hillborn Street	Storm Manhole - Hillborn Street	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7310	Storm/Sanitary - Manhole	Hillborn Street	Storm Manhole - Hillborn Street	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7311	Storm/Sanitary - Manhole	Mayberry Drive	Storm Manhole - Mayberry Drive	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7312	Storm/Sanitary - Manhole	Mayberry Drive	Storm Manhole - Mayberry Drive	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7313	Storm/Sanitary - Manhole	Mayberry Drive	Storm Manhole - Mayberry Drive	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7314	Storm/Sanitary - Manhole	Mayberry Drive	Storm Manhole - Mayberry Drive	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7315	Storm/Sanitary - Manhole	MacIntyre Lane	Storm Manhole - MacIntyre Lane	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7316	Storm/Sanitary - Manhole	Mayberry Drive	Storm Manhole - Mayberry Drive	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7317	Storm/Sanitary - Manhole	Mayberry Drive	Storm Manhole - Mayberry Drive	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7318	Storm/Sanitary - Manhole	MacIntyre Lane	Storm Manhole - MacIntyre Lane	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7319	Storm/Sanitary - Manhole	MacIntyre Lane	Storm Manhole - MacIntyre Lane	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7320	Storm/Sanitary - Manhole	Mayberry Drive	Storm Manhole - Mayberry Drive	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7321	Storm/Sanitary - Manhole	Ritchie Drive	Storm Manhole - Ritchie Drive	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7322	Storm/Sanitary - Manhole	Ritchie Drive	Storm Manhole - Ritchie Drive	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7323	Storm/Sanitary - Manhole	Ritchie Drive	Storm Manhole - Ritchie Drive	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7324	Storm/Sanitary - Manhole	Ritchie Drive	Storm Manhole - Ritchie Drive	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7325	Storm/Sanitary - Manhole	Ritchie Drive	Storm Manhole - Ritchie Drive	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7326	Storm/Sanitary - Manhole	Ritchie Drive	Storm Manhole - Ritchie Drive	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7327	Storm/Sanitary - Manhole	Ritchie Drive	Storm Manhole - Ritchie Drive	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7328	Storm/Sanitary - Manhole	Stuckey Lane	Storm Manhole - Stuckey Lane	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7329	Storm/Sanitary - Manhole	Hunt Street	Storm Manhole - Hunt Street	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7330	Storm/Sanitary - Manhole	Jenkins Street	Storm Manhole - Jenkins Street	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7331	Storm/Sanitary - Manhole	Hunt Street	Storm Manhole - Hunt Street	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7332	Storm/Sanitary - Manhole	Hunt Street	Storm Manhole - Hunt Street	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7333	Storm/Sanitary - Manhole	Stuckey Lane	Storm Manhole - Stuckey Lane	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7334	Storm/Sanitary - Manhole	Stuckey Lane	Storm Manhole - Stuckey Lane	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7335	Storm/Sanitary - Manhole	Stuckey Lane	Storm Manhole - Stuckey Lane	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7336	Storm/Sanitary - Manhole	Stuckey Lane	Storm Manhole - Stuckey Lane	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7337	Storm/Sanitary - Manhole	Stuckey Lane	Storm Manhole - Stuckey Lane	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94
7338	Storm/Sanitary - Manhole	MacIntyre Lane	Storm Manhole - MacIntyre Lane	1	2105	10	2115	2115	2215	94				0	2115	2115	2215	94





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## Appendix B

### Draft Data Verification and Condition Assessment Policy

## **Appendix B: Draft Data Verification and Condition Assessment Policy**

### **Data Verification**

1. The main source of asset data updating, and editing will be through the Town of Grand Valley's asset inventory that aligns with PSAB 3150 compliance procedures and/or annual reporting process.
2. Asset additions, disposals, betterments, and write-offs will be recorded based on the Town's PSAB 3150 Compliance Policies and/or general updates to the Asset Management Spreadsheets.
3. Verification of the correct treatment of asset revisions will be completed through frequent annual reviews by the Town's staff, as well as an annual review by the Town's auditor.
4. During years which condition assessments are not being performed, asset replacement cost will be determined based on a combination of inflating previous values or through the use of the current year's historical invoice data. Where indices are being used, the Non-Residential Building Construction Price Index (NRBCP) shall be used for construction related assets (i.e., infrastructure) and Consumer Price Index (CPI) shall be used for all other assets (i.e., furniture, interior finishes, appliances, etc.)

### **Condition Assessment**

1. Condition assessments shall be performed as outlined in Table B.1 below.
2. Condition assessments shall be performed by qualified individuals (or companies) and shall include a review of the following:
  - a) Current asset condition (consistent with the rating format used within this report, unless the Town stipulates a new format, or regulatory body required format);
    - 1) Identify any unusual wear from asset use that may hinder asset performance and eventually reduce useful life.
    - 2) Assess asset performance and identify (if any) capital improvements that can be applied to extend the asset's useful life and/or bring the asset back to appropriate service levels.
  - b) Current asset replacement cost. This is to be based on replacing the asset under current legislation/requirements using the Township's specification; and
  - c) Remaining service life, assuming current identified maintenance and usage levels.

**Table B.1: Condition Assessment Timetable**

<b>Asset Type</b>	<b>Frequency of Condition Assessment</b>	<b>Comments</b>
<b>Bridges</b>	Every two years	As per Provincial Regulation using OSIM Inspection format
<b>Equipment (Office, Other)</b>		As identified by Staff, so Equipment is safe and in good working order
<b>Facilities</b>	Every ten - fifteen years	Complete detailed assessment every ten years but annual staff and specialized inspection/cleaning of some components (e.g., HVAC, Fans, Pumps, etc.)
<b>Land Improvements (Playing Surfaces, Parking Lots, Parks, Landscaping)</b>	Annually	Staff assessment annually
<b>Roads</b>	Every five - ten years	Complete Roads Needs study every five years but internal staff review annually
<b>Road Signs</b>		As per Regulation 239 Minimum Maintenance Standards
<b>Sidewalks</b>		As per Regulation 239 Minimum Maintenance Standards
<b>Software &amp; Hardware</b>		As identified by Staff, so software and hardware operating well
<b>Storm Water Mains</b>	Every fifteen years	CCTV scans and review of Storm Water system
<b>Storm Water (Catch Basins, Manholes, Stormceptors)</b>	Annually	To be assessed while doing a clean out
<b>Vehicles</b>		As per Manufacturer's Warranty and Maintenance Program
<b>Generators</b>	Every season	Minimum four times per year



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## Appendix C

### 10 Year Detailed Asset Management Strategy & Financing Strategy

Town of Grand Valley  
2022 Asset Management Plan  
Financing Strategy

Table of Contents:

- Section 1: Capital Forecast and Funding Analysis
- Section 2: Future Debt
- Section 3: Reserve Schedules
- Section 4: Budget Impacts & Funding Gap

**Section 1: Capital Forecast and Funding Analysis**

Asset Class	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
<b>Capital Replacement</b>											
Road Surface - Asphalt	77,200	78,744	80,319	81,925	83,564	85,235	86,940	95,977	90,452	155,580	915,936
Road Surface - Gravel	140,000	142,800	145,656	148,569	151,541	154,571	157,663	160,816	164,032	167,313	1,532,961
Road Base	-	-	-	-	-	-	-	-	-	-	-
Bridge & Culverts	7,500	1,419,330	7,803	1,893,195	8,118	-	8,446	-	8,787	-	3,353,179
Cross Road Culverts	17,960	10,200	10,404	10,612	10,824	11,041	11,262	11,487	11,717	11,951	117,458
Storm Mains & Foundation Collection Drains	5,000	5,100	42,781	5,306	5,412	5,520	5,631	5,743	5,858	5,975	92,326
Catch Basin	-	-	12,485	-	-	-	-	-	-	-	12,485
Storm Manhole	-	-	-	-	-	-	-	-	-	-	-
Storm Pond	-	-	-	-	-	-	-	-	-	-	-
Discharge Point	7,500	-	-	-	-	-	-	-	-	-	7,500
Underground Enclosures	-	-	-	-	-	-	-	-	-	-	-
<b>Subtotal - Capital Replacement</b>	<b>255,160</b>	<b>1,656,174</b>	<b>299,448</b>	<b>2,139,607</b>	<b>259,459</b>	<b>256,367</b>	<b>269,942</b>	<b>274,023</b>	<b>280,846</b>	<b>340,819</b>	<b>6,031,845</b>
<b>Capital Rehabilitation</b>											
Road Surface - Asphalt	237,037	139,778	396,941	46,091	18,047	97,786	19,798	209,513	247,095	10,039	1,422,125
Road Surface - Gravel	-	-	-	-	-	-	-	-	-	-	-
Road Base	-	-	209,571	-	-	-	-	-	-	-	209,571
Bridge & Culverts	35,000	61,200	64,505	460,564	225,687	415,686	595,740	-	316,348	-	2,174,730
Cross Road Culverts	-	-	-	-	-	-	-	-	-	-	-
Storm Mains & Foundation Collection Drains	-	-	-	-	-	-	-	-	-	-	-
Catch Basin	-	-	-	-	-	-	-	-	-	-	-
Storm Manhole	-	-	-	-	-	-	-	-	-	-	-
Storm Pond	-	-	-	-	-	-	-	-	-	-	-
Discharge Point	-	1,020	-	-	-	-	-	-	-	-	1,020
Underground Enclosures	-	-	-	-	-	-	-	-	-	-	-
<b>Subtotal - Capital Rehabilitation</b>	<b>272,037</b>	<b>201,998</b>	<b>671,017</b>	<b>506,655</b>	<b>243,734</b>	<b>513,472</b>	<b>615,538</b>	<b>209,513</b>	<b>563,443</b>	<b>10,039</b>	<b>3,807,446</b>
<b>Levels of Service Costs</b>											
Road Surface - Asphalt	60,000	61,200	62,424	63,672	64,946	66,245	67,570	68,921	70,300	71,706	656,984
Road Surface - Gravel	60,000	61,200	62,424	63,672	64,946	66,245	67,570	68,921	70,300	71,706	656,984
Road Base	50,000	51,000	52,020	53,060	54,122	55,204	56,308	57,434	58,583	59,755	547,486
Bridge & Culverts	53,000	54,060	55,141	56,244	57,369	58,516	59,687	60,880	62,098	63,340	580,335
Cross Road Culverts	-	-	-	-	-	-	-	-	-	-	-
Storm Mains & Foundation Collection Drains	15,000	15,300	15,606	15,918	16,236	16,561	16,892	17,230	17,575	17,926	164,244
Catch Basin	30,000	30,600	31,212	31,836	32,473	33,122	33,785	34,461	35,150	35,853	328,492
Storm Manhole	-	-	-	-	-	-	-	-	-	-	-
Storm Pond	-	-	-	-	-	-	-	-	-	-	-
Discharge Point	-	-	-	-	-	-	-	-	-	-	-
Underground Enclosures	-	-	-	-	-	-	-	-	-	-	-
<b>Subtotal - Levels of Service</b>	<b>268,000</b>	<b>273,360</b>	<b>278,827</b>	<b>284,402</b>	<b>290,092</b>	<b>295,893</b>	<b>301,812</b>	<b>307,847</b>	<b>314,006</b>	<b>320,286</b>	<b>2,934,525</b>

Asset Class	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
<b>Totals by Asset Class (Replacement, Rehabilitation and Levels of Service)</b>											
Road Surface - Asphalt	374,237	279,722	539,684	191,688	166,557	249,266	174,308	374,411	407,847	237,325	2,995,045
Road Surface - Gravel	200,000	204,000	208,080	212,241	216,487	220,816	225,233	229,737	234,332	239,019	2,189,945
Road Base	50,000	51,000	261,591	53,060	54,122	55,204	56,308	57,434	58,583	59,755	757,057
Bridge & Culverts	95,500	1,534,590	127,449	2,410,003	291,174	474,202	663,873	60,880	387,233	63,340	6,108,244
Cross Road Culverts	17,960	10,200	10,404	10,612	10,824	11,041	11,262	11,487	11,717	11,951	117,458
Storm Mains & Foundation Collection Drains	20,000	20,400	58,387	21,224	21,648	22,081	22,523	22,973	23,433	23,901	256,570
Catch Basin	30,000	30,600	43,697	31,836	32,473	33,122	33,785	34,461	35,150	35,853	340,977
Storm Manhole	-	-	-	-	-	-	-	-	-	-	-
Storm Pond	-	-	-	-	-	-	-	-	-	-	-
Discharge Point	7,500	1,020	-	-	-	-	-	-	-	-	8,520
Underground Enclosures	-	-	-	-	-	-	-	-	-	-	-
<b>Total</b>	<b>795,197</b>	<b>2,131,532</b>	<b>1,249,292</b>	<b>2,930,664</b>	<b>793,285</b>	<b>1,065,732</b>	<b>1,187,292</b>	<b>791,383</b>	<b>1,158,295</b>	<b>671,144</b>	<b>12,773,816</b>

Funding Analysis	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
<b>Total Funding by Source</b>											
Canada Community Building Fund (Gas Tax)	97,826	97,826	97,826	97,826	97,826	97,826	97,826	97,826	97,826	97,826	978,260
OCIF Funding (estimate)	239,926	239,926	239,926	239,926	239,926	239,926	239,926	239,926	239,926	239,926	2,399,260
<b>Transfer from Operations (for Core Infrastructure capital)</b>	<b>400,000</b>	<b>400,000</b>	<b>400,000</b>	<b>400,000</b>	<b>400,000</b>	<b>400,000</b>	<b>400,000</b>	<b>400,000</b>	<b>400,000</b>	<b>400,000</b>	<b>4,000,000</b>
<b>Transfer from/(to) Capital Reserves:</b>											
Roads & Bridges Reserve	(210,555)	870,420	32,710	108,502	(234,567)	32,080	147,720	(254,229)	106,523	(386,908)	211,696
Operating Funding (LOS Impacts)	268,000	273,360	278,830	284,410	290,100	295,900	301,820	307,860	314,020	320,300	2,934,600
Debt Funding (see section 2)	-	250,000	200,000	1,800,000	-	-	-	-	-	-	2,250,000
<b>Total</b>	<b>795,197</b>	<b>2,131,532</b>	<b>1,249,292</b>	<b>2,930,664</b>	<b>793,285</b>	<b>1,065,732</b>	<b>1,187,292</b>	<b>791,383</b>	<b>1,158,295</b>	<b>671,144</b>	<b>12,773,816</b>
<b>Total Cost less Funding</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>

**Section 2: Future Debt**

Year	Principal Amount	New Annual Payments									
		2023	2024	2025	2026	2027	2028	2029	2030	2031	2032
2023	-	-	-	-	-	-	-	-	-	-	-
2024	250,000	-	-	20,060	20,060	20,060	20,060	20,060	20,060	20,060	20,060
2025	200,000	-	-	-	16,050	16,050	16,050	16,050	16,050	16,050	16,050
2026	1,800,000	-	-	-	-	144,440	144,440	144,440	144,440	144,440	144,440
2027	-	-	-	-	-	-	-	-	-	-	-
2028	-	-	-	-	-	-	-	-	-	-	-
2029	-	-	-	-	-	-	-	-	-	-	-
2030	-	-	-	-	-	-	-	-	-	-	-
2031	-	-	-	-	-	-	-	-	-	-	-
2032	-	-	-	-	-	-	-	-	-	-	-
<b>Total</b>	<b>2,250,000</b>	-	-	<b>20,060</b>	<b>36,110</b>	<b>180,550</b>	<b>180,550</b>	<b>180,550</b>	<b>180,550</b>	<b>180,550</b>	<b>180,550</b>

Assumptions:

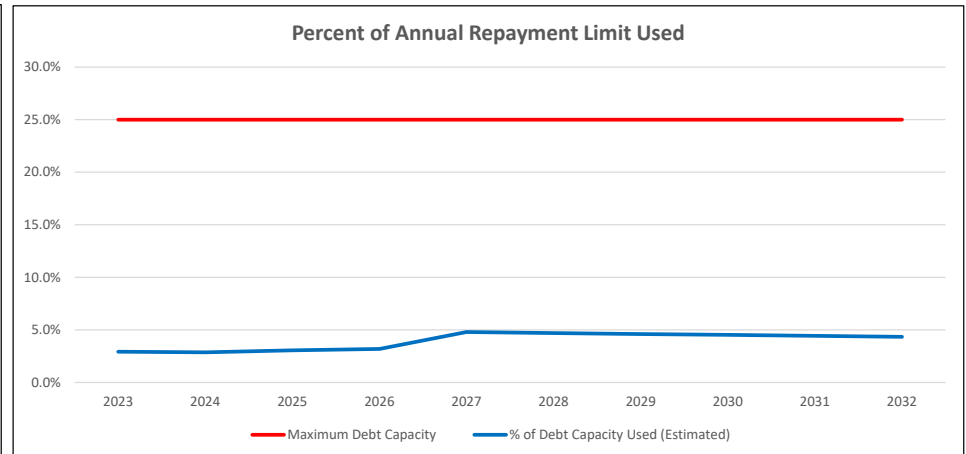
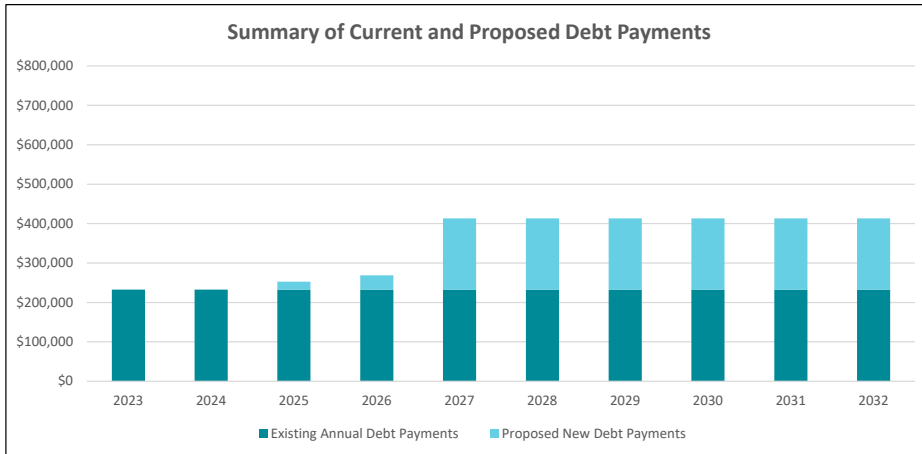
Term: 20 years  
 Rate: 5% per year  
 Timing: Debt is incurred at the end of the given year, with principal & interest payments starting in the following year.

**Debt Capacity Analysis**

\* Ontario municipalities must maintain annual debt principal and interest payments below the equivalent of 25% of revenues.

Debt Analysis	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032
Existing Annual Debt Payments	232,636	232,636	232,636	232,636	232,636	232,636	232,636	232,636	232,636	232,636
Proposed New Debt Payments	-	-	20,060	36,110	180,550	180,550	180,550	180,550	180,550	180,550
<b>Total Anticipated Debt Payments</b>	<b>232,636</b>	<b>232,636</b>	<b>252,696</b>	<b>268,746</b>	<b>413,186</b>	<b>413,186</b>	<b>413,186</b>	<b>413,186</b>	<b>413,186</b>	<b>413,186</b>
Estimated Revenues*	7,953,631	8,112,704	8,274,958	8,440,457	8,609,266	8,781,451	8,957,080	9,136,222	9,318,946	9,505,325
Maximum Debt Capacity	25.0%	25.0%	25.0%	25.0%	25.0%	25.0%	25.0%	25.0%	25.0%	25.0%
<b>% of Debt Capacity Used (Estimated)</b>	<b>2.9%</b>	<b>2.9%</b>	<b>3.1%</b>	<b>3.2%</b>	<b>4.8%</b>	<b>4.7%</b>	<b>4.6%</b>	<b>4.5%</b>	<b>4.4%</b>	<b>4.3%</b>

\* Annual revenue estimate assumes inflation of 2% annually.



### Section 3: Reserve Schedules

Roads & Bridges Reserve	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032
Opening Balance	713,273	947,938	126,221	167,298	158,170	518,209	638,221	669,746	1,130,915	1,259,581
Add: Contributions from Operating	24,110	48,703	73,788	99,374	125,472	152,092	179,244	206,940	235,189	264,004
Less: Contributions to/(from) Capital	210,555	(870,420)	(32,710)	(108,502)	234,567	(32,080)	(147,720)	254,229	(106,523)	386,908
Interest Earned (if applicable)	-	-	-	-	-	-	-	-	-	-
<b>Ending Balance</b>	<b>947,938</b>	<b>126,221</b>	<b>167,298</b>	<b>158,170</b>	<b>518,209</b>	<b>638,221</b>	<b>669,746</b>	<b>1,130,915</b>	<b>1,259,581</b>	<b>1,910,493</b>

### Section 4: Budget Impacts & Funding Gap

Impact Analysis	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032
<b>Replacement, Rehabilitation &amp; LOS Impacts (Capital)</b>										
<b>Optimal Investment - Capital</b>	838,000	854,760	871,860	889,300	907,090	925,230	943,730	962,600	981,850	1,001,490
<b>Optimal Investment - Operating LOS</b>	268,000	273,360	278,830	284,410	290,100	295,900	301,820	307,860	314,020	320,300
<b>Total Optimal Investment</b>	<b>1,106,000</b>	<b>1,128,120</b>	<b>1,150,690</b>	<b>1,173,710</b>	<b>1,197,190</b>	<b>1,221,130</b>	<b>1,245,550</b>	<b>1,270,460</b>	<b>1,295,870</b>	<b>1,321,790</b>
<b>Recommended Investment - Capital</b>										
Canada Community Building Fund (Gas Tax)	97,826	97,826	97,826	97,826	97,826	97,826	97,826	97,826	97,826	97,826
OCIF Funding (estimate)	239,926	239,926	239,926	239,926	239,926	239,926	239,926	239,926	239,926	239,926
Transfer from Operations (for Core Infrastructure capital)	400,000	400,000	400,000	400,000	400,000	400,000	400,000	400,000	400,000	400,000
Transfer from/(to) Capital Reserves:										
Roads & Bridges Reserve	24,110	48,703	73,788	99,374	125,472	152,092	179,244	206,940	235,189	264,004
<b>Total Recommended Investment - Capital</b>	<b>761,862</b>	<b>786,455</b>	<b>811,540</b>	<b>837,126</b>	<b>863,224</b>	<b>889,844</b>	<b>916,996</b>	<b>944,692</b>	<b>972,941</b>	<b>1,001,756</b>
<i>% of Optimal Investment (Capital) Reached</i>	91%	92%	93%	94%	95%	96%	97%	98%	99%	100%
<b>LOS Impacts - Operating</b>										
Recommended Investment	268,000	273,360	278,830	284,410	290,100	295,900	301,820	307,860	314,020	320,300
<b>Total Recommended Investment - LOS Operating</b>	<b>268,000</b>	<b>273,360</b>	<b>278,830</b>	<b>284,410</b>	<b>290,100</b>	<b>295,900</b>	<b>301,820</b>	<b>307,860</b>	<b>314,020</b>	<b>320,300</b>
<b>Total Recommended Investment - Capital &amp; Operating</b>	<b>1,029,862</b>	<b>1,059,815</b>	<b>1,090,370</b>	<b>1,121,536</b>	<b>1,153,324</b>	<b>1,185,744</b>	<b>1,218,816</b>	<b>1,252,552</b>	<b>1,286,961</b>	<b>1,322,056</b>
<i>% of Optimal Investment (Operating &amp; Capital) Reached</i>	93%	94%	95%	96%	96%	97%	98%	99%	99%	100%
<b>Funding Gap</b>	<b>(76,138)</b>	<b>(68,305)</b>	<b>(60,320)</b>	<b>(52,174)</b>	<b>(43,866)</b>	<b>(35,386)</b>	<b>(26,734)</b>	<b>(17,908)</b>	<b>(8,909)</b>	<b>266</b>



Investment in Capital	2022
Canada Community Building Fund (Gas Tax)	93,750
OCIF Funding (estimate)	239,926
Transfer from Operating (Core Infrastructure)	400,000
Transfer to Reserves	-

**Total Investment** **733,676** Investment in capital "starting point" for the capital forecast.

\* Transfer from operating assumed to be \$400,000 for future planning purposes

Impact on Funding	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032
<b>Total Recommended Investment - Capital</b>	<b>761,862</b>	<b>786,455</b>	<b>811,540</b>	<b>837,126</b>	<b>863,224</b>	<b>889,844</b>	<b>916,996</b>	<b>944,692</b>	<b>972,941</b>	<b>1,001,756</b>
<b>Previous Year's Investment</b>	<b>733,676</b>	<b>761,862</b>	<b>786,455</b>	<b>811,540</b>	<b>837,126</b>	<b>863,224</b>	<b>889,844</b>	<b>916,996</b>	<b>944,692</b>	<b>972,941</b>
<b>Annual Increase in Capital Investment</b>										
Grants	4,076	-	-	-	-	-	-	-	-	-
Tax Supported	24,110	24,593	25,085	25,586	26,098	26,620	27,152	27,696	28,249	28,814
<b>Total Change</b>	<b>28,186</b>	<b>24,593</b>	<b>25,085</b>	<b>25,586</b>	<b>26,098</b>	<b>26,620</b>	<b>27,152</b>	<b>27,696</b>	<b>28,249</b>	<b>28,814</b>
<b>Total Recommended Investment - Operating LOS</b>	<b>268,000</b>	<b>273,360</b>	<b>278,830</b>	<b>284,410</b>	<b>290,100</b>	<b>295,900</b>	<b>301,820</b>	<b>307,860</b>	<b>314,020</b>	<b>320,300</b>
<b>Previous Year's Investment</b>	<b>205,000</b>	<b>268,000</b>	<b>273,360</b>	<b>278,830</b>	<b>284,410</b>	<b>290,100</b>	<b>295,900</b>	<b>301,820</b>	<b>307,860</b>	<b>314,020</b>
<b>Annual Increase/(Decrease) in Capital Investment</b>										
Tax Supported	63,000	5,360	5,470	5,580	5,690	5,800	5,920	6,040	6,160	6,280
<b>Total Change</b>	<b>63,000</b>	<b>5,360</b>	<b>5,470</b>	<b>5,580</b>	<b>5,690</b>	<b>5,800</b>	<b>5,920</b>	<b>6,040</b>	<b>6,160</b>	<b>6,280</b>
<b>A Total Change - Capital &amp; LOS (excluding Grant Increase)</b>	<b>87,110</b>	<b>29,953</b>	<b>30,555</b>	<b>31,166</b>	<b>31,788</b>	<b>32,420</b>	<b>33,072</b>	<b>33,736</b>	<b>34,409</b>	<b>35,094</b>
<b>B Net Increase (Decrease) in Debt Payments</b>	<b>-</b>	<b>-</b>	<b>20,060</b>	<b>16,050</b>	<b>144,440</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>A + B Total Impact on Annual Tax Supported Budget</b>	<b>87,110</b>	<b>29,953</b>	<b>50,615</b>	<b>47,216</b>	<b>176,228</b>	<b>32,420</b>	<b>33,072</b>	<b>33,736</b>	<b>34,409</b>	<b>35,094</b>
Estimated Taxation Impact (1% in 2023 = \$40,865)	2.13%	0.72%	1.19%	1.09%	3.98%	0.72%	0.72%	0.72%	0.72%	0.72%

