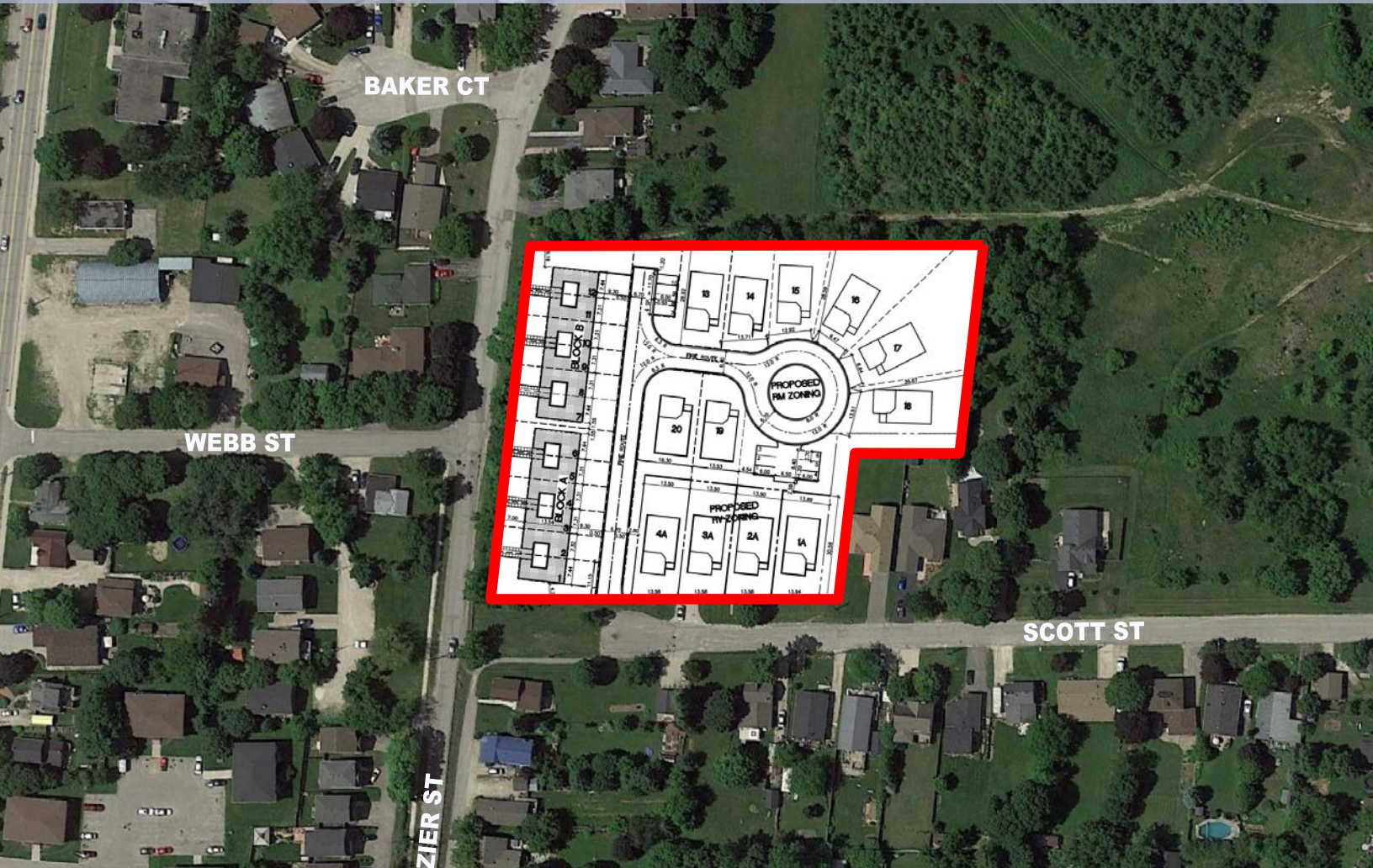


20 SCOTT STREET
TOWN OF GRAND VALLEY
COUNTY OF DUFFERIN

PLANNING JUSTIFICATION REPORT



MAY 2018
PREPARED FOR: HRYCYNIA LAW GROUP





WESTON
CONSULTING
planning + urban design

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1 Introduction

Weston Consulting has been retained to provide planning assistance to Hrycyna Law Group, the authorized representative acting on behalf of Mary Hrycyna and Halia Martyniuk the registered owners of the properties municipally addressed 20 Scott Street and 0 Scott Street in the Town of Grand Valley. The proposed development contemplates 24 residential lots that will accommodate four (4) single detached dwellings fronting onto Scott Street and twelve (12) townhomes and twelve (12) single detached dwellings located on a private laneway.

A Pre-Consultation meeting was held with the Town of Grand Valley ('the Town') in December 2017 to clarify the information required to be submitted at the time of application, confirm the application fees, and understand the process and timelines moving forward. The applications and supporting materials are submitted in accordance with email communications received from planning staff, which established the requirements for the submission of a 'Complete Application'. Those requirements were outlined as follows:

- Impact Assessment
- Servicing Report
- Planning Justification Report
- Need Assessment
- Adequacy of Servicing Report
- Servicing Allocation Request
- Scoped Natural Heritage Environmental Impact Assessment
- Slope Stability Assessment
- Water Management Resource Report
- Arborist Report & Tree Cutting Plan
- Functional Servicing Report
- Stormwater Management Report
- Stage 1 Archaeological Assessment
- Transportation Impact Study
- Zoning Bylaw Amendment.

We trust that this Report and the enclosed materials are sufficient for Planning Staff to process the applications for Zoning By-law Amendment, Draft Plan of Subdivision, Draft Plan of Condominium and Site Plan Approval and will constitute a Complete Application as described in Section 22(4), and Section 34(10) of the *Planning Act*.



This Report provides a description of the subject lands and proposal along with the approvals required in order to enable development of the proposed residential subdivision. It considers the application of Provincial, County and Local Planning Policy and Regulatory documents and provides a professional planning opinion and justification in support of the subject proposal. The sections are comprised as follows:

- Purpose of the Report
- Site Description and Context
- Description of the Development Proposal
- Supporting Materials
- Review of the Applicable Planning Policy and Regulations
- Planning Analysis and Justification

The Report also provides a review of our proposed stakeholder and community consultation strategy that sets out our approach and timetable for consulting (both informally and formally) with those having an interest in the proposed redevelopment of the subject lands.

2 Purpose of Report

The purpose of this Report is to describe the proposed development and to evaluate the proposal in the context of the policies of the Provincial Policy Statement ('PPS'), the Dufferin County Official Plan, the Town of Grand Valley Official Plan, the Town of Grand Valley Comprehensive Zoning By-law 09-10, as well as other applicable policies and regulations that apply to the subject lands.

This Report provides planning analysis and justification for the proposal in accordance with good planning and provides a basis for the advancement of planning applications through the review and approval process.

3 Site Description and Context

3.1 Description of the Subject Lands

Legal Description

The subject lands are legally described as follows:

Part Lot C, Plan 29-A, designated as Parts 4 and 5 on Plan 7R-5603, Village of Grand Valley; and,
Lot A, Plan 29-A, designated as Part 1 on Plan 7R-5603, Village of Grand Valley.

Property Characteristics



The subject lands are located on the north side of the western terminus of Scott Street and at the north-east corner of Scott Street and Crozier Street in the Town of Grand Valley, County of Dufferin. (Figure 1).

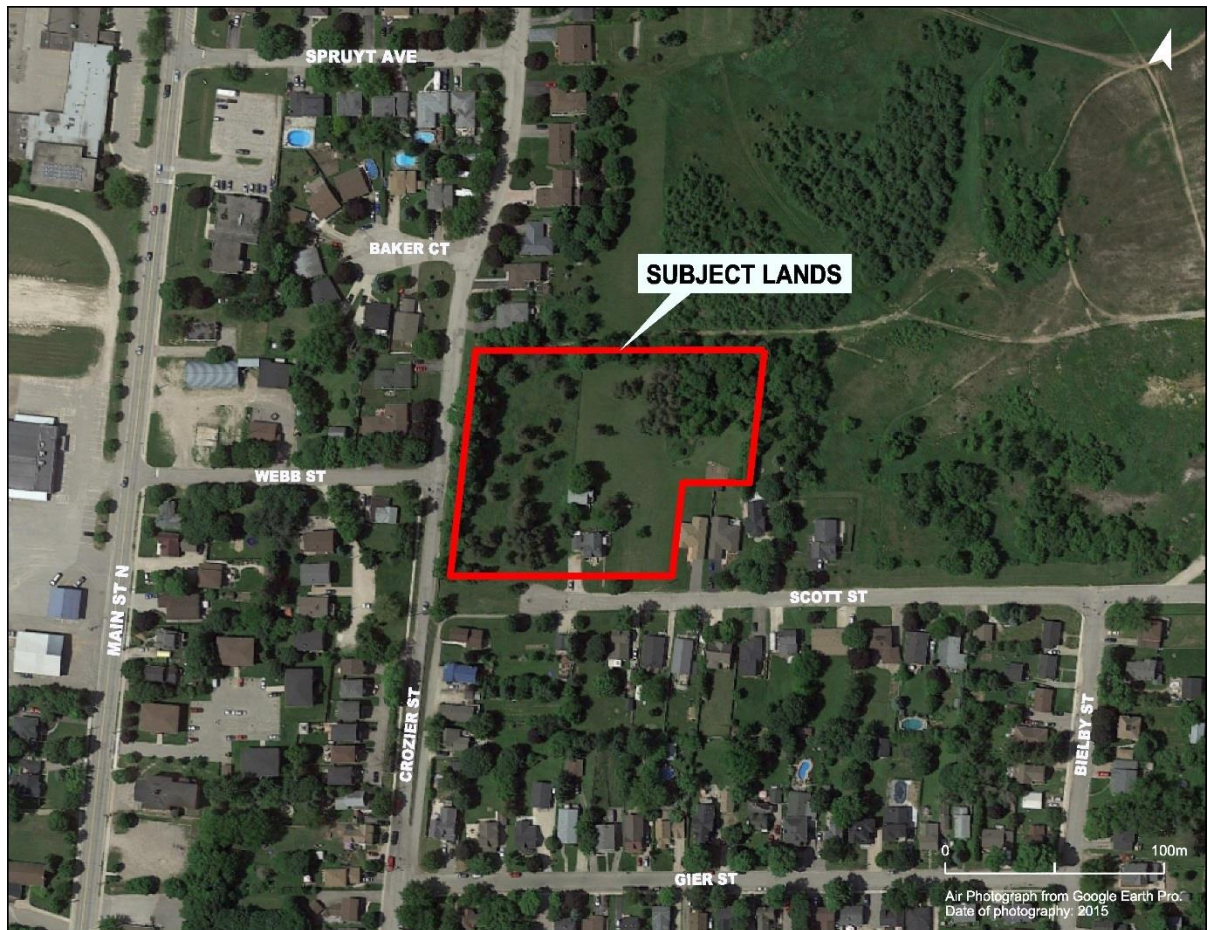


Figure 1: Aerial Photograph of Subject Lands

The subject lands are irregular in shape and have a total area of approximately 1.18 hectares (2.91 acres). It has direct access to and frontage on Scott Street (approximately 50.69 metres) and additional frontage on Crozier Street (approximately 103.84 metres).

The subject lands are currently occupied by an existing two (2) storey residential dwelling with wooden deck and accessory building and structures. The remainder of the property consists of various treed and open spaces. A narrow-paved driveway leads into the site from Scott Street.

The subject lands have a variable topography and represent a significant decline in elevation from the northwest corner (near Crozier Street) to the southeast corner. Lands located along Crozier Street dramatically slope downward in an eastern direction towards the middle of the site and level off at the origin of the existing building.



3.2 Neighbourhood Context and Surrounding Land Uses

The subject lands are Grand River Basin, a 7,000 kilometres watershed that traverses along the western fringe of the Greater Golden Horseshoe into southwestern Ontario which is located less than 500 metres away. The Town of Grand Valley may be characterized as a hub and urban service centre for the surrounding rural and agricultural community.

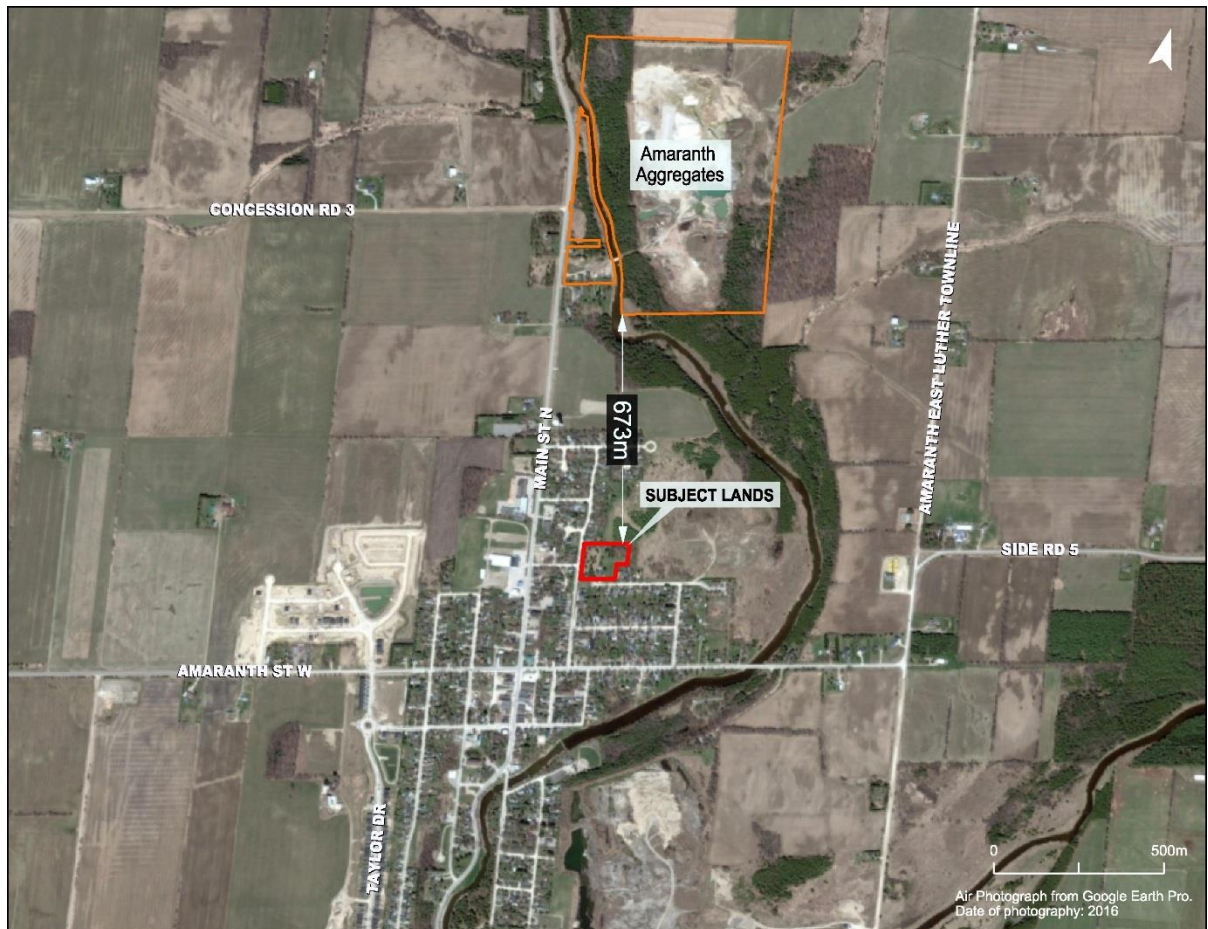


Figure 2: Surrounding Context

Land uses and built form characteristics in the vicinity of the lands include:

North: To the north of the lands is a large open space and associated environmental and natural heritage features. Amaranth Aggregates is located approximately 673 metres north of the subject lands.

East: Directly to the east of the subject lands are low-rise single detached residential dwellings. Further east is the Grand River.

South: To the south of the subject lands is an existing residential subdivision consisting of single and two-storey single detached dwellings.



West: Directly to the west of the subject lands are two-storey single-detached dwellings. Further west, and on the west side of Main Street North, is the Grand Valley District Community Centre.

3.3 Network and Infrastructure

The subject lands occupy a prominent location on the major road network which serves the Town and the County. It is bordered by two primary transportation corridors; Amaranth Street East and Main Street North (County Road 25). Amaranth Street East is classified as a primary road providing connection between the immediate area and adjacent communities. Main Street North or County Road 25 is a key north-south inter-regional roadway that connects various towns and destinations in the area.

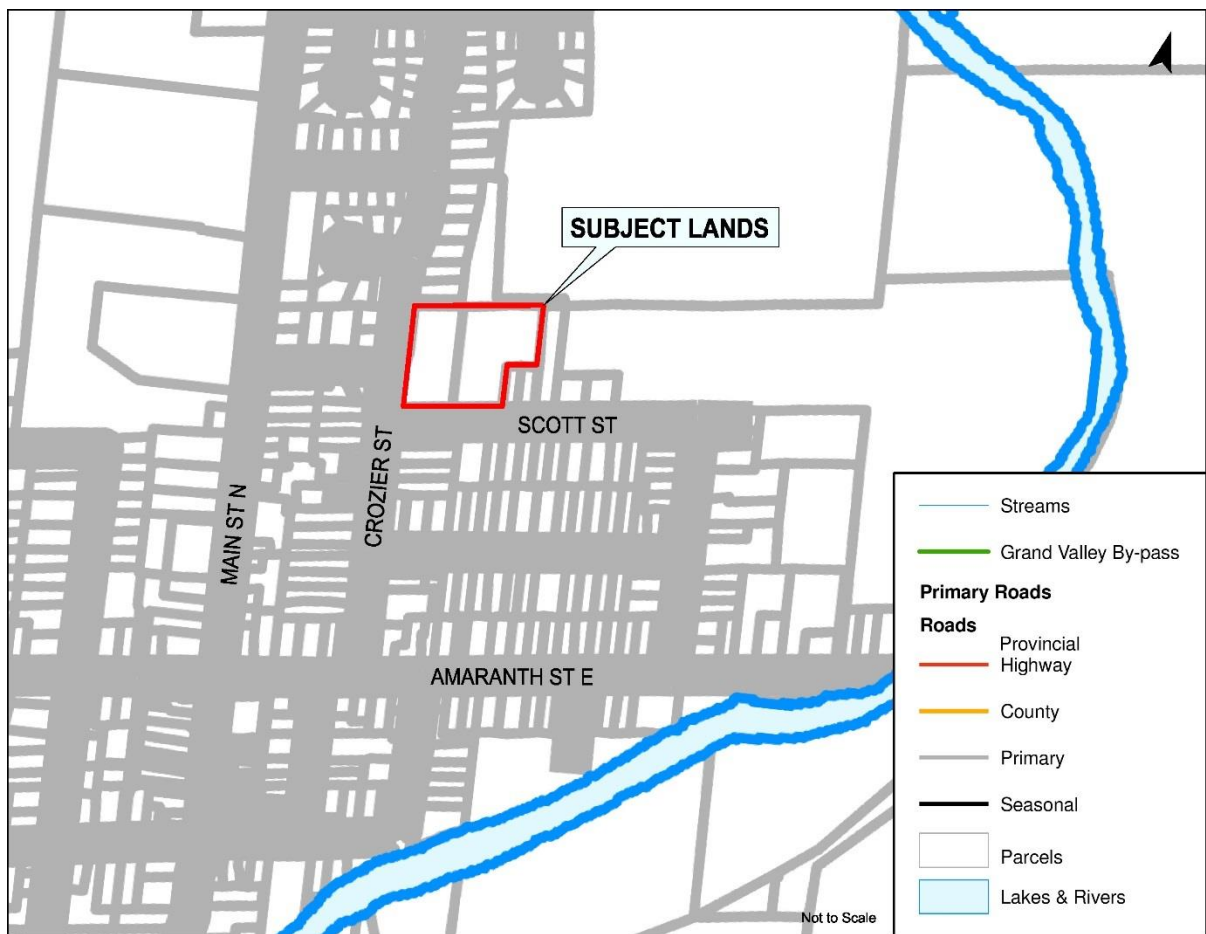


Figure 3: Schedule A-3 – Transportation, Town of Grand Valley Official Plan

The site has access and frontage onto Scott Street which is identified as a Primary Local Road in Schedule A-3: Transportation in the Town of Grand Valley Official Plan. Primary Local Roads are designed to collect and carry local traffic to the Provincial Highway, arterial roads, and other collector roads, or to distribute traffic to local roads, as well as provide limited access to abutting properties.



4 Proposed Development

4.1 Description of Proposed Development

The proposed redevelopment contemplates 24 residential dwelling units consisting of twelve (12) townhouse units and eight (8) single detached dwellings located on a proposed 5.70 metres private laneway and an additional four (4) single -detached dwellings located on the north side of Scott Street.

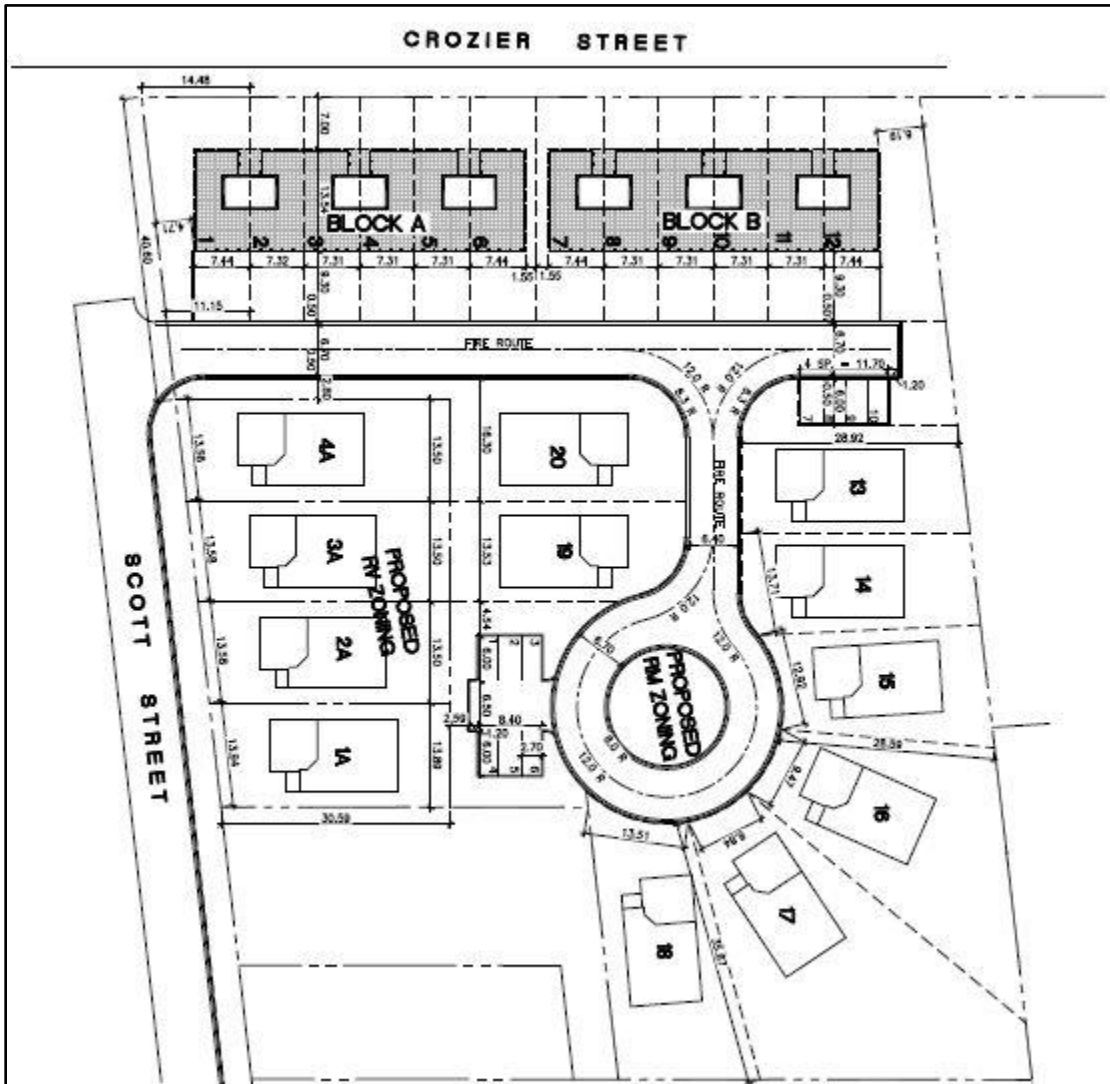


Figure 4: Conceptual Site Plan

The townhouse component of the development contemplates two townhouse blocks, Block 'A' and 'B', consisting of six (6) units each and accessed via the proposed condominium laneway. Each townhouse unit will include two parking spaces (one driveway, one garage) and six (6) surface visitor parking spots located off the proposed cul-de-sac. An additional four (4) surface visitor parking spots are proposed at the terminus of the laneway. The private laneway and cul-de-sac



will accommodate for safe vehicular movement and provide for an appropriate turning radius for municipal service and maintenance vehicles. The internal private road is designed to operate as a two-way traffic private lane with direct access to Scott Street.

A total of eight condominium single detached units are proposed on the cul-de-sac with articulated front facades extending around the bulb. Lot frontages range from 8.84 metres to 16.30 metres and each single-detached dwelling will include two parking spaces (one driveway, one garage).

Four (4) freehold single detached residential dwellings are proposed on the north side of Crozier Street. The units have a proposed frontage of approximately 13.58 metres and a depth of approximately 30.59 metres. Each dwelling is accessed via Crozier Street and provides two parking spaces (one driveway, one garage). It is contemplated that all units are serviced by full municipal water and wastewater systems and storm water management services

The site will achieve a net density of 20.33 units per hectare based on total land area and inclusive of the private laneway and cul-de-sac components.

5 Description of Planning Applications

A Zoning By-law Amendment, Site Plan Approval, Draft Plan of Subdivision, Draft Plan of Condominium and Consent Application will be required to facilitate the full implementation of the proposed development.

The submitted Zoning By-law Amendment application has the purpose of amending the land use planning permissions to provide for the residential subdivision. The proposed Zoning By-law Amendment has the effect of replacing the current and existing zoning category to provide for more appropriated zone to accommodate the proposed redevelopment. The subject lands are currently zoned as "Village Residential (RV)" zone under the Town of Grand Valley Zoning By-law BL 09-10. The Village Residential (RV) zone permits a single detached dwelling, accessory apartment, converted dwelling unit and home occupation. In order to permit the proposed development, an amendment to the current zoning is being requested to provide rezoning for the lands to "Multiple Residential" (RM) Zone. The Multiple Residential zone permits for townhouse dwelling units, in addition to other residential uses and will be required to implement the townhouse component of the redevelopment plan.

The submitted Consent application is required to facilitate the proposed redevelopment and obtain approval to sever the property at 20 Scott Street to create four (4) new residential lots. The additional subdivision of land to provide for the additional creation of parcels/lots will be accommodated through the submission of a Draft Plan of Subdivision Application.

The Draft Plan of Subdivision Application is required to divide the subject lands into individual lots and blocks which will contain the future townhouse blocks, residential dwelling units/lots, private laneway, parking areas and cul-de-sac.

The Draft Plan of Condominium Application is required to further divide the proposed development so that future owners of the townhomes and single-detached dwellings on the laneway hold title



specific to their unit, as well as delineate the rest of the property that is common to all the individual unit owners. The proposed development consists of common element condominium whereby specific elements of the proposed development (i.e. laneway, parking areas) are owned in common interest by the Corporation and individual units are freehold parcels of tied land (POTL) which are not part of the condominium property.

A Site Plan Application will be required to fully implement this proposal. The Site Plan Application details the design and technical aspects of the proposed development to ensure it is attractive and compatible with the surrounding area and contributes to the economic, social and environmental vitality of the Town.

The proposed development does not require an Amendment to the Official Plan as the proposal complies with the Urban Residential designation development policies and permitted uses. All forms of residential uses are permitted in this designation.

6 Supporting Materials

A Pre-Application Consultation (PAC) meeting was held in December 2017 with the Town of Grand Valley Staff and the applicant to determine the required applications, studies, plans and other supporting materials to be submitted in support of the proposed development. Subsequently, a list of the required applications and supporting studies was received by the applicant representing the Pre-Application Checklist and constituting the minimum requirements for a 'Complete Application'.

On February 7, 2018, the applicant submitted applications for Zoning By-law Amendment, Consent, Draft Plan of Subdivision, Draft Plan of Condominium and Site Plan Approval in addition to all supporting information in accordance with the Pre-Consultation Checklist. On March 23, 2018, the applicant received a "Notice of Incomplete Application" in which it was determined that during the Town's preliminary review of the submission package, a number of criteria had not been fulfilled to their satisfaction and additional information and study was required to facilitate a comprehensive review and assessment of the proposed redevelopment.

In accordance with the letter of "Notice of Incomplete Application", the following provides a brief summary of the outstanding studies and reports which constitute part of this resubmission.

6.1 Functional Servicing Report

Meritech Engineering was retained to prepare a Functional Servicing Report for the proposed development. The Report evaluates site grading, storm drainage, water quality controls, and the sanitary sewer and water supply.

Grading

Due to the topography of the site to the north and west, rising approximately 13 metres from the existing top of road at the end of Scott Street to the northwest corner of the site, retaining walls are necessary in a number of locations throughout the project. Along most of the northern property limit, a retaining wall 4.0-5.0 metres in height is required from the northwest corner, across the



back of lots 13-15 and part of lot 16. A second wall approximately 2.0 metres in height is also required at the northwest property line corner of 26 Scott Street, with the final 4.5 metres retaining wall being located at the southeastern corner of the development to facilitate the grade change from Scott Street to Crozier Street.

Sanitary Servicing

Sanitary servicing is proposed to include an internal network of 200mm sewers and manholes that will provide service connections to lot 1-20 of the development. This network will discharge to the existing sanitary sewer on Scott Street via the placement of a new manhole. Lots 1A-4A fronting onto Scott Street will connect to the existing 200mm sanitary sewer on Scott Street via new service connections.

Water Servicing

Stormwater management for the site presents a challenge due to the topography surrounding the property, and lack of a good municipal storm outlet. A traditional network of catch basins, double catch basins, manholes, and sewers is proposed to capture and convey overland runoff for much of the site to the visitor parking area at the corner of the site, where an Oil/Grit separator is proposed to be sited to accommodate water quality requirements prior to discharge to an underground stormwater storage tank to be located under the southern half of the cul-de-sac and visitor parking lot. In addition to this, rear yard infiltration galleries are proposed for the rear yards of Lots 16-18 to capture the split drainage from Lots 13-18.

There are currently two options being considered for final discharge of the stormwater from the underground storage tank. The first option is complete infiltration below the storage tank, with the second option being pumping excess stormwater through the forcemain to the existing storm sewer situated on Crozier Street. A final decision is subject to further study, for example, to define the allowable discharge rates available in the Crozier Street sewers, or a hydrogeological study to confirm the influence on the water table due to infiltration, and the impact on adjacent lands.

6.2 Traffic/Transportation Opinion Letter

A Traffic Opinion Letter was prepared by Crozier Consulting Engineers which concluded that the proposed development is expected to generate 27 vehicle trips during the weekday A.M. and P.M. peak hour. The trip generation forecasts for the proposed development are low and not typically associated with traffic operational issues to the boundary road network. The increase in traffic volumes will not have any appreciable impacts on the adjacent road system. Site generated traffic is expected to travel eastbound along Amaranth Street, but due to the low number of trips the proposed development is anticipated to have minimal impact on the gravel pit located on Amaranth East Luther Townline.

Additionally, a parking assessment was prepared in accordance with the Town of Grand Valley Zoning By-Law general parking standards and requirements. The Zoning By-law requires a minimum of two parking spaces per residential dwelling unit. A total of 50 parking spaces have



been provided (20 driveway, 20 garage, 10 visitor) exceeding the Town of Grand Valley parking requirement of 40 by 10 spaces.

6.3 Natural Heritage Environmental Impact Study

North-South Environmental Inc. (NSE) was retained to undertake a Natural Heritage Impact Assessment in consideration of the proposed residential subdivision redevelopment. The Study provides a comprehensive analysis of the proposed development in consideration of the current policy and regulatory framework including the Provincial Policy Statement (2014), the Dufferin County Official Plan (2018) and the Town of Grand Valley (2017). The Study also outlines the potential impacts of the proposed development on the natural environment and systems and provides measures to mitigate impacts where appropriate.

A pre-consultation meeting with the Town's planner and consulting ecologist (RJ Burnside) in order to identify terms of reference for a scoped Environmental Impact Study (EIS) to address the candidacy of a wooded area as a natural heritage feature and to complete a Species at Risk screening in support of the proposed development.

A site visit took place on December 20th, 2017 and April 18th, 2018. Species were documented in the hedgerow, cultural plantation, and deciduous forest communities on the site. The woodland occurring on the property was characterized in terms of age (estimated from dbh) and species composition. The areas adjacent were viewed from the property line or from the road to assess their potential for inclusion in the woodland area and for potential SAR habitat.

The understory of the cultural plantation appeared to be mowed. Approximately 40 Scots Pine (*Pinus sylvestris*) trees of the same age (20 to 30 cm dbh) occurred here. Few smaller deciduous trees/young shrubs (less than 10cm dbh) were scattered sparsely throughout the community, including Choke Cherry (*Prunus virginiana*).

The deciduous forest community also had approximately 40-50 trees above 10cm dbh on the property. This community extended further onto the neighbouring property where density increased slightly. This community was lowland and consisted of a mixture of deciduous species including Sugar Maple (*Acer saccharum*), Black Cherry (*Prunus serotina*), Yellow Birch (*Betula alleghaniensis*) and Willow (*Salix* sp.).

The hedgerow consisted of some large Sugar Maples over 50cm dbh, but most trees were 20-30 cm dbh. Species included Sugar Maple, Norway Maple (*Acer platanoides*) and Bur Oak (*Quercus macrocarpa*). Trees in the section adjacent to this community were between 5 cm to 30 cm dbh, with the majority being approximately 20cm. These were predominantly coniferous trees including Scots Pine (*Pinus sylvestris*), White Pine (*Pinus strobus*) and White Spruce (*Picea glauca*).

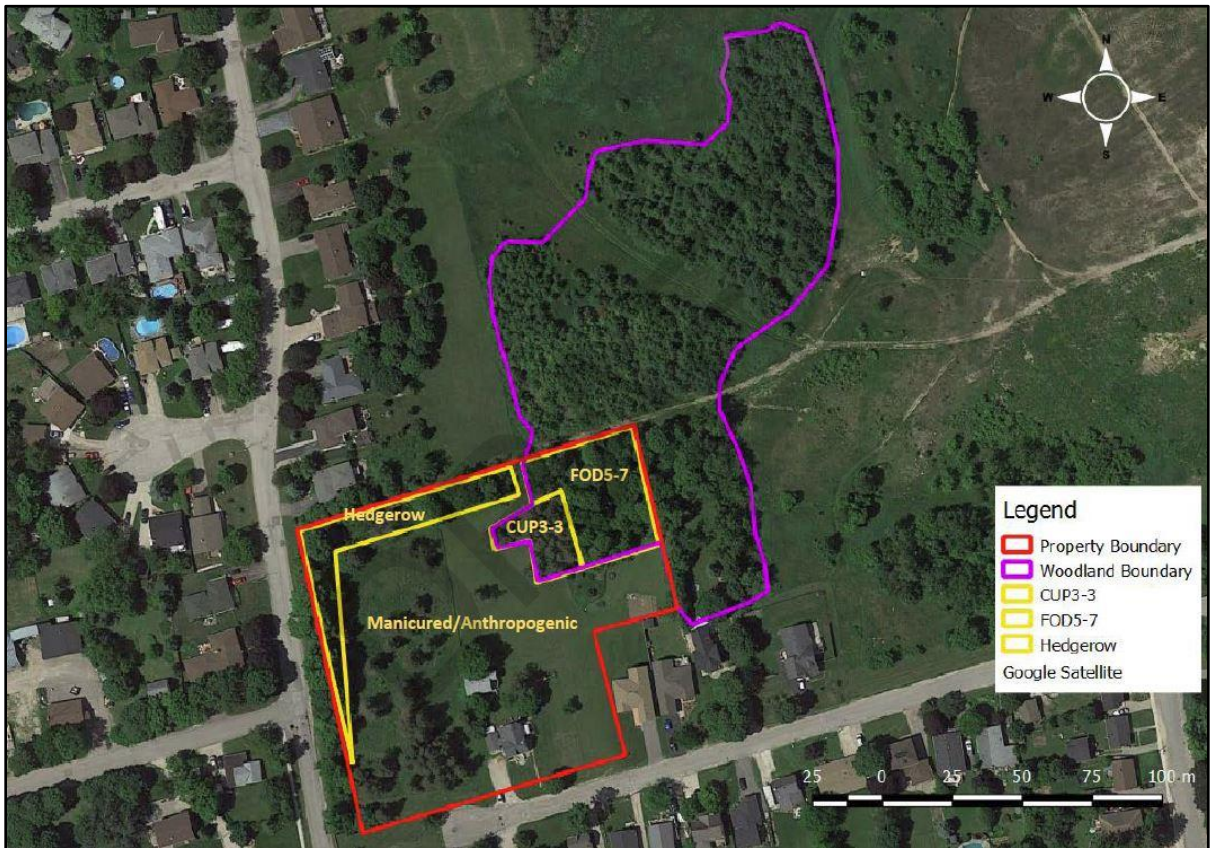


Figure 5: Ecological Land Classification and Assessed Boundary of Woodland

The Town of Grand Valley Official Plan and the County of Dufferin Official Plan do not contain criteria for the identification of Woodlands nor do they contain information on the methodology used to identify Wooded Areas under Schedule B-1 and Woodlands under Schedule E, respectively. Given the absence of direction for the identification of Woodlands from the two Official Plans, the Provincial Policy Statement (2014) is used under this assessment. As cited under the policy heading, the Provincial Policy Statement identifies Woodlands as treed areas, woodlots or forested areas and vary in their level of significance at the local, regional and provincial levels. There are no specific size criteria identified under the PPS or the Natural Heritage Reference Manual, Second Edition (2010), which provides technical guidance, criteria, and approaches for implementing the natural heritage policies of the PPS. Woodlands may be delineated according to the Forestry Act definition or the Province's Ecological Land Classification system definition for "forest." Woodland areas are considered to be generally continuous even if intersected by narrow gaps 20 m or less in width between crown edges.

Under the Town of Grand Valley Official Plan, Significant Woodlands are:

- a) Woodlands 20 hectares in size or larger;
- b) Woodlands that have 2 ha or more of interior habitat; and/or
- c) Woodlands located within a defined natural heritage system or providing a connecting link between two other woodlands having minimum areas of 20 hectares each."



Schedule B-1 (Natural Heritage) of the Town of Grand Valley Official Plan identifies a portion of the subject lands as containing a “Wooded Area less than four (4) hectares” in size. The Town’s Official Plan states that the features depicted in Schedule B-1 must be considered through the development process.

The total area of the Woodland (including the trees off-site) in hectares is approximately 1.5 hectares. Using the criteria indicated under the Town of Grand Valley Official Plan, this Woodland would not be considered Significant.

The Dufferin County Official Plan defers determination of significance of Woodlands to the Natural Heritage Reference Manual and the local municipal Official Plans. Under the Natural Heritage Reference Manual Criteria (which also supports the PPS), the Woodland does not achieve any of the indicated criteria (Woodland Size, Ecological Functions, Uncommon Characteristics, or Economic and Social Functional Values).

The Woodland identified partly within the subject lands does not meet the test for Significance under any of the relevant policy. Development is permitted in Woodlands within the Town of Grand Valley and Dufferin County. There is no requirement for an assessment of impacts to this feature. NSE’s arborist is not proposing any specific trees for retention on the subject lands but has provided recommendations on protecting trees that are not removed as part of the proposed development.

Based on the findings of the EIS, it has been determined that site development could occur with no cumulative or significant impacts to the identified natural heritage features or their ecological functions.

7 Policy Framework

The following sections provide a summary of the applicable planning policies and an evaluation of the proposed development in the context of the planning framework. The following policies have been considered in the preparation of this report: Provincial Policy Statement (2014), Growth Plan for the Greater Golden Horseshoe (2017), the County of Dufferin Official Plan (2017), the Town of Grand Valley Official Plan (2017), and the Town of Grand Valley Zoning By-law 09-10 (2018).



Policy	Managing Growth & Efficient Land Use	Efficient Use of Infrastructure	Housing	Natural Heritage System
Provincial Policy Statement, 2014	1.1.1 (a) (b) (c) (d) (e) (g) 1.1.2 1.1.3.1 1.1.3.2 (a) 1.1.3.3 1.1.3.4 1.1.3.5 1.1.3.6	1.6.6.1 (a) (b) (c) (d) 1.6.6.2 1.6.6.6 1.6.6.7 (a) (b) (c) (d) (e) 1.6.7.4	1.4.1 (a) (b) 1.4.2 (a) (b) 1.4.3(a)(b)(c)(d)(e)	2.1.2 2.1.4 3.3.1 (b)
Growth Plan for the Greater Golden Horseshoe, 2017	2.2.1.2 (a)(b)(c)(d) 2.2.1.4 (a)(b)(c)(d)(e)	3.2.1 (1) 3.2.1 (3) 3.2.6 (2)	2.2.6(1) (a) 2.2.6(2) 2.2.2 (1) 2.2.2 (2) (a) 2.2.2(4) (a) (b) (c) (d) (e) (f)	4.2.2 (3)
Dufferin County Official Plan, 2017	1.1.5 (j)(k) 3.0 (a)(b)(c)(d)(e)(g) 3.3.1 (a)(b)(c)(e)(g) 3.3.2 (a)(b)(c)(e) 3.4.1 (a)(b) 3.4.2 (a)(b)(c)(d) 3.2.2 (b)(d)		3.7.1.1 (a) 3.7.2 (c)(f)(i) 3.9.1 (a)(b)(d)	5.3 (a)(b) 5.3.4
Grand Valley Official Plan	8.2 8.3 8.4 8.5 8.5.1.1 8.5.1.2 8.5.2 8.7 8.8	6.0 6.1 7.1	4.1.4.2 5.3 5.3.2 5.3.3 5.3.4 5.3.5 5.3.6	4.2.1.5 (a)(b)(c) 4.3.1.4 4.3.2.1 4.4 4.5



7.1 Provincial Policy Statement, 2014

The Provincial Policy Statement (PPS) is a provincial planning policy document authorized by the *Planning Act* to provide policy direction on matters of provincial interest regarding land use planning and development. All decisions affecting planning matters in Ontario “*shall be consistent with*” the policy statements issued under the *Planning Act*.

The PPS encourages efficient land use planning and growth management to create and maintain communities and a healthy environment while encouraging economic growth over the long term. The PPS also encourages the efficient use of infrastructure and public service facilities and requires that municipalities plan for an appropriate range and mix of land uses throughout the Province.

Building Strong and Healthy Communities

Section 1.0 of the PPS includes policy direction related to “*Building Strong Healthy Communities*”. It supports a variety of land uses within communities and encourages initiatives that make efficient use of infrastructure. Redevelopment and residential intensification are also encouraged. The proposed townhouse and single-family subdivision is consistent with a number of the P.P.S (2014) policies.

Section 1.1.1 includes general requirements for development in Ontario:

Healthy, livable and safe communities are sustained by:

- a) *promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;*
- b) *accommodating an appropriate range and mix of residential (including second units, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs;*
- c) *avoiding development and land use patterns which may cause environmental or public health and safety concerns;*
- d) *avoiding development and land use patterns that would prevent the efficient expansion of settlement areas in those areas which are adjacent or close to settlement areas;*
- e) *promoting cost-effective development patterns and standards to minimize land consumption and servicing costs;*



- g) ensuring that necessary infrastructure, electricity generation facilities and transmission and distribution systems, and public service facilities are or will be available to meet current and projected needs; and*

Section 1.1.1 (a) (b) (c) (d) (e) and (g) apply to the development proposal. These policies promote settlement area development leveraging efficient land use, servicing and transportation.

Managing Land Use

Section 1.1.3 of the PPS outlines general requirements for development within Settlement Areas.

Section 1.1.3.2 of the PPS states that land use patterns within *Settlement Areas* shall be based on:

- a) densities and a mix of land uses which:*
- 1. efficiently use land and resources;*
 - 2. are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion;*
 - 3. minimize negative impacts to air quality and climate change, and promote energy efficiency;*
 - 4. support active transportation;*
 - 5. are transit-supportive, where transit is planned, exists or may be developed; and*
 - 6. are freight-supportive;*
- b) a range of uses and opportunities for intensification and redevelopment in accordance with the criteria in policy 1.1.3.3, where this can be accommodated.*

The subject lands are located within a designated *Settlement Area*. The PPS identifies *Settlement Areas* as being the focus for growth and development within Ontario.

Housing

Section 1.4 provides policy direction related to housing and has direct application to the subject lands and proposed residential subdivision. This section outlines a number of policy initiatives for the provision of an appropriate range and mix of housing types and densities, and future growth for residents, and states that:

“To provide for an appropriate range and mix of housing types and densities required to meet projected requirements of current and future residents of the regional market area, planning authorities shall:



- a. *maintain at all times the ability to accommodate residential growth for a minimum of 10 years through residential intensification and redevelopment and, if necessary, lands which are designated and available for residential development; and*
- b. *maintain at all times where new development is to occur, land with servicing capacity sufficient to provide at least a three-year supply of residential units available through lands suitably zoned to facilitate residential intensification and redevelopment, and land in draft approved and registered plans.*

It is also the policy of Section 1.4.3 to “provide for an appropriate range and mix of housing types and densities to meet projected requirements of current and future residents of the regional market area by:

- a. *establishing and implementing minimum targets for the provision of housing which is affordable to low and moderate-income households. However, where planning is conducted by an upper-tier municipality, the upper-tier municipality in consultation with the lower-tier municipalities may identify a higher target(s) which shall represent the minimum target(s) for these lower-tier municipalities;*
- b. *permitting and facilitating:*
 1. *all forms of housing required to meet the social, health and well-being requirements of current and future residents, including special needs requirements; and*
 2. *all forms of residential intensification, including second units, and redevelopment in accordance with policy 1.1.3.3;*
- c. *directing the development of new housing towards locations where appropriate levels of infrastructure and public service facilities are or will be available to support current and projected needs;*
- d. *promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of active transportation and transit in areas where it exists or is to be developed; and*
- e. *establishing development standards for residential intensification, redevelopment and new residential development which minimize the cost of housing and facilitate compact form, while maintaining appropriate levels of public health and safety.*

The proposed development will increase the number of residential units in the area while maintaining acceptable built form and an appropriate density. It improves efficiency and accessibility by incorporating more residential units within an existing residential community, while also making more efficient use of land and existing servicing infrastructure. The proposal reduces



demand for outward expansion of the built-up area for residential uses by locating development within in an existing community, which satisfies key development principles in the PPS.

Sewage, Water and Stormwater

Section 1.6.6 of the PPS provides policy direction on matters of provincial interests pertaining to sewage and water services. In order to ensure adequate drainage of stormwater and waste management, planning sewage and water services shall:

- a. *direct and accommodate expected growth or development in a manner that promotes the efficient use and optimization of existing:*
 1. *Municipal sewage services and municipal water services; and*
 2. *Private communal sewage services and private communal water services, where municipal sewage services and municipal water services are not available;*
- b. *ensure that these systems are provided in a manner that:*
 1. *can be sustained by water resources upon which such services rely;*
 2. *if feasible, financially viable and complies with all regulatory requirements; and*
 3. *protects human health and the natural environment;*
- c. *promote water conservation and water use efficiency;*
- d. *integrate servicing and land use considerations at all stages of the planning process*

Section 1.6.6.2 Municipal sewage services and municipal water services are the preferred form of servicing for settlement areas. Intensification and redevelopment within settlement areas on existing municipal sewage services and municipal water services should be promoted, wherever feasible.

Section 1.6.6.6 Subject to the hierarchy of services provided in policies 1.6.6.2, 1.6.6.3, 1.6.6.4 and 1.6.6.5 planning authorities may allow lot creation only if there is confirmation of sufficient reserve sewage system capacity and reserve water system capacity within municipal sewage services and municipal water services or private communal sewage services and private communal water services. The determination of sufficient reserve sewage system capacity shall include treatment capacity for hauled sewage from private communal sewage services and individual on-site sewage services.

Section 1.6.6.7: Planning for stormwater management shall:

- a. *minimize, or, where possible, prevent increases in contaminant loads;*



- b. *minimize changes in water balance and erosion;*
- c. *not increase risks to human health and safety and property damage;*
- d. *maximize the extent and function of vegetative and pervious surfaces;*
and
- e. *promote stormwater management best practices, including stormwater attenuation and re-use, and low impact development.*

This policy requires that planning for infrastructure and public service facilitates planning be integrated with growth.

Based on an evaluation of existing and municipal sanitary sewer and water services, system efficiency, reserve capacity and the future planned upgrades municipal water and wastewater systems and capacity, the proposed redevelopment will be fully serviced by municipal water and sewage services and infrastructure. The site is proposed to be serviced by an internal storm sewer system discharging system to a stormwater management facility to provide the required quality and quantity control. The onsite stormwater management facility is proposed to be sized for too-year storm event assuming no outflow from the facility.

Accordingly, it is concluded that the proposal is consistent with the policies 1.6.6.1 (a), 6.6.1 (b), 1.6.6.2, 1.6.6.6 and 1.6.6.7 of the PPS as it provides adequate provision of services.

Transportation Systems

Section 1.6.7 of the PPS provides specific direction of transportation infrastructure and existing and future planned facilities to ensure the safe and efficient movement of people and goods.

Policy 1.6.7.4 states that in context and consideration of redevelopment and intensification, “*a land use pattern, density and mix of uses should be promoted that minimizes the length and number of vehicle trips and support the current and future uses of transit and active transportation*”.

The proposed development is consistent with the policies of 1.6.7 of the PPS and will take advantage of proximity to existing transportation corridors and major public road systems in the area. No changes to the existing road system would be required for normal operations and the increase in traffic volumes will have no appreciable impacts on the adjacent road systems.

Summary

The proposed development is consistent with all applicable policies of the PPS, specifically as they relate to the provisions of managing land use, housing, transportation, redevelopment, sewage and wastewater management and natural heritage features. A summary is provided below:

- The subject lands are located within the Built Boundary of a designated Settlement Area. The PPS supports development in such locations that have consideration for compatibility



with surrounding land uses, supports the efficient use of land, optimize municipal and transportation infrastructure.

- The proposed development will allow for the redevelopment of a vacant and underutilized site and redevelop the lands for a residential subdivision. The proposed development will provide a mix of housing types and allow for additional housing supply in the community.
- The proposed development will take advantage of proximity to existing transportation corridors and major public road systems in the area including Amaranth Street East and Main Street North (County Road 25). No changes to the existing road system would be required for normal operations and the increase in traffic volumes will have no appreciable impacts on the adjacent road systems.
- The proposed development is located in an area in which appropriate infrastructure is available and upgrades to public service utilities are planned.
- The proposed development can address stormwater management principles and can sufficiently maintain the maximum flow requirements in a 100-year event storm. The proposed stormwater management plan as designed by Meritech Engineering, will manage pre and post construction conditions to meet the Towns requirements
- The Natural Heritage Environmental Impact Study prepared by North-South Environmental Inc. identifies that the proposed development would result in no negative impacts to any natural heritage features located on site.

In our opinion, for the reasons noted above, the proposed development and subject applications are consistent with the applicable policies of the PPS.

7.2 Places to Grow - Growth Plan for the Greater Golden Horseshoe, 2017

The Growth Plan for the Greater Golden Horseshoe (the “Growth Plan”) provides direction relating to the structure and priorities for growth of communities within the Greater Golden Horseshoe (“GGH”). The intent of the Growth Plan is to achieve the development of compact and vibrant communities and to plan and manage growth in order to support a strong and competitive economy in the Greater Golden Horseshoe.

The Growth Plan is read in conjunction with the Provincial Policy Statement. In instances where policies of the Plan address a similar matter of there is overlap, the more specific direction of the Growth Plan is to be considered, rather than the more general policies of the PPS. The proposed development must comply with the 2017 Growth Plan.

Where and How to Grow

Section 2.2 of the Growth Plan addresses growth management and the determination of how and where growth should be directed. The purpose of this section of the Growth Plan is to provide direction to manage growth in a manner which ensures better use of land and infrastructure and



encourages a compact built form throughout the GGH. This section consists of the following policies that are relevant to the proposal:

Section 2.2.1.2

- a) *the vast majority of growth will be directed to settlement areas that:*
 - i. *Have a delineated built boundary;*
 - ii. *Have existing or planned municipal water and wastewater systems; and,*
 - iii. *Can support the achievement of complete communities;*

- b) *growth will be limited in settlement areas that:*
 - i. *Are undelineated built-up areas;*
 - ii. *Are not serviced by existing or planned municipal water and wastewater systems; or,*
 - iii. *Are in the Greenbelt Area;*

- c) *within settlement areas, growth will be focused in:*
 - i. *Delineated built-up areas;*
 - ii. *Strategic growth areas;*
 - iii. *Locations with existing or planned transit, with a priority on higher transit where it exists or is planned; and*
 - iv. *Areas with existing or planned public service facilities;*

- d) *development will be directed to settlement areas, except where the policies of this Plan permit otherwise.*

This policy sets out a strategic outline for the hierarchical organization and management of growth in the Province of Ontario.

Section 2.2.1.4 establishes a framework for the achievement of 'complete communities'. The policy states that in support of the achievement of complete communities, new developments should:

- a) *feature a diverse mix of land uses, including residential and employment uses, and convenient access to local stores, services, and public service facilities;*

- b) *improve social equity and overall quality of life, including human health, for people of all ages, abilities, and incomes;*

- c) *provide a diverse range and mix of housing options, including second units and affordable housing, to accommodate people at all stages of life, and to accommodate the needs of all household sizes and incomes;*

- d) *expand convenient access to:*



- i. a range of transportation options, including options for the safe, comfortable and convenient use of active transportation;*
 - ii. public service facilities, co-located and integrated in community hubs;*
 - iii. an appropriate supply of safe, publicly-accessible open spaces, parks, trails, and other recreational facilities; and*
 - iv. healthy, local, and affordable food options, including through urban agriculture;*
- e) ensure the development of high quality compact built form, an attractive and vibrant public realm, including public open spaces, through site design and urban design standards.*

The policy is an amalgam of community building objectives. Analysis considers how a proposed development contributes to the achievement of these objectives,

Delineated Built-up Areas

The 2017 Growth Plan intends to target intensification throughout delineated built up areas, and in accordance with Section 2.2.2 of the plan. The Growth Plan states that:

- 1. By the year 2031, and for each year thereafter, a minimum of 60 per cent of all residential development occurring annually within each upper- or single-tier municipality will be within the delineated built-up area.*
- 2. By the time the next municipal comprehensive review is approved and in effect, and each year until 2031, a minimum of 50 per cent of all residential development occurring annually within each upper- or single tier municipality will be within the delineated built-up area.*
- 4. All municipalities will develop a strategy to achieve the minimum intensification target and intensification throughout delineated built-up areas, which will:*
 - a) encourage intensification generally to achieve the desired urban structure;*
 - b) identify the appropriate type and scale of development and transition of built-form to adjacent areas;*
 - c) identify strategic growth areas to support achievement of the intensification target and recognize them as a key focus for development;*
 - d) ensure lands are zoned and development is designed in a manner that supports the achievement of complete communities;*
 - e) prioritize planning and investment in infrastructure and public service facilities that will support intensification; and*
 - f) be implemented through official plan policies and designations, updated zoning and other supporting documents.*

The Growth Plan has established a pattern and expectation for increasing intensification over time. The proposed development should be considered in that context.



Providing a Range and Mix of Housing

Achieving a range and mix of housing options, including affordable housing, to serve all sizes, incomes, and ages of households is a key component of the Growth Plan. Section 2.2.6 of the Growth Plan provides policies relative to the diversification of housing types and tenures and dictates that a greater variety of appropriate residential uses will be supported to accommodate the growth forecasts. Municipalities will promote a range and mix of residential uses by:

Section 2.2.6.2

- a) Planning to accommodate forecasted growth to the horizon of this Plan;*
- b) Planning to achieve the minimum intensification and density targets in this plan;*
- c) Considering the range and mix of housing options and densities of the existing housing stock and*
- d) Planning to diversify their overall housing stock across the municipality.*

The proposed residential subdivision would provide intensification through the development of a mix of building types/forms (i.e. townhomes, condominium single-detached dwellings and freehold single-detached dwellings) which would achieve efficient infilling in accordance with the broad plan for managing growth. The proposal supports the efforts of appropriate intensification and the creation of a diversified, compact and complete community in accordance with the prescribed pattern of growth and development as outlined in the Growth Plan.

Infrastructure to Support Growth

The subject lands are located within a settlement area with access to municipal service and infrastructure. Section 3.2 of the Growth Plan, which contains policies for Infrastructure to Support Growth, is supportive and pertinent to the proposed development. Section 3.2 includes the following policies:

Section 3.2.1.1 Infrastructure planning, land use planning, and infrastructure investment will be coordinated to implement this Plan.

Section 3.2.1.3 Infrastructure investment and other implementation tools and mechanisms will be used to facilitate intensification and higher density development in strategic growth areas. Priority will be given to infrastructure investments made by the Province that support the policies and schedules of this Plan.

Section 3.2.6.2 Municipal water and wastewater systems and private communal water and wastewater systems will be planned, designed, constructed or expanded in accordance with the following:

- a. Opportunities for optimization and improved efficiency within existing systems will be prioritized and supported by strategies for energy and water conservation and water demand management;*
- b. The system will serve growth in a manner that supports achievement of the minimum intensification and density targets in this Plan;*



The proposed development is located in an area in which appropriate infrastructure and public service utilities are planned and available. Where there are current gaps in servicing capacity, approved improvements and upgrades to municipal infrastructure systems are being coordinated, which would, in whole or in part, accommodate the proposed redevelopment and the future growth in the Town of Grand Valley.

Natural Heritage System

Section 4.2 of the Growth Plan contains policies that apply to the protection of the region's natural heritage and biodiversity. Policy 4.2.2.3 states that:

Within the Natural Heritage System:

- a. *new development or site alteration will demonstrate that:*
 - i. *there are no negative impacts on key natural heritage features or key hydrologic features or their functions;*
 - ii. *connectivity along the system and between key natural heritage features and key hydrologic features located within 240 metres of each other will be maintained or, where possible, enhanced for the movement of native plants and animals across the landscape;*
 - iii. *the removal of other natural features not identified as key natural heritage features and key hydrologic features is avoided, where possible. Such features should be incorporated into the planning and design of the proposed use wherever possible;*
 - iv. *except for uses described in and governed by the policies in subsection 4.2.8, the disturbed area, including any buildings and structures, will not exceed 25 per cent of the total developable area, and the impervious surface will not exceed 10 per cent of the total developable area;*
 - v. *with respect to golf courses, the disturbed area will not exceed 40 per cent of the total developable area; and*
 - vi. *at least 30 per cent of the total developable area will remain or be returned to natural self-sustaining vegetation, except where specified in accordance with the policies in subsection 4.2.8*

In their inventory and assessment of the subject lands, North-South Environmental concluded that the site does not contain any key natural heritage features and the proposed development will have no negative impact on adjacent systems.

Summary:

The Growth Plan promotes redevelopment through intensification generally throughout built-up areas and specifically recognizes the need for more efficient utilization of lands, compact form and supports the principle of higher densities in appropriate areas, where infrastructure and transportation infrastructure exist and can be optimized.



- The proposed development conforms to the policies of the Growth Plan by directing development and intensifying residential land uses within existing settlement and built-up areas.
- The proposed development maintains the objectives of the Growth Plan as it promotes a form of redevelopment that is more compact and efficient and optimizes existing transportation infrastructure.
- The proposed development makes use of existing and future planned municipal water, wastewater systems and community infrastructure.
- The Natural Heritage Environmental Impact Study prepared by North-South Environmental confirmed that no negative impacts or loss of natural heritage features and systems would result from the proposed development. The development proposes to retain mature trees where feasible.

Based on the above analysis, it is our opinion that the proposed development conforms to the policies of the Growth Plan.

7.3 Dufferin County Official Plan, 2017

The Official Plan for the County of Dufferin (the “County Official Plan” or “Plan”) was approved by the County Council in September 2014 and approved by the Ministry of Municipal Affairs and Housing in March 2015. The following is based on the July 2017 Office Consolidation of the Plan which provides over-arching policy direction on matters of County significance. The County Official Plan directs growth management and land use decisions by providing upper-tier land use planning guidance for the County’s eight local municipalities.

Goals

The County Official Plan is predicated on guiding principles and goals that reflect the values and future vision for the County and are established primarily to manage land use patterns. Section 1.1.5 outlines a number of goals which have been derived on a reflection and interpretation of provincial policy and its application to Dufferin County. The goals of the County Official Plan that have direct application to the proposed development include:

- a) Foster the creation of complete, healthy and sustainable communities and enhance the quality of life for residents.*
- b) Direct the majority of population and employment growth to the settlement areas to preserve and protect agricultural area and the rural and natural character of the County and make efficient use of existing and planned infrastructure.*
- f) Protect natural heritage features and the environment and foster the creation of an enhance and connected natural heritage system and recognize the importance of provincially significant features and landforms.*



- k) *Encourage the provision of a range of housing opportunities of varying densities and tenures, including the construction of affordable housing and special needs housing.*

Growth and Settlement Areas

Section 3.0 of the County Official Plan sets the framework for the allocation growth and intensification within the County. The majority of future growth will be directed to the urban settlement areas where full municipal services and infrastructure are able to accommodate additional growth. The following polices have direct application to the proposed development:

- a) *Foster the creation of complete, healthy, and vibrant communities and enhance the quality of life for all residents by directing the majority of growth and development to the settlement areas to conserve and protect natural heritage features and areas and agricultural areas.*
- b) *Provide a settlement structure for directing and managing growth and development in the County over a 20-year planning horizon.*
- c) *Promote a settlement structure which directs the majority of urban development on full municipal services to the County's three urban settlement areas which include the: Town of Orangeville, Town of Shelburne and Town of Grand Valley urban area, and to a lesser extent to the community settlement areas, which are able to accommodate additional growth.*
- d) *Promote development patterns in settlement areas that efficiently use land, resources, infrastructure, and public service facilities, through compact urban forms, a mix of land uses and appropriate densities.*
- e) *Encourage opportunities for redevelopment, revitalization and intensification in appropriate locations and of a scale and character of development that is compatible with the community.*
- g) *Encourage the provisions of a broad range of housing types and affordability to meet the needs of the existing and future residents of the County.*

Urban Settlement Areas

Section 3.3.2 specifies that the majority of growth will be directed to the County's Settlement Areas. The Urban Settlement Areas function as the primary centres for growth, development and urban activity. Additionally, Urban Settlement Areas will be the focus of residential, commercial, industrial, institutional, cultural, recreational and open space uses. The following policies have direct application to the proposed residential redevelopment:



- a) *Urban settlement areas and their boundaries are identified on Schedule B, and include the Town of Orangeville, Town of Shelburne and the urban area of Grand Valley.*
- b) *Urban settlement areas will be the focus of growth and will accommodate a broad range of uses. The range of permitted uses and associated land use policies will be established in the local municipal official plans and in accordance with the policies of this Plan.*
- c) *Urban settlement areas will have municipal sewage services, municipal water services, and appropriate stormwater management services, and provide a range of land uses and densities, a mix of housing types including affordable housing options and alternative housing forms for special needs groups and be designed to be walkable communities with opportunities for public transit.*
- e) *Local municipalities are encouraged to identify and promote intensification, infill and redevelopment of designated and vacant and/or underutilized sites, in the urban settlement areas, taking into account existing building stock and the availability of suitable existing or planned infrastructure and public service facilities to accommodate projected needs, and in accordance with the intensification policies in Section 3.4.*

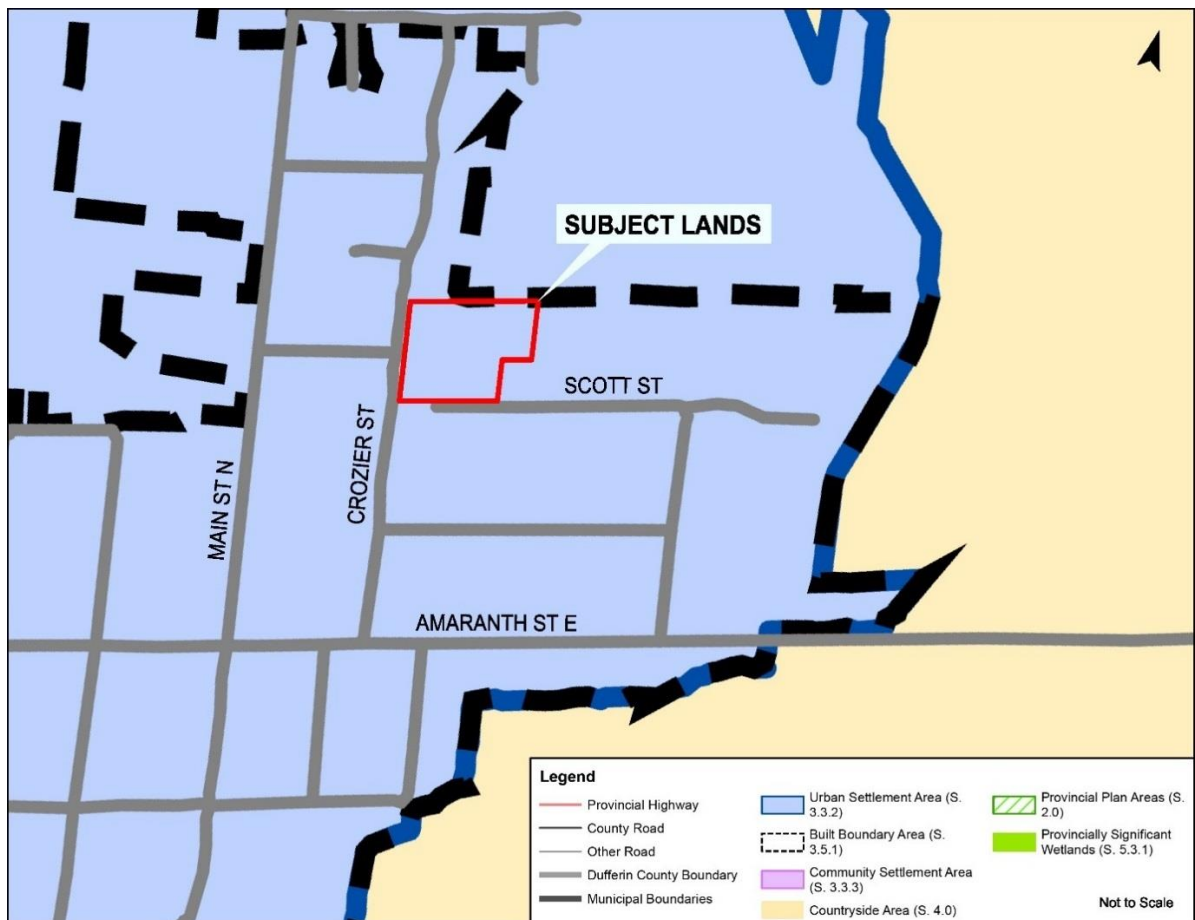


Figure 6: Schedule B1-Community Structure & Land Use, Dufferin County Official Plan



Schedule B1 – Community Structure and Land Use of the County Official Plan designates the subject lands as *Urban Settlement Area* and located within the *Built Boundary Area* of the Town of Grand Valley.

Built Boundary

The Built-Up Area is all lands within the Built Boundary and reflects lands that are currently developed. They are those parts of a community's settlement area that are already developed and will accommodate the vast majority of growth through infill and intensification.

It is the policy of Section 3.4.1 of the County Official Plan that:

- a) *A built boundary/built-up area for the urban settlement areas of Orangeville, Shelburne and the Grand Valley are identified by the Province and shown on Schedule B1. All community settlement areas are considered built-up area that is made up of existing developed areas and greenfield areas within the settlement area.*
- b) *Any development occurring within the County's built boundary/built-up area will be considered when measuring the County's progress towards achieving its intensification goals.*

The subject lands are located within a delineated Built Boundary where growth is to be directed.

Intensification

Section 3.4.2 indicates that residential intensification and redevelopment within settlement areas is encouraged in order to increase the vitality of these areas, provide a broader range of housing choices, and optimize the use of existing infrastructure and public service facilities. Intensification is intended to accommodate a significant amount of new development in the County, however, it is recognized that the type, form and scale of intensification will vary across the County based on local conditions and characteristics

Within the County there are limited opportunities for intensification, and the County will encourage intensification within the existing built boundary/built-up area wherever feasible and appropriate. By the year 2015 and for each year thereafter the County and local municipalities will achieve the minimum intensification targets for new residential development occurring within the municipality to be within the built boundary/built-up area as identified in the table below.

Table 1 – Minimum Intensification Targets

	Minimum Intensification Target %
Grand Valley (Urban Settlement Area)	12
Orangeville	50
Shelburne	38
Dufferin County	40



Section 7.3.2 of the County Official Plan states that:

- a) *The County will encourage intensification within urban settlement areas and community settlement areas that is of an appropriate scale and character. Intensification will only be encouraged subject to other policies of this Plan, including the availability of servicing, and the protection of existing stable neighbourhoods.*
- b) *Local municipal official plans will identify appropriate locations and the type and form of intensification to be promoted. Intensification will include any of the following:*
 - ii. *infill residential development and new residential development of vacant land or underutilized land within the built-up area;*
 - iii. *redevelopment which includes either the replacement of existing residential uses with compatible new residential developments at a higher density or the replacement of non-residential component; and/or*
- c) *The following criteria will assist the County and local municipalities in the evaluation and consideration of applications for intensification:*
 - i. *the proposed development is located within the built boundary/built-up area;*
 - ii. *the proposed development provides a diverse and compatible mix of land uses including residential uses and potentially commercial or employment uses, to support vibrant neighbourhoods;*
 - iii. *the existing sewage and water services can accommodate the additional development;*
 - iv. *the road network can accommodate the traffic generated;*
 - v. *sufficient parking is provided;*
 - vi. *the proposed development is adequately serviced by parks, schools and other community infrastructure;*
 - vii. *the proposed development supports transit, where available, walking and cycling for everyday activities;*
 - viii. *the development proposal provides for high quality public open spaces with site design and urban design standards that create attractive and vibrant places;*
 - ix. *the proposed development is compatible with the existing development and physical character and scale of adjacent buildings, streetscapes, and surrounding neighbourhood, and provides appropriate transition of built forms to adjacent uses; and*
 - x. *the proposed development is consistent with the policies of the appropriate land use designation associated with the land.*

The County Plan recognizes that there are limited opportunities for intensification within the current settlement area boundary as the Town of Grand Valley is largely surrounded by the protected environmental conservation and agricultural uses, which poses constraints to any outward urban



expansion. As such, growth and intensification will be directed within the existing built-up areas that can accommodate growth and where it is deemed to be feasible and appropriate.

In 2016, the County of Dufferin had a permanent population of 61,735. The County Plan has projected the population of local municipalities for the year 2031 and beyond. The projections are a guideline for the anticipated growth level in the County over the lifespan of the County Plan. Based on these projections, Dufferin County is anticipated to grow to 81,000 residents by the year 2031 and achieve a minimum density target of 50 residents and jobs combined per hectare (Table 1).

The County of Dufferin Official Plan directs growth and intensification within the existing built boundaries of the four lower tier municipalities. The County provides direction for a proportionate share of growth to be directed to the Town of Grand Valley to meet intensification targets of 12% to the next planning horizon. The intensification of the subject lands, and the addition of higher density residential uses is consistent with the goals and objective of the County Official Plan.

Natural Heritage Features and Functions

Section 5.3 of the County Plan outlines the policies and regulatory framework to manage, conserve and maintain the County's natural qualities. Policy 5.3 of the County Official Plan states that:

- b. *Development and site alteration will not be permitted in:*
 - i. *significant woodlands;*
 - ii. *significant valleylands;*
 - iii. *significant wildlife habitat; and,*
 - iv. *significant areas of natural and scientific interest (ANSI) including Earth Science and Life Science (ANSI)*

It is the intent of the Official Plan is to conserve existing woodlands and vegetation and prohibit the development of incompatible land uses that deter their long-term benefits. Development and site alteration is not permitted within or adjacent to significant woodlands unless it has been demonstrated that there will be no negative impacts on the natural features or their ecological functions through the preparation of an EIS.

Based on Schedule E1 – Natural Heritage of the Dufferin County Official Plan, a preliminary natural heritage system feature has been identified on the site. The County acknowledges that inaccuracies or omissions in the mapping may be present and the boundaries of these features and areas are considered to be approximate. It is expected that even where features have been identified at the provincial, regional or local levels that verification and some level of refinement will be undertaken at the site-specific basis.

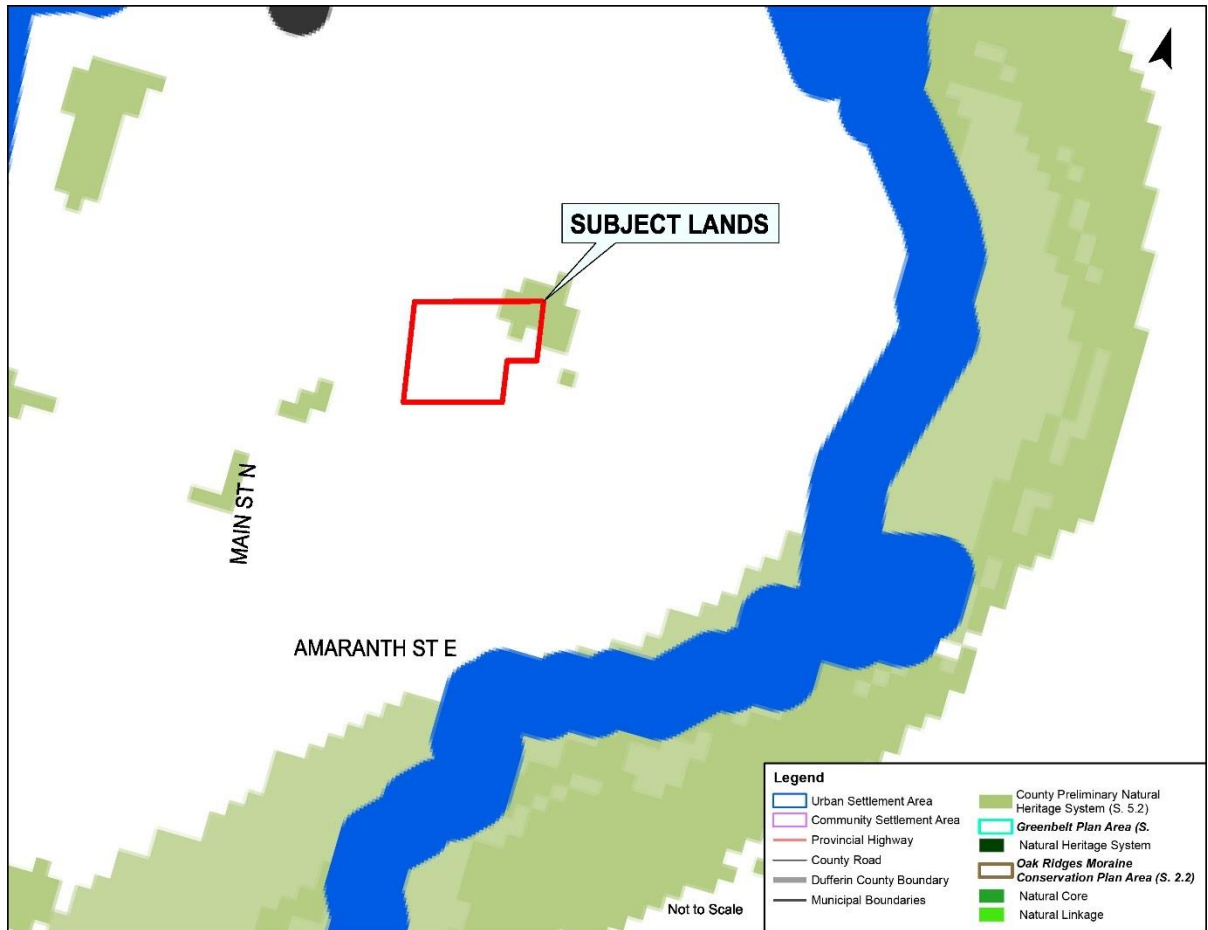


Figure 7: Schedule E1-Natural Heritage, Dufferin County Official Plan

A Natural Heritage Environmental Impact Assessment (NHEIS) was prepared by North-South Environmental Inc to assess the ‘preliminary natural heritage system feature’ further identified as a wooded area located in the north-east corner of the subject lands. The County of Dufferin Official Plan does not contain criteria for the identification of Woodlands or information on the methodology used to identify Wooded Areas. In the absence of this information, the Provincial Policy Statement (2014) was used to undertake this assessment for identification. The Report concluded that the Woodland identified partly within the subject lands do not meet the test for ‘Significance’ under any of the relevant policy. The proposed development is permitted and there is no requirement for further assessment of impacts to this feature.

For the reasons stated above, it is our opinion that the proposed residential development is consistent with the Natural Heritage policies of the Dufferin County Official Plan and does not impact any Significant *Woodlands* or their intended ecological functions.

7.4 Town of Grand Valley Official Plan, 2015

The Town of Grand Valley Official Plan was adopted by Council in 2006 and was approved by the Minister in December 2009. The April 2017 Office Consolidation is the most recent copy of the



Official Plan and provides clear development policies for the future growth and development in the Town.

Objectives

The policies contained in Section 3.3 implement the overall vision and strategy that will guide future land use planning and development in the Town.

It is the strategic objective of the Plan:

- a) To enable the Town of Grand Valley to grow to a size that will ensure that it can provide a full range of goods and services for its residents;*
- b) To provide opportunities for the residents of the Town to live, work and play within Grand Valley;*
- c) To maintain the small-town character of the Town that will continue to function as a service center for the surrounding agricultural area;*
- e) To manage growth so that the existing and future residents will enjoy a quality of life that is not adversely affected by growth, incompatible land uses or hazardous conditions;*
- f) To protect natural features from land uses and human intrusion that may diminish the quality of the natural environment;*
- g) To ensure that the Town can continue to provide a desirable range of services while maintaining a healthy financial state;*
- i) To support growth and viability of the commercial core of the village of Grand Valley through infill, intensification and redevelopment while having regard for urban design;*
- j) To protect the quality and quantity of source water, ground water and surface water systems throughout the Town;*
- l) To encourage infill, Intensification and redevelopment of the Built-Up Area prior to considering greenfield development;*

The proposed development supports the fundamental objectives set out in 3.3 by:

- Promoting the efficient use of land and services through residential infill and intensification of a delineated Built-Up Area.
- Utilizing municipal existing wastewater treatment and water supply services and infrastructure where available and committing significant capital contributions to upgrades



and improvements to these systems in support of the proposed development and in the broader context, the continued growth of the Town.

- Considering the unique character of the Town and providing for an appropriate level of density and housing types in context with the existing urban form.
- Focusing residential growth in an urban service centre where access to services and amenities are readily available and accessible and away from significant natural heritage features and systems.

Natural Heritage Features

The policies contained in Section 4.2.1 implement a number of goals that seek to protect and enhance significant natural heritage features, areas and functions in the Town for the long term.

Section 4.2.1 states that:

There shall be no development and site alteration in:

- a) Significant habitat of endangered species and threatened species; and;*
- b) Provincially significant wetlands.*

With the exception of existing agricultural uses, unless it has been demonstrated that there will be no negative impacts on the natural heritage features or their ecological functions, no development and site alteration shall be permitted in:

- a) Locally significant and unevaluated wetlands;*
- b) significant woodlands;*
- c) significant valleylands;*
- d) significant wildlife habitat;*
- e) significant areas of natural and scientific interest;*
- f) fish habitat; and*
- g) adjacent lands to the natural heritage features and areas.*

Where more than one natural feature is found on a site, the more restrictive policies apply.

Based on Schedule B-1: Natural Heritage of the Dufferin County Official Plan, a wooded area less than 4 hectares in size has been partly identified on the site.

Section 4.1.2.5 identifies the criteria for evaluating woodlands in order to determine their broader ecological significance.

Significant woodlands are:

- a) Woodlands 20 hectares in size or larger;*
- b) Woodlands that have 2 ha or more of interior habitat; and/or*



- c) Woodlands located within a defined natural heritage system or providing a connecting link between two other woodlands having a minimum area of 20 hectares each.

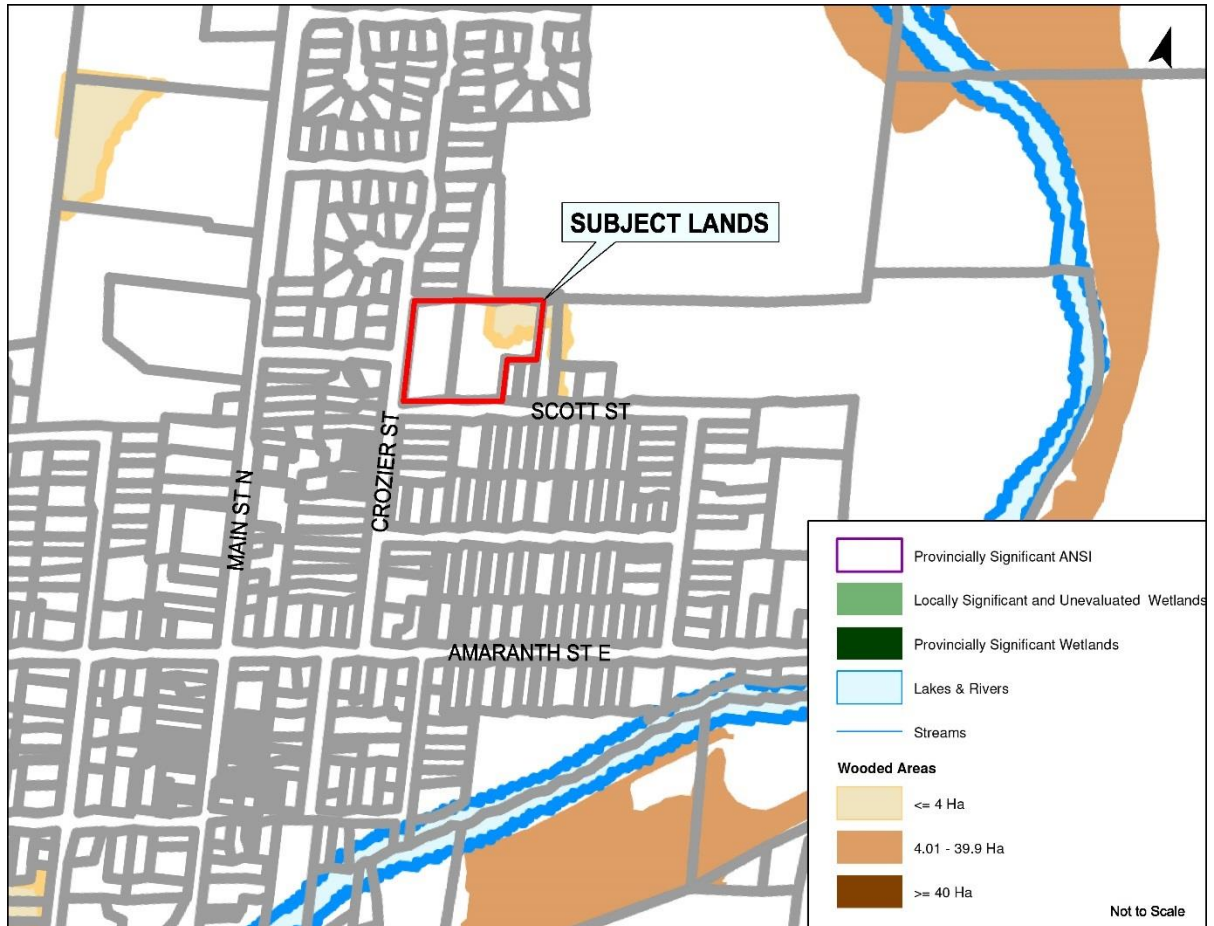


Figure 8: Schedule B-1: Natural Heritage, Town of Grand Valley Official Plan

The identification and evaluation of this wooded area was undertaken through the completion of a Natural Heritage Environmental Impact Assessment by North-South Environmental. Their assessment concluded that the woodland identified partly on-site does not meet the test for 'significance' under the relevant policy and no measurable impacts to the terrestrial or ecological functions of the wooded area will result from the proposed development.

Mineral Aggregate Resources

Section 4.2.5 of the Town of Grand Valley Official Plan outlines the requirements for redevelopment within areas where mineral aggregate resources are identified:

Areas having high mineral aggregate resource potential are identified on Schedule B-3 as Primary and Secondary Mineral Aggregate Resources. As much of the Mineral Aggregate Resources as is realistically possible shall be made available as close to markets as possible.



Demonstration of need for Mineral Aggregate Resources, including any type of supply/demand analysis shall not be required, notwithstanding the availability, designation or licensing for extraction of Mineral Aggregate Resources locally or elsewhere.

Development within, or adjacent to these areas for purposes other than resource extraction outside of the Urban Area will not be permitted except where it can be shown, through a impact assessment to the Town's satisfaction, that the resource use would not be feasible or, the proposed land use or development serves a greater long-term public interest, and issues of public health, safety, and environmental impacts are addressed.

Where development is proposed in an area of known mineral aggregate resources, the development shall be set back and buffered sufficiently to ensure that the extraction or future extraction of the resource is not limited.

Adjacent lands are defined as 300 metres from aggregate mineral resources as identified on Schedule B-3.

Amaranth Aggregates is located approximately 673 metres from the subject lands and operates primarily as an aggregate extraction, production and commercial sales facility.

The proposed development will not be adversely impacted by the ongoing aggregate facility nor will the proposed development prohibit the future expansion of the extraction and supply operations. The proposed development will not adversely impact the ongoing aggregate operations and is a compatible use as it exceeds the 300 metre minimum separation distances as outlined in Section 4.2.5 of the Official Plan.

At present, given the significant distance separation between the proposed development and the Amaranth Aggregates site, together with additional buffering from natural open spaces and existing residential dwellings, it is our opinion that there will be no adverse effects of the ongoing operations or the future extraction of those resources affecting the subject lands.

Steep Slopes and Ravines

Steep slopes and ravines are generally identified as lands as having inherent environmental hazards, such as flood susceptibility, erosion susceptibility, and/or exhibit instability or any other physical condition which is severe enough to pose a risk for the occupant, property damage or social disruption if developed.

Section 4.3.1 of the Town of Grand Valley Official Plan outlines the requirements for redevelopment within areas where steep slopes or ravines are identified:

Development and site alteration should generally not occur on steep slopes due to the erosion hazard. Development of institutional uses, essential emergency services or uses



associated with the disposal, manufacture, treatment or storage of hazardous substances shall not be permitted in areas of steep slope or ravine.

Where other development is proposed on a steep slope in excess of 25 per cent, an engineering report shall be prepared to the satisfaction of the Conservation Authority and the Town of Grand Valley. The report shall confirm that the slopes will be stable during and after construction.

Where development and site alteration is proposed in close proximity to a steep slope, at the toe of a steep slope, along the Grand River or on a slope not identified on Schedule B, such development should be designed in such a way as to minimize the disturbance of and ensure the stability of slopes.

The Conservation Authority may establish a minimum development setback from the brow or crest and toe of a slope or ravine and no disturbance of grades or vegetation below the crest or brow and above the toe shall occur except for erosion and sedimentation control projects approved by the Conservation Authority.

The grades of the site consist of significant declining elevations from the northwest corner (near Crozier Street) to the southwest corner of the subject lands.

Chung & Vander Doelen Engineering Ltd. was retained to undertake preliminary geotechnical investigations for the proposed residential development. The purpose of their analysis was to characterize the subsurface soil conditions and groundwater levels at thirteen (13) boreholes and from the findings in the boreholes to make preliminary recommendations pertaining to the geotechnical design of proposed works. The Report recommends that due to the sloping site grades, a retaining wall will likely be constructed along the north property limit and up to 5 cm cuts will take place along the north property and west property limits in order to provide lateral support for the steep to vertical grade changes

Municipal Services

Section 6.0 of the Town of Gran Valley Official Plan outlines the general municipal servicing standards and provides specific guidelines to assist in the allocation and servicing of new developments. All new development within the Town must ensure that sewage and water services are provided in a manner that can be sustained by the water resources upon which they rely; is financially viable; complies with all regulatory requirements; and protect human health and the natural environment. The Town also encourages the conservation and efficient use of water resources and will ensure that servicing and land use considerations are integrated at all stages of planning processes.

The policies contained in Section 6.1 implement a number of recommendations to develop strategies and implement initiatives for the provision of full municipal services for all existing and future growth in the Town.



It is the intent of the Town to provide full municipal water and wastewater systems and storm water management services within the Settlement Area. Uses that are currently on private or partial services within this area may be required to connect to urban services as a condition of any redevelopment provided that such connections are technically and economically feasible.

Increases to the capacity of the municipal water and wastewater systems will be sought to accommodate new development during the planning period to support the achievement of the population and employment growth forecasts, together with the Intensification and Density Targets. The Town will investigate and pursue opportunities to fund the studies required for increases in capacity and will also investigate and pursue opportunities to provide the required infrastructure for such increases in capacity. These opportunities include seeking funding from both the benefiting development community and from senior levels of government. It is recognized that the full achievement of the population and employment growth Forecasts is dependent on increases to the capacity of the municipal water and wastewater systems and development is not intended to be approved without servicing capacity being available for allocation.

Draft plan approval of subdivision/condominium or lot creation by consent will only be permitted within the Settlement Area if there is sufficient reserve capacity in the municipal water and wastewater systems for the proposed use. Draft Plan approval does not guarantee sewage and water allocation. Allocation will be granted by Town Council prior to final approval.

Final approval of draft plan subdivision/condominium will be subject to the allocation of uncommitted capacity in the municipal water and wastewater systems, secured through agreement with the Town. The Town will not support any request to the Ministry of Municipal Affairs for any draft plan approved subdivision/condominium to proceed to registration without such draft plan approved subdivision having obtained such an allocation. In addition, the Town will use a Holding Symbol applicable to the zoning of the lands within draft approved subdivision/condominium, (unless such subdivision/condominium has already obtained an allocation of servicing from the Town) and the Town will not lift the Holding Symbol applicable to the zoning of the lands within the draft approved plan of subdivision/condominium, until it is satisfied that sufficient municipal water and wastewater capacity has been allocated to the development proposal.

The proposed development is located in an area in which an existing 200mm sanitary sewer, located on Scott Street, can adequately service the site. However, based on the current available capacity at the existing Grand Valley Wastewater Treatment Plant, upgrades to infrastructure in order to manage future flow requirements and capacity will be required.

The applicant has entered into a joint funding agreement with a number of local area developers and the Town of Grand Valley to facilitate the construction of improvements to the WWTP, specifically, a Surge Tank to accelerate access and allocation capacity to future proposed residential developments. It is anticipated that these upgrades will provide the development



additional capacity for twelve (12) residential units in addition to the existing two (2) allocations for the existing parcels municipally addressed 0 Scott Street and 20 Scott Street.

The additional ten (10) unallocated units will be addressed through a Standard Allocation Request in order to obtain a provisional allocation of capacity to address the shortfall. It is the policy of the Official Plan to prioritize allocation to urban settlement areas to accommodate future growth with a focus on multiple unit residential developments.

The subject lands are within the existing town service boundary and existing 150mm watermains are located on both Crozier and Scott Street which can service the site. The Town has recently undertaken a review of its water storage and distribution demands. Based on a technical memorandum prepared by R.J Burnside Associates Ltd., it was determined that the existing infrastructure would not be able to meet the future demand and additional water supply, treatment, and storage be implemented to meet these requirements. Accordingly, the construction of a new tower, at the south end of the Town has been proposed. In consideration that the work of environmental planning and design approval with the provision of additional water supply is underway and additional capacity should be in place prior to the redevelopment of the subject lands, there is adequate lead time for system upgrades to be reached to ultimately service the supply needs of the proposed development.

Storm Water Management

Section 4.4 of the Town of Grand Valley sets the framework for the planning band design of stormwater management practices.

It is the policy of the Official Plan that:

Applications for new and expanding commercial, industrial, recreational and institutional development having a floor area in excess of 200 m² and residential development of more than 5 lots shall be accompanied by a Stormwater Management Report prepared by a qualified professional to the satisfaction of the Town and the Conservation Authority.

The Stormwater Management Report shall include an analysis of the effects of development on watershed flow regimes including the interconnection with groundwater resources.

No development will be approved that results in post-development run-off rates that are greater than pre-development run-off rates for storms up to and including the 100-year flood event. Stormwater Management facilities may be permitted accessory to a permitted use, in all designations except the Environmental Protection designation.

The design of new stormwater management facilities shall reduce the risk of drinking water contamination, and where possible direct the discharge of stormwater outside of Vulnerable Areas, and shall not be located or designed in a manner that would result in a significant drinking water threat



A Stormwater Management Report was prepared by Meritech Engineering for the proposed development. The site is proposed to be serviced by an internal storm sewer system discharging to a stormwater management facility to provide the required quality and quantity control. The facility is proposed to be sized for the 100-year storm event assuming no outflow from the facility.

Urban Residential Land Use Designation

The subject lands are designated *Urban Residential* on Schedule 'A-2' Land Use of the Town of Grand Valley Official Plan.

Section 5.3 of the Official Plan contains the Urban Residential designation policies. This designation applies to lands with a wide variety of housing types, and generally are connected to full municipal; water and wastewater systems.

5.3.2 Objectives of the Urban Residential designation is:

- a) *To provide for a range of housing forms in order to meet the varied needs of existing and future residents;*
- b) *To ensure the rate of growth is appropriate for the settlement area;*
- c) *To encourage urban design that is in keeping with the character of the existing village;*
- d) *To create a compact urban area that can be serviced by municipal water and wastewater systems; and,*
- e) *To encourage an adequate supply of housing for vulnerable populations*

5.3.3 Permitted uses on lands designated Urban Residential include:

- a) *All forms of residential development, including a range of housing sizes types, tenures and price;*
- b) *Assisted and special needs housing, including group homes, nursing homes and homes for the aged;*
- c) *Home occupations;*
- d) *Institutional uses servicing the immediate community including public schools and places of worship;*
- e) *Trails, parks, public open space; and,*
- f) *Small-scale retail uses such as, convenience stores, service commercial and personal service uses intended to meet the day-to-day needs of residents.*

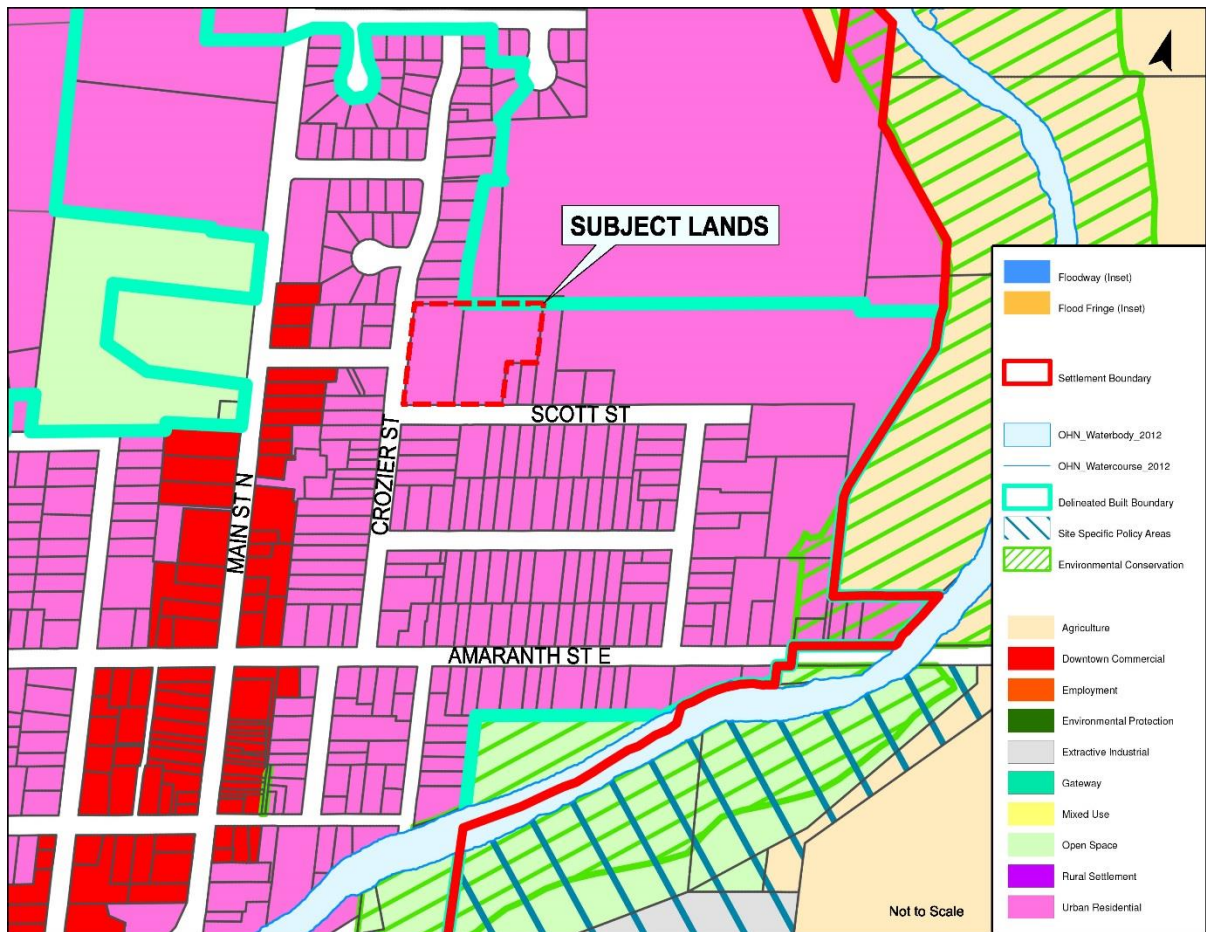


Figure 9: Schedule A-2: Land Use, Town of Grand Valley Official Plan

The proposed development of the subject lands is consistent with the intent of the Urban Residential designation. It supports the objectives set out in Section 5.3 by:

- Targeting growth and redevelopment to the Urban Settlement Area;
- Providing a range and mix of housing forms at an appropriate scale and density;
- Utilizing full municipal water and wastewater services and infrastructure; and,
- Proposing a development that is compatible with surrounding land uses and appropriate in size, location and physical characteristics for the purpose.

Summary

The proposed redevelopment is consistent with the guiding principles and strategic objectives of the Official Plan as it recognizes the importance of infill and intensification within the Town's delineated Built-Up Area, provides for a range and mix of housing options, is compatible with the



surrounding context, utilizes existing and future planned municipal services and infrastructure projects and focuses redevelopment away from sensitive land uses and natural features.

For the reasons stated above, it is our opinion, that the proposed development meets the purpose and intent and of the Official Plan.

7.5 Town of the Grand Valley Zoning By-law 09-10

Town of Grand Valley Comprehensive Zoning By-law 09-10 passed in February, 2009 and most recent Office Consolidated version is April 2018.

The subject lands are currently zone 'RV – Village Residential Zone' by the Town of Grand Valley Zoning By-law 09-10. The 'RV' zone permits single detached dwelling, accessory apartment, converted dwelling, and home occupation uses. The current zoning standards and requirements are included in Table 2.

Table 2 – Village Residential 'RV' Zone Regulations

Regulations for permitted uses	
Minimum lot area	0.038 hectares
Minimum lot frontage (interior lots)	11.0 m
Minimum lot frontage (corner lots)	15.0 m
Minimum front yard	7.0 m (19.6 ft)
Minimum interior side yard	1.2 (3.9 ft)
Minimum separation between two dwellings on abutting lots	1.8 m
Minimum exterior side yard	4.5 m (14.76 ft)
Minimum rear yard	6.0 (19.6 ft)
Maximum lot coverage	50%
Maximum height	12.0 m (39.3 ft)
Minimum ground floor area for one storey dwelling	112 sq.m (including garage)
Minimum ground floor area for two storey dwelling	70 sq.m (including garage)
The front wall of any attached or detached garage shall not be located closer to the front lot line than the front wall of the dwelling, except a garage can extend in line with a covered porch that extends along the entire front wall of the dwelling.	
Permitted encroachments of Table 3.1.5.1 shall not be permitted within any drainage swale or easement.	

The proposed development will require a Zoning By-law Amendment in order to facilitate the development of townhouses, freehold single family detached dwellings and condominium detached dwellings. The rezoning will replace the current Village Residential 'RV' Zone with the Multiple Residential 'RM' Zone' to allow for block townhouses and condominium detached dwellings. The portion of the development contemplated for the freehold single family detached dwellings will maintain its current Village Residential 'RV' zone category.

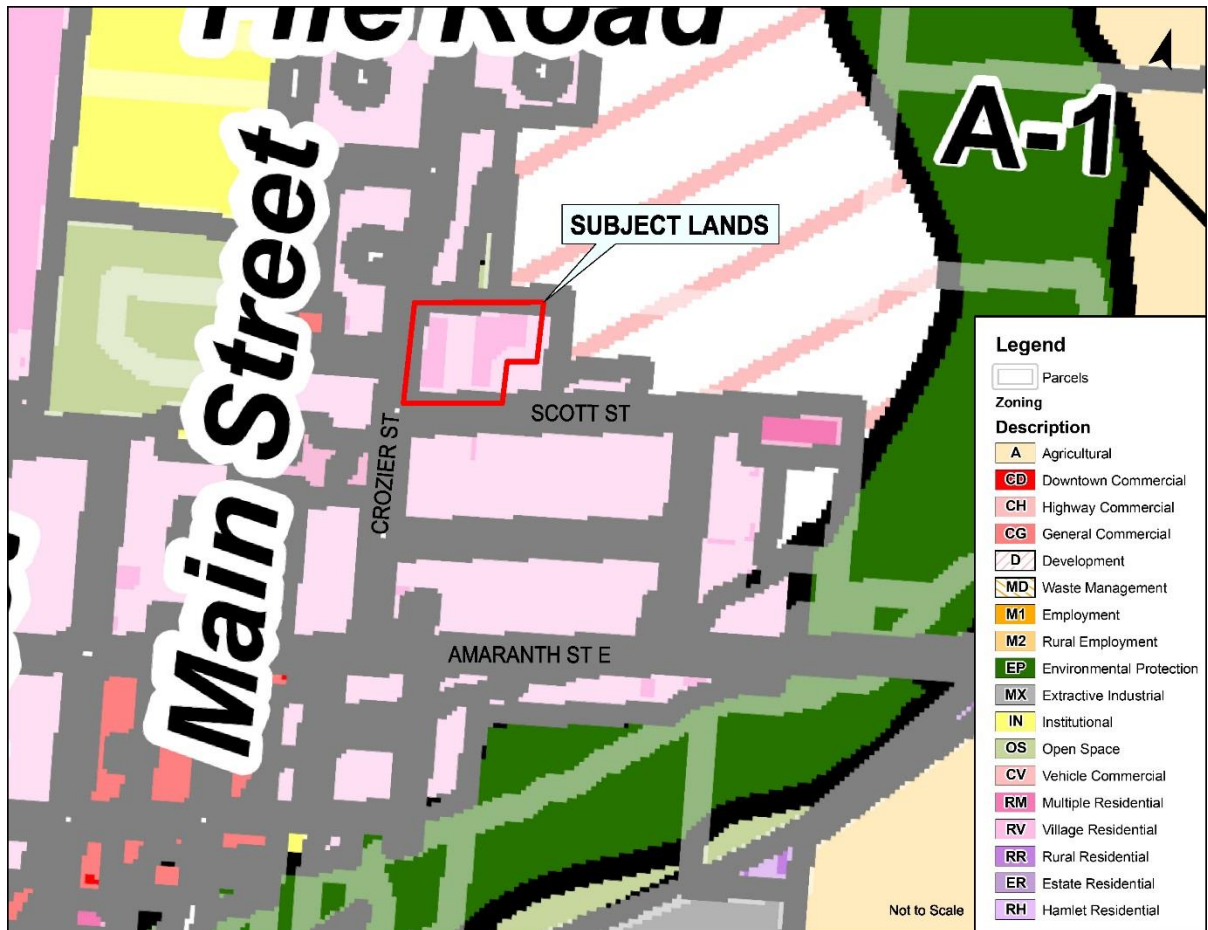


Figure 10: Town of Grand Valley Zoning By-law 09-10: Zoning Map

A Draft Zoning By-Law Amendment has been prepared and enclosed with this report (Appendix A).

8 Public Consultation Strategy

Bill 73 received Royal Assent on December 3, 2015. The Act proposes regulatory amendments to both the and Planning Act to:

- Help municipalities fund growth;
- Give residents a greater, more meaningful say in how their communities grow;
- Protect and promote greenspaces;
- Make the development charges system more predictable, transparent and accountable;
- Make the planning and appeals process more predictable; and,
- Give municipalities more independence and make it easier to resolve disputes.

In addition to the above changes, Bill 73 requires applicants to submit a “public consultation strategy” as part of a complete application as currently set out under the *Planning Act*. As the Town



of the Blue Mountains Official Plan does not include public consultation strategy requirements, the subject application will adhere to requirements stipulated by the *Planning Act*. Our proposed strategy includes:

- After receiving Staff confirmation advising that the application is “complete” pursuant to Section 22(4) of the *Planning Act*, a “Public Notice” sign advising that a Zoning By-law Amendment has been applied for will be posted on the subject lands by the applicant. The wording on the sign will be prepared by Staff;
- The applicant will host an informal community open house to provide the public with information regarding the proposal with an opportunity for residents to provide comments and feedback;
- Staff will send out notice of applications and a statutory Public Meeting to consider the applications to all property owners within 120 metres (400 feet) of the subject lands at least 20 days prior to the meeting date;
- A Statutory Public Meeting will be held to gather formal feedback from area residents and Council per the requirements of the *Planning Act*; and,
- Input from the Public Meeting will be considered and formal responses will be prepared to address public concerns. Additionally, revisions may be made to the plans, as appropriate, for re-submission.

We trust that the forgoing Public Consultation Strategy is satisfactory and in compliance with provincial legislation. Weston Consulting remains committed to facilitating public engagement.

9 Planning Analysis and Justification

The following planning analysis and justification is drawn from our consideration of the proposed development.

9.1 PPS Consistency and Growth Plan Compliance

In our assessment, the proposed development is:

- Consistent with relevant policies set out in Provincial Policy Statement (2014); and,
- Complies with the relevant requirements of the Growth Plan (2015).

9.2 County of Dufferin and Town of Grand Valley Official Plan Conformity

The proposed development conforms with the County of Dufferin and the Town of Grand Valley Official Plan particularly with regard to policies relating to:

- Infill development;



- Efficient use of infrastructure;
- Housing;
- Land use compatibility; and,
- Natural Heritage Features Assessment.

The PPS, Growth Plan, Dufferin County Official Plan and the Town of Grand Valley Official Plan are aligned in their support of the proposed development. The development proposal shows regulatory compliance with the Provincial, County and Local Planning Policy and Regulatory documents because:

The proposed development represents an opportunity for compact infill and intensification within the Town of Grand Valley.

The proposed development is located on an underutilized site with frontage onto two local primary roads (Crozier Street and Scott Street). It is a prime location for redevelopment in that it supports the objectives for intensification directed by the current Provincial, County and local policies. The development allows for an efficient use of land through compact infill development and provides for a greater range and mix of housing at a gentle density increase. The proposal fulfills the PPS's policy direction of focusing growth and development in Urban Settlement Areas, and the GGH's objective of prioritizing growth and intensification in the Town of Grand Valley's Built-up Area. Further, this form of residential development will help the Town reach its intensification targets mandated by the GGH and allows for an increase in the available ground-orientated housing types geared towards families.

The Official Plan encourages housing intensification and recognizes that due to the municipality's fixed urban boundary, the majority of future growth will be in the form of intensification and redevelopment. It is also important to recognize that this redevelopment proposes a density of 20.33 units per hectare, which is consistent with the Official Plan's density policies and is an appropriate threshold given the size of the site and its current local context. The proposed development will contribute to the Town's 12% intensification target and towards achieving the County's overall target of 40%.

The proposed development utilizes existing and future planned infrastructure with sufficient water and waste water connections in the area.

The redevelopment proposal comes forward at a time when the Town is in the process of expanding its water supply/storage and sewage treatment capacities. Based on the current available capacity at the existing Grand Valley Wastewater Treatment Plant, and current water demands, improvements to existing infrastructure are required in order to manage flow requirements and capacity for future development and growth. Upgrades and expansion of these systems is currently underway with the approved construction of a Surge Tank and the proposed construction of a new water tower.

The proposed development is located in an area in which an existing 200mm sanitary sewer, located on Scott Street, can adequately service the site. It is also located within the existing town



service boundary and existing 150mm watermains are located on both Crozier and Scott Street which can service the site.

The proposed development can address stormwater management principles and can sufficiently maintain the maximum flow requirements in a 100-year event storm. The proposed stormwater management plan as designed by Meritech Engineering, will manage pre and post construction conditions to meet the Town's requirements.

Based on an evaluation of the proximity of existing municipal sanitary sewer and water services systems, the provision of additional planned improvements of service related infrastructure and the potential for connection to full municipal services, the redevelopment proposed can accommodate the full implementation of municipal servicing for this development. The proposal is consistent with the Policy 1.6.6 of the PPS, Section 3.0 and 7.3.2 of the Dufferin County Official Plan and Section 4.4 and 6.0 of the Town of Grand valley Official Plan as it provides adequate provision of services and optimizes existing and future planned municipal assets.

The proposed development is compatible with the surrounding land uses.

In accordance with Section 1.1.3. of the PPS, the proposed development is wholly compatible with its surroundings and does not cause any adverse impacts to the adjacent agricultural, rural existing residential, natural heritage, and aggregate uses in the immediate vicinity. The proposed development maintains the current Urban Residential designation recognizing that the majority of future growth and development will occur in these areas.

The proposed development represents an appropriate use for the subject lands which is suitable in scale, size, location and physical characteristics for the purpose.

The proposed development recognizes the importance of protecting natural heritage systems, locally significant features, wildlife habitat areas and ecological functions for the long term.

Based on the EIS, the results of the impact assessment indicate that the proposed development can be achieved with no negative direct, indirect or cumulative impacts to significant/key natural heritage features and functions of the subject lands. The proposal focuses redevelopment away from sensitive ecological areas and complies with the policies of Section 2.1 of the PPS, Sections 5.3 of the Dufferin County Official Plan and Section 4.2.1 of the Town of Grand Valley Official Plan.

10 Planning Opinion

It is our opinion that, in the balance of considerations, the proposed development meets planning, design and environmental principals and we request that the submitted applications for Zoning By-law Amendment, Draft Plan of Subdivision, Draft Plan of Condominium, Consent and Site Plan Approval proceed through the planning process.



Appendix A – Town of Grand Valley Zoning By-Law No. XX-2018



**THE CORPORATION OF THE TOWN OF GRAND VALLEY
BY-LAW NUMBER 2018-_____**

“Being a By-law to amend By-law No. 09-10, as amended, by rezoning lands described as Part Lot C, Plan 29-A, designated as Parts 4 and 5 on Plan 7R-5603, Village of Grand Valley; and, Lot A, Plan 29-A, designated as Part 1 on Plan 7R-5603, Village of Grand Valley, municipally known as 20 Scott Street, in the Town of Grand Valley, from the Village Residential (RV) zone, to the Multiple Residential (RM) zone”

WHEREAS the Council of the Corporation of the Town of Grand Valley may pass by-laws pursuant to Section 34 of the Planning Act, R.S.O 1990, as amended;

AND WHEREAS the Council of the Corporation of the Town of Grand Valley has determined a need to rezone a parcel of land municipally as 20 Scott Street;

AND WHEREAS the Council of the Corporation of the Town of Grand Valley deems the said application to be in conformity with the Official Plan of the Town of Grand Valley, as amended, and deems it advisable to amend By-law 09-10.

NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWN OF GRAND VALLEY HEREBY ENCATS AS FOLLOWS:

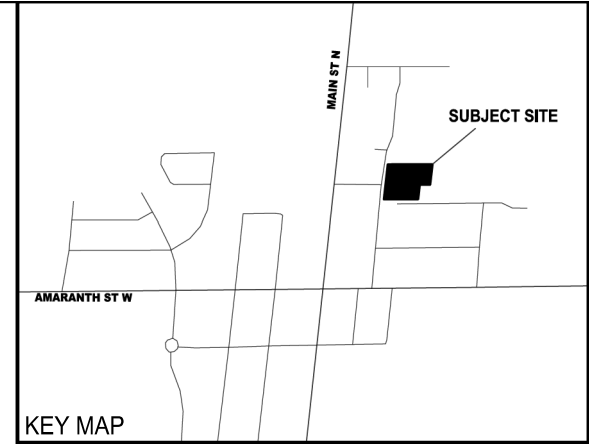
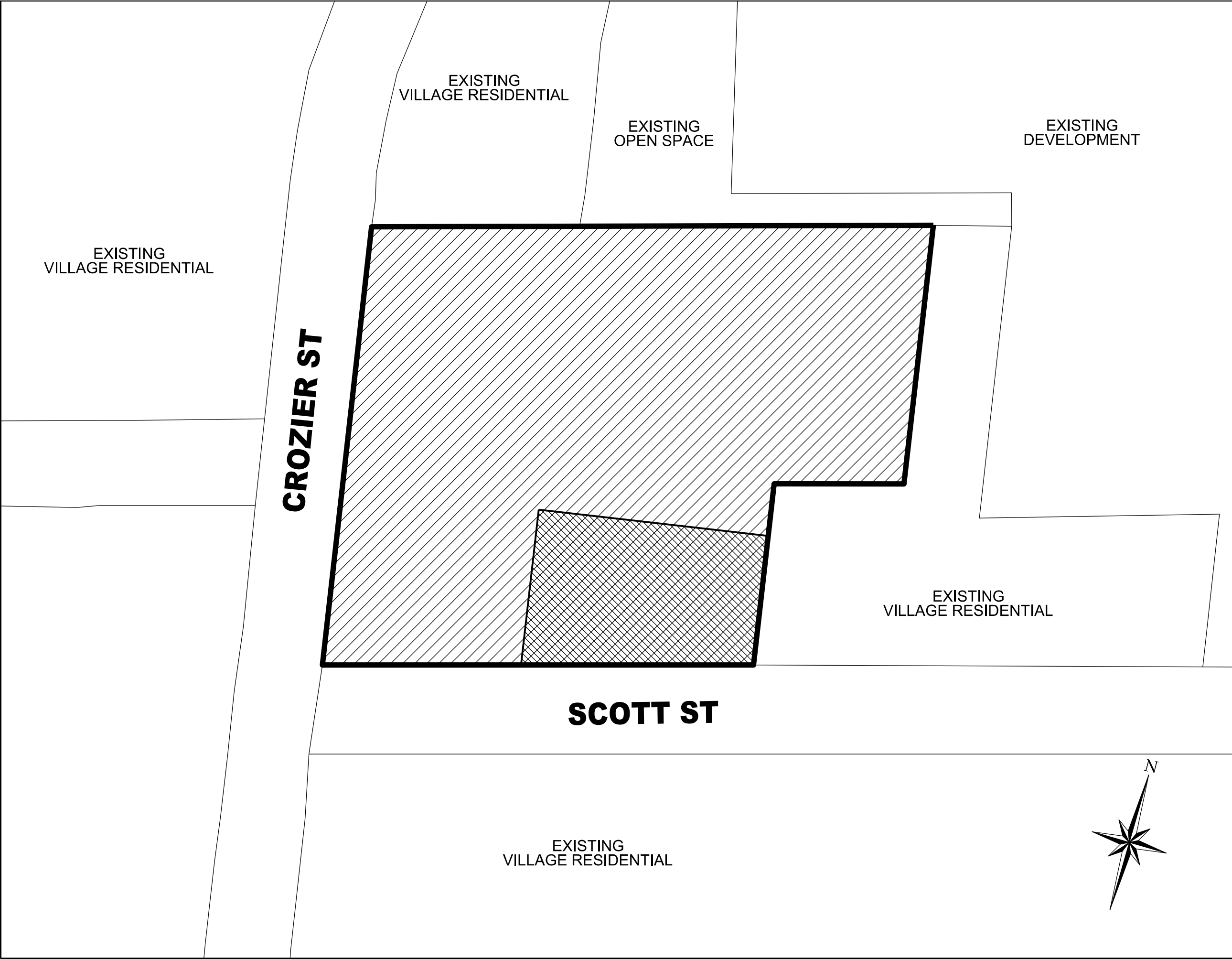
1. **THAT** the Zoning By-law Map, is hereby further amended by rezoning those portions of lands municipally known as 20 Scott Street, in the Town of Grand Valley from Village Residential (RV) zone to Multiple Residential (RM) zone as show in Schedule “A” attached hereto, and forming part of By-law 09-10 as amended;
2. **THAT** this by-law shall take effect as of the date of passing, subject to the provisions of the Planning Act, R.S.O. 1990, Chap. P. 13 as amended.

BY-LAW read a **FIRST, SECOND** and **THIRD** time and finally **PASSED** this _____ day of _____ 2018.

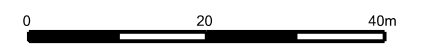
THE CORPORATION OF THE TOWN OF GRAND VALLEY

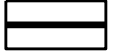


Mayor

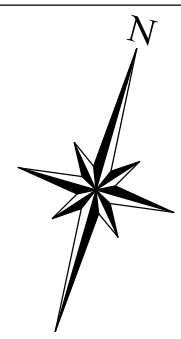
Clerk



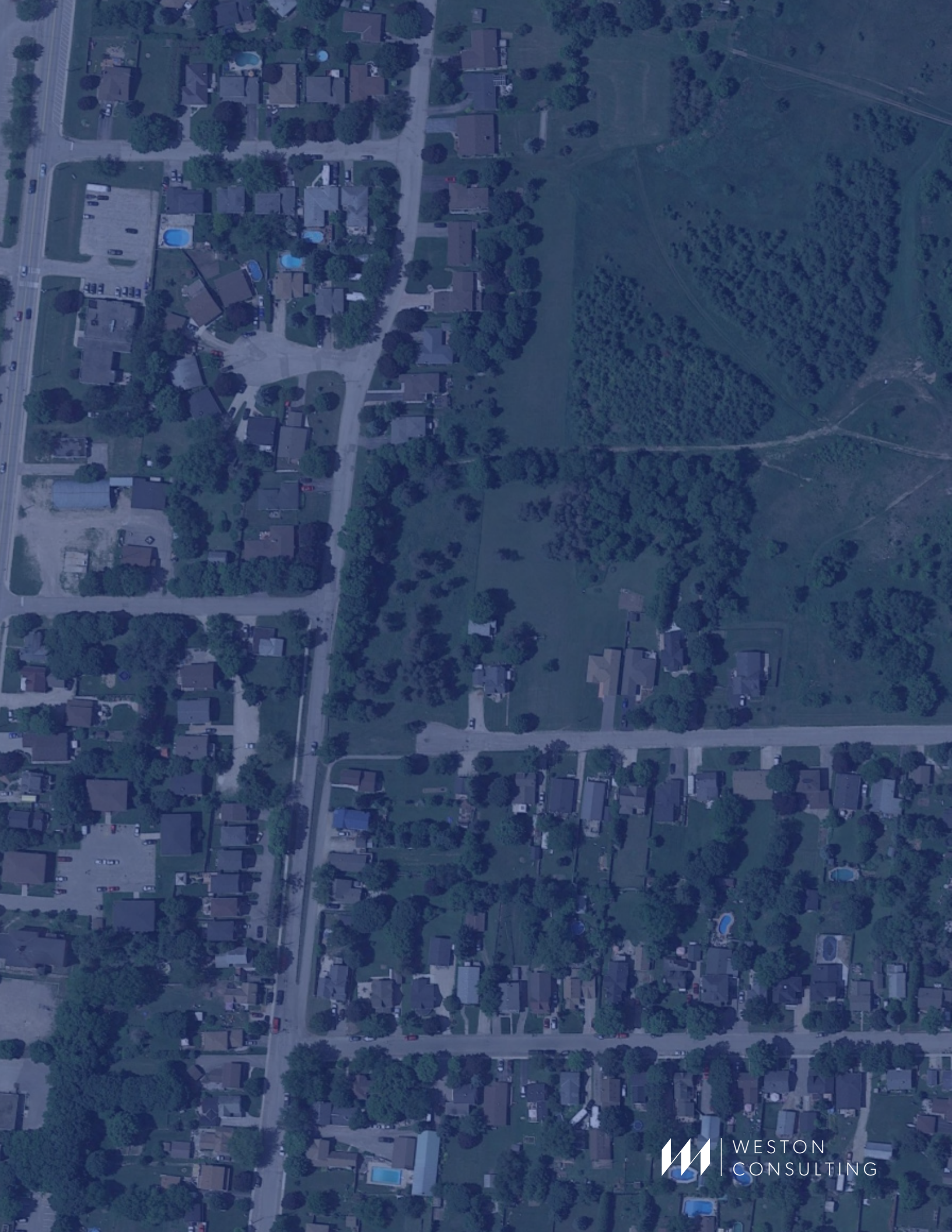
SCHEDULE 'A'
ZONING BY-LAW AMENDMENT
PART LOT C, PLAN 29-A, DESIGNATED AS PARTS 4 AND 5 ON PLAN 7R-5603,
 & LOT A, PLAN 29-A, DESIGNATED AS PART 1 ON PLAN 7R-5603
TOWNSHIP OF GRAND VALLEY
COUNTY OF DUFFERIN
2018



-  TOTAL SITE AREA
1.23 ha
-  LANDS TO BE REZONED FROM VILLAGE RESIDENTIAL {RV} TO MULTIPLE RESIDENTIAL {RM}
1.05 ha
-  EXISTING VILLAGE RESIDENTIAL {RV} NOT SUBJECT TO ZONING
0.18 ha




WESTON CONSULTING
 planning + urban design



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