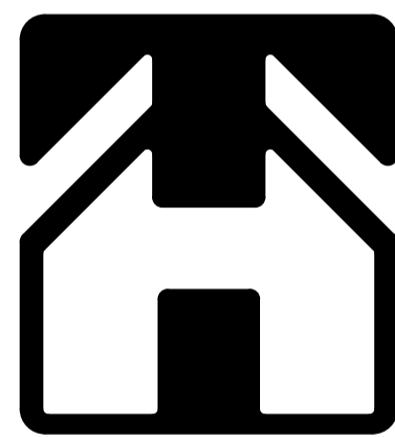
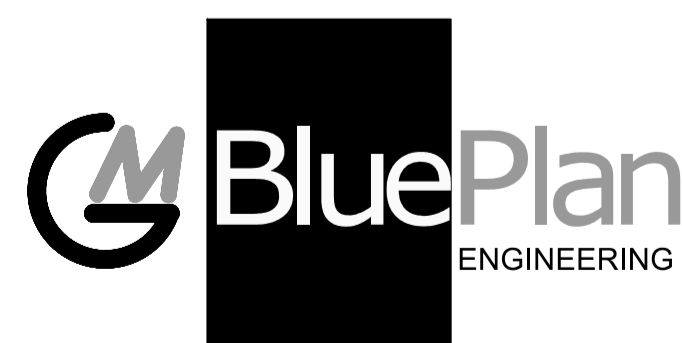


RIVER'S EDGE SUBDIVISION DRAFT PLAN APPROVAL TOWN OF GRAND VALLEY

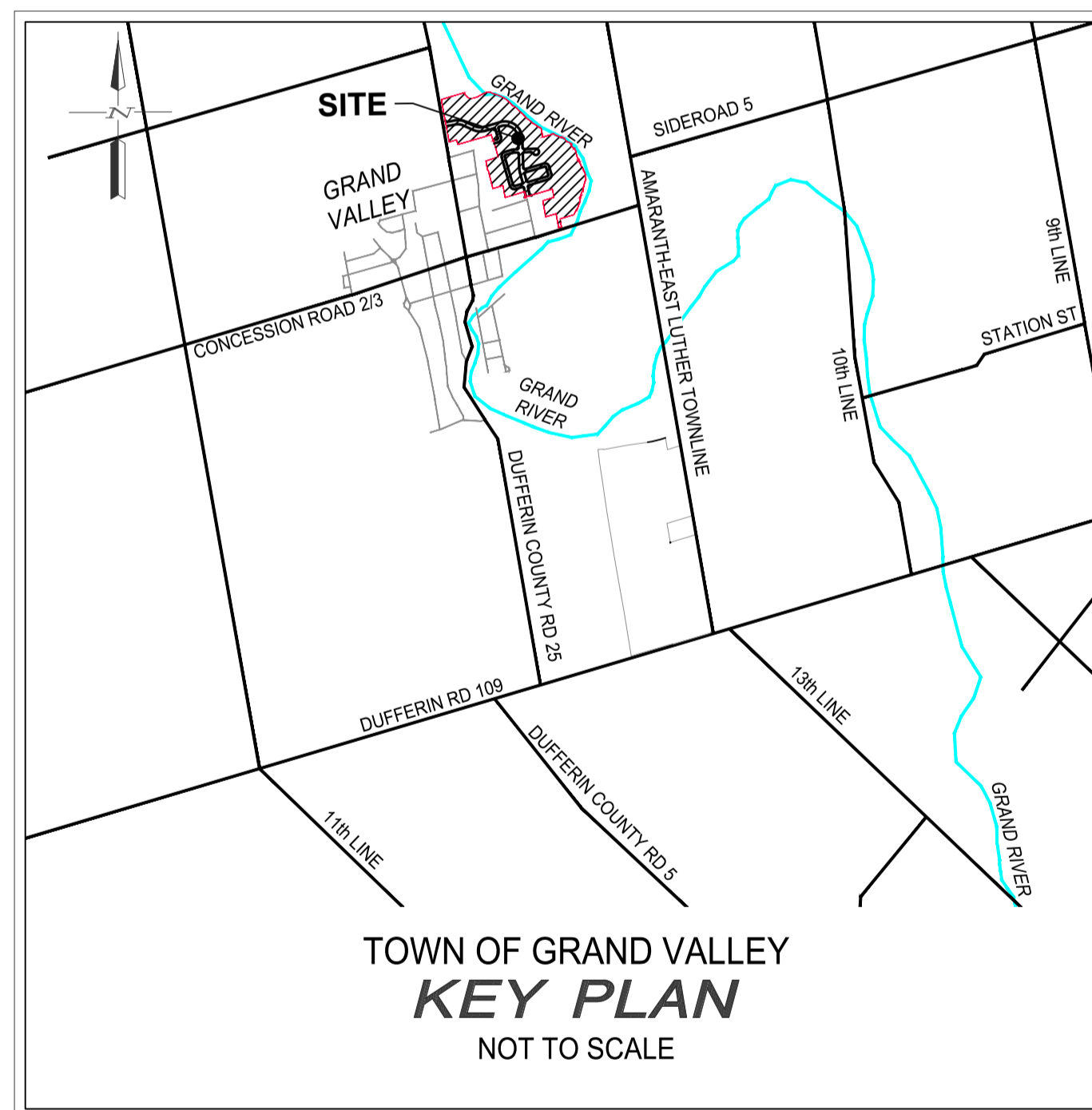
DEVELOPER



Thomasfield Homes Ltd.
PO Box 1112
295 Southgate Drive, Unit 1
Guelph, ONT.

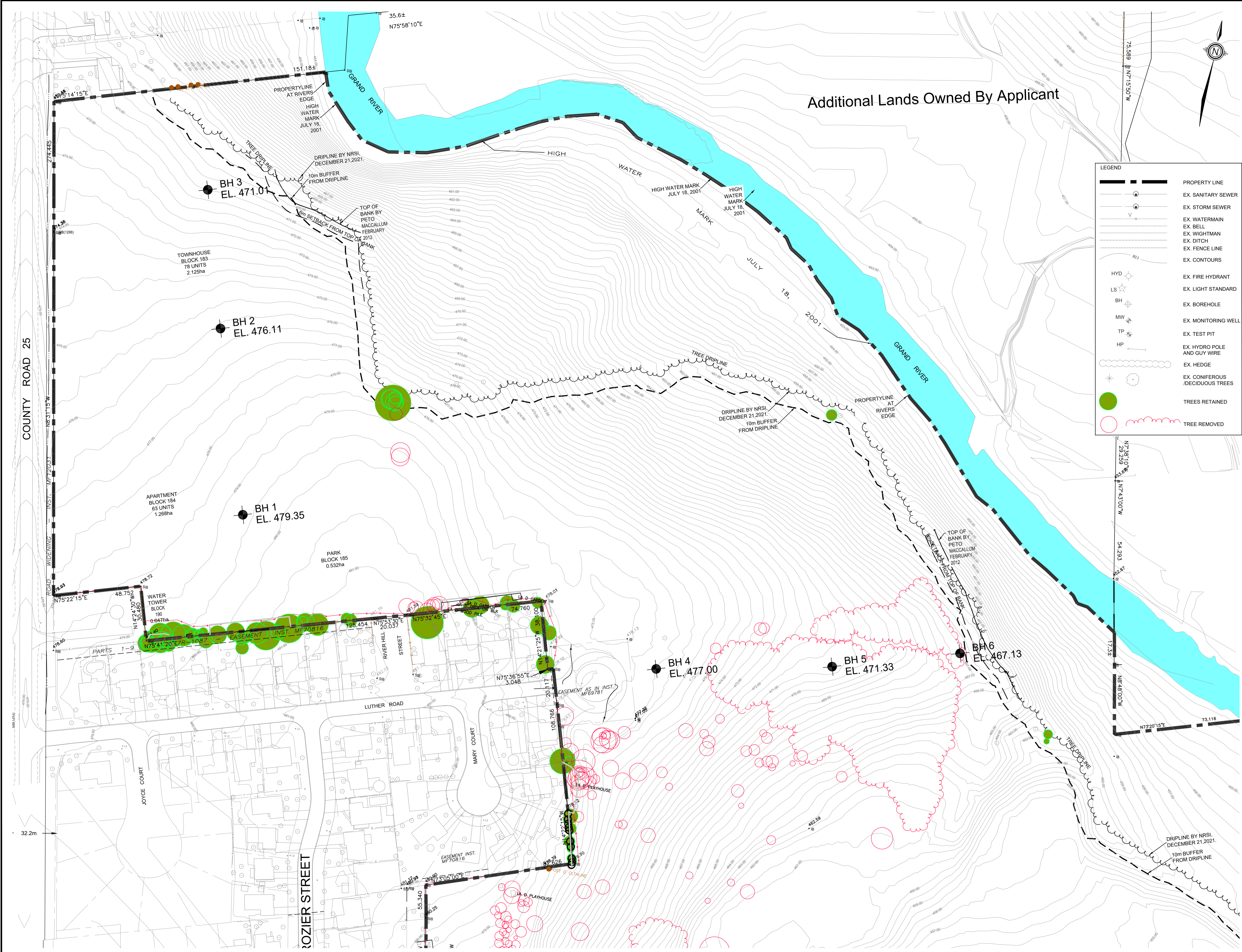


GUELPH | OWEN SOUND | LISTOWEL | KITCHENER | LONDON | HAMILTON | GTA
650 WOODLAWN ROAD WEST, BLOCK C, UNIT 2, GUELPH, ON N1K 1B8
TEL: 519-824-8150 www.blueplan.ca

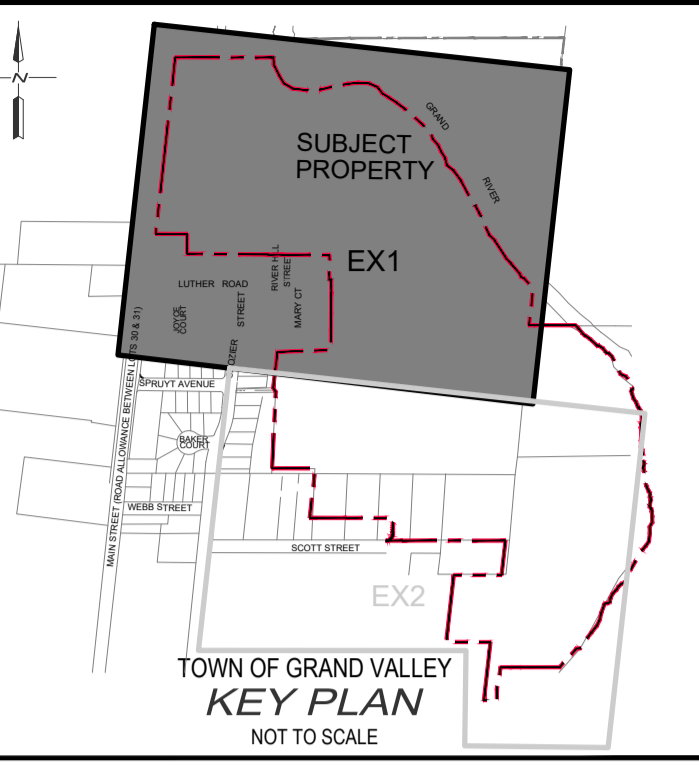


SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE
EX1	EXISTING CONDITIONS PLAN 1
EX2	EXISTING CONDITIONS PLAN 2
ESC1	EROSION AND SEDIMENT CONTROL PLAN
GR1	GRADING PLAN 1
GR2	GRADING PLAN 2
GR3	GRADING PLAN 3
GR4	GRADING PLAN 4
GR5	GRADING PLAN 5
GR6	GRADING PLAN 6
GR7	GRADING PLAN 7
GR8	GRADING DETAILS - LOTS 183 TO 187
S1	OVERALL SERVICING PLAN 1
S2	OVERALL SERVICING PLAN 2
SWM1	STORMWATER MANAGEMENT POND GRADING
SWM2	STORMWATER MANAGEMENT POND SECTIONS
SWM3	STORMWATER MANAGEMENT POND SECTIONS
SWM4	STORMWATER MANAGEMENT POND OUTLET TO GRAND RIVER
STM1	STORM DRAINAGE AREA 1
STM2	STORM DRAINAGE AREA 2
SAN1	SANITARY DRAINAGE AREA 1
SAN2	SANITARY DRAINAGE AREA 2
PP11	EX CROZIER STREET STORM OUTLET
P1	PRELIMINARY PARKING PLAN 1
P2	PRELIMINARY PARKING PLAN 2
SL1	COUNTY RD 25 SIGHTLINE ANALYSIS PLAN



Additional Lands Owned By Applicant



LEGEND

	PROPERTY LINE
	EX. SANITARY SEWER
	EX. STORM SEWER
	EX. WATERMAIN
	EX. BELL
	EX. WUGHTMAN
	EX. DITCH
	EX. FENCE LINE
	EX. CONTOURS
	EX. FIRE HYDRANT
	EX. LIGHT STANDARD
	EX. BOREHOLE
	EX. MONITORING WELL
	EX. TEST PIT
	EX. HYDRO POLE AND GUY WIRE
	EX. HEDGE
	EX. CONIFEROUS /DECIDUOUS TREES
	TREES RETAINED
	TREE REMOVED

- NOTES:**
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 8. DIGITAL FILES NOT TO BE USED FOR LAYOUT

BENCH MARKS :

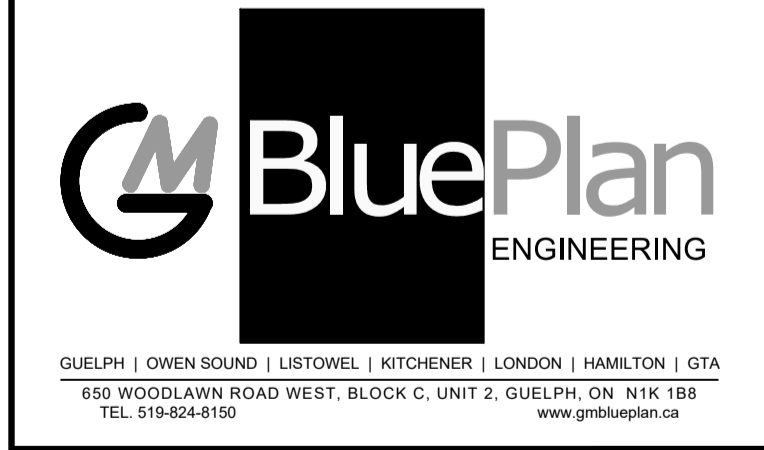
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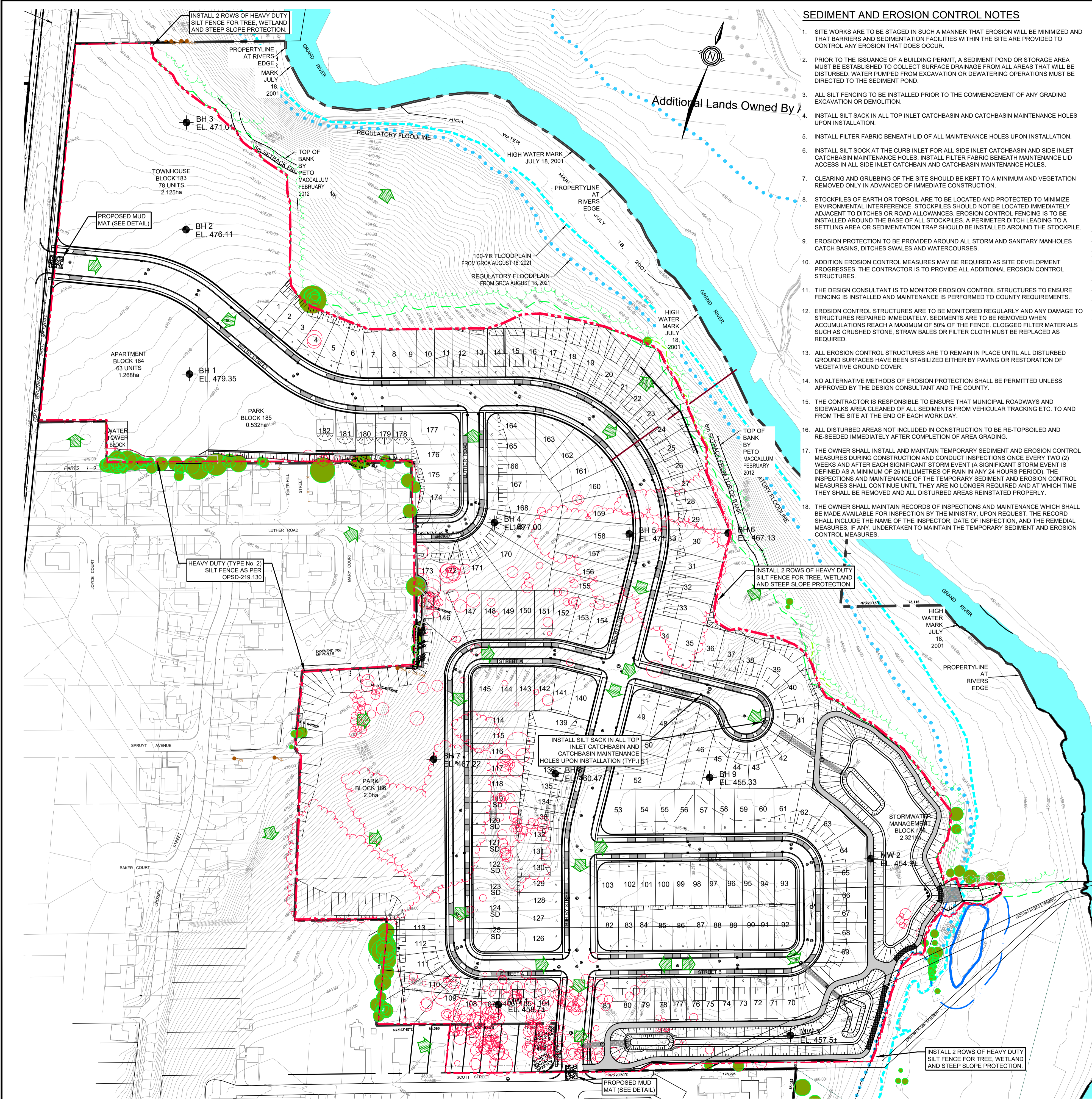


NO.	DATE	REVISION DESCRIPTION	CHKD
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1	2023-09-12	ISSUED FOR REVIEW	A.E.K.



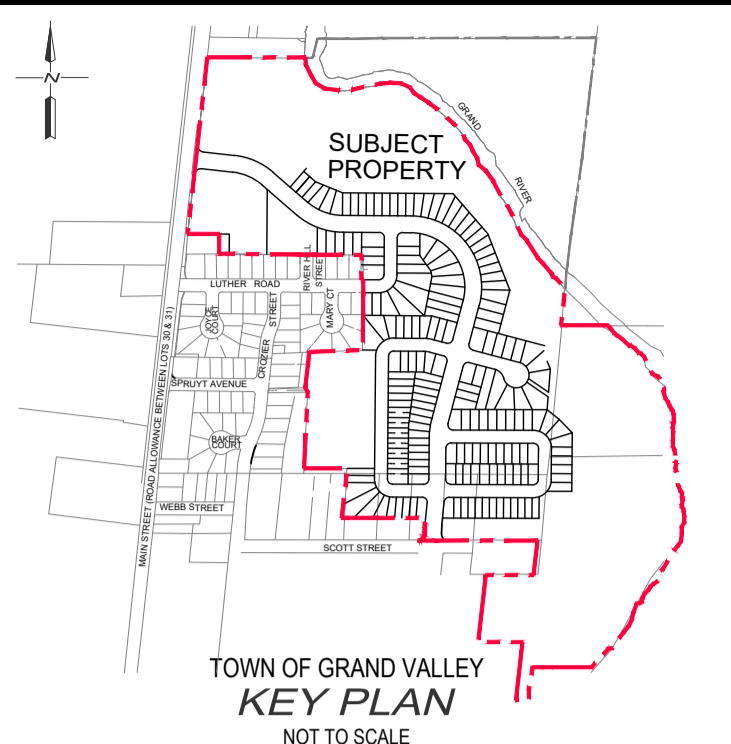
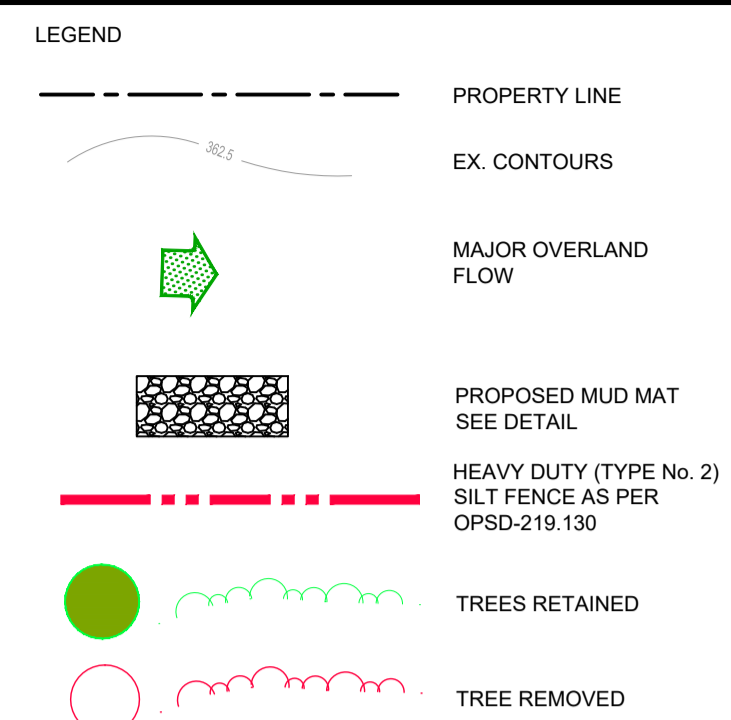
RIVER'S EDGE SUBDIVISION			
THOMASFIELD HOMES LTD.			
TOWN OF GRAND VALLEY			
EXISTING CONDITIONS PLAN 1			
DRAWN BY:	APPROVED BY:	PROJECT NO.:	DRAWING NO.:
RPM	AEK	104104	EX1
DESIGNED BY:	DATE:	SCALE:	
RPM	2023-09-12	1:1000	

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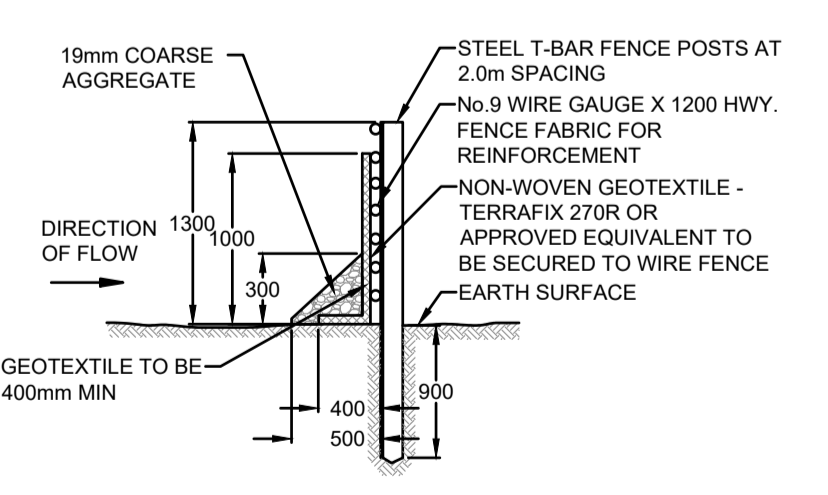
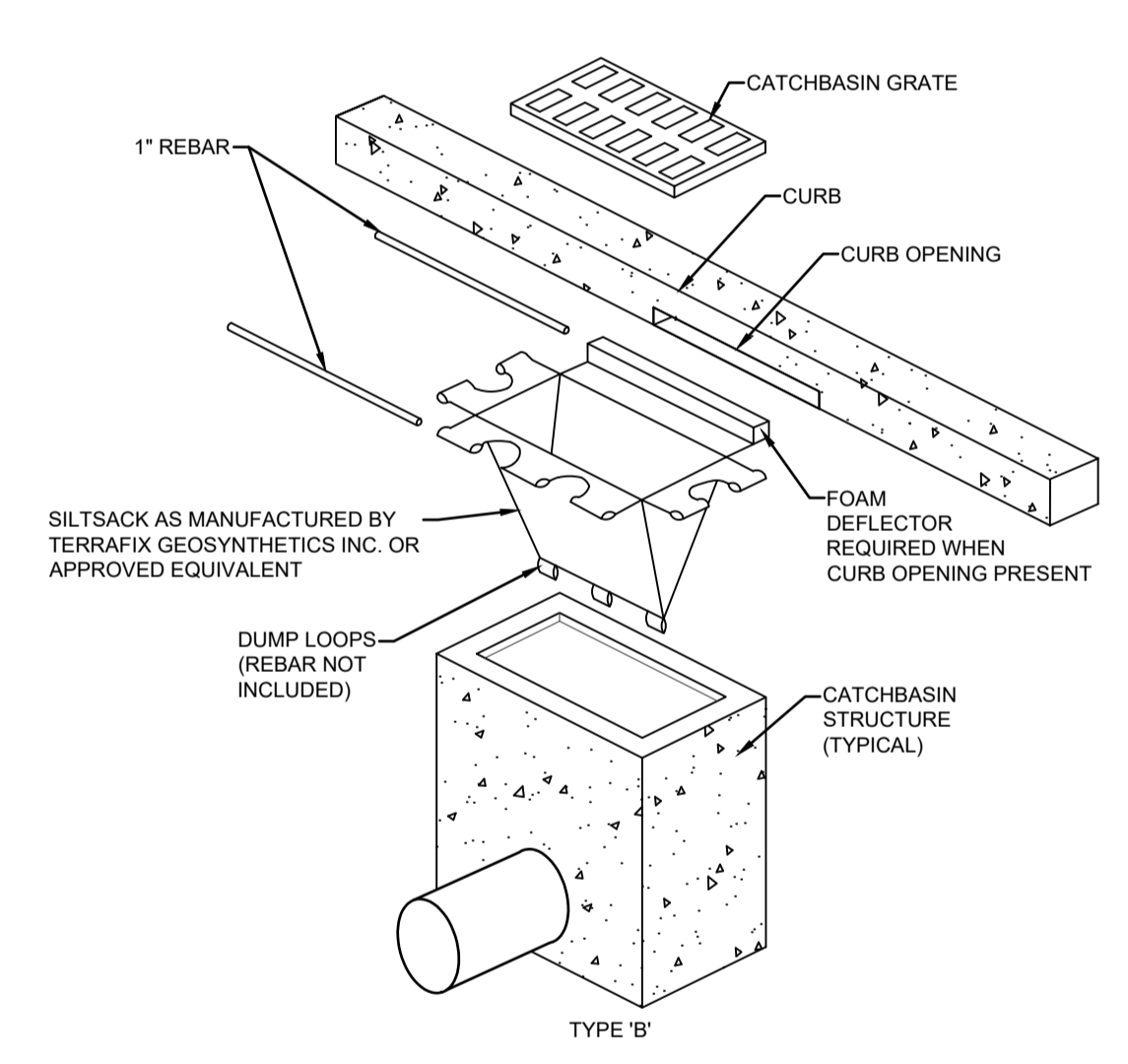
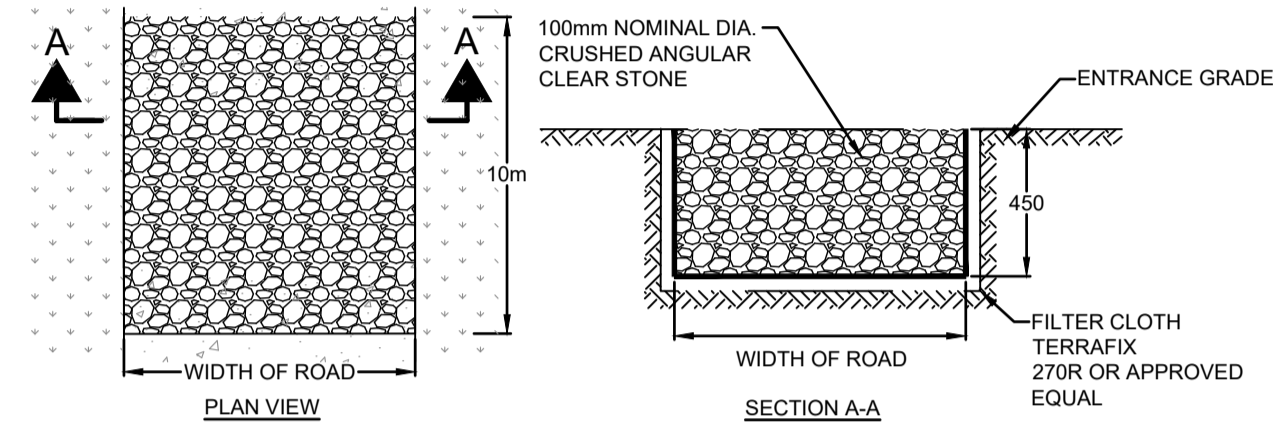


SEDIMENT AND EROSION CONTROL NOTES

- SITE WORKS ARE TO BE STAGED IN SUCH A MANNER THAT EROSION WILL BE MINIMIZED AND THAT BARRIERS AND SEDIMENTATION FACILITIES WITHIN THE SITE ARE PROVIDED TO CONTROL ANY EROSION THAT DOES OCCUR.
- PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, A SEDIMENT POND OR STORAGE AREA MUST BE ESTABLISHED TO COLLECT SURFACE DRAINAGE FROM ALL AREAS THAT WILL BE DISTURBED. WATER PUMPED FROM EXCAVATION OR DEWATERING OPERATIONS MUST BE DIRECTED TO THE SEDIMENT POND.
- ALL SILT FENCING TO BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY GRADING EXCAVATION OR DEMOLITION.
- INSTALL SILT SACK IN ALL TOP INLET CATCHBASIN AND CATCHBASIN MAINTENANCE HOLES UPON INSTALLATION.
- INSTALL FILTER FABRIC BENEATH LID OF ALL MAINTENANCE HOLES UPON INSTALLATION.
- INSTALL SILT SOCK AT THE CURB INLET FOR ALL SIDE INLET CATCHBASIN AND SIDE INLET CATCHBASIN MAINTENANCE HOLES. INSTALL FILTER FABRIC BENEATH MAINTENANCE LID ACCESS IN ALL SIDE INLET CATCHBASIN AND CATCHBASIN MAINTENANCE HOLES.
- CLEARING AND GRUBBING OF THE SITE SHOULD BE KEPT TO A MINIMUM AND VEGETATION REMOVED ONLY IN ADVANCED OF IMMEDIATE CONSTRUCTION.
- STOCKPILES OF EARTH OR TOPSOIL ARE TO BE LOCATED AND PROTECTED TO MINIMIZE ENVIRONMENTAL INTERFERENCE. STOCKPILES SHOULD NOT BE LOCATED IMMEDIATELY ADJACENT TO DITCHES OR ROAD ALLOWANCES. EROSION CONTROL FENCING IS TO BE INSTALLED AROUND THE BASE OF ALL STOCKPILES. A PERIMETER DITCH LEADING TO A SETTLING AREA OR SEDIMENTATION TRAP SHOULD BE INSTALLED AROUND THE STOCKPILE.
- EROSION PROTECTION TO BE PROVIDED AROUND ALL STORM AND SANITARY MANHOLES CATCH BASINS, DITCHES SWALES AND WATERCOURSES.
- ADDITION EROSION CONTROL MEASURES MAY BE REQUIRED AS SITE DEVELOPMENT PROGRESSES. THE CONTRACTOR IS TO PROVIDE ALL ADDITIONAL EROSION CONTROL STRUCTURES.
- THE DESIGN CONSULTANT IS TO MONITOR EROSION CONTROL STRUCTURES TO ENSURE FENCING IS INSTALLED AND MAINTENANCE IS PERFORMED TO COUNTY REQUIREMENTS.
- EROSION CONTROL STRUCTURES ARE TO BE MONITORED REGULARLY AND ANY DAMAGE TO STRUCTURES REPAIRED IMMEDIATELY. SEDIMENTS ARE TO BE REMOVED WHEN ACCUMULATIONS REACH A MAXIMUM OF 50% OF THE FENCE. CLOGGED FILTER MATERIALS SUCH AS CRUSHED STONE, STRAW BALES OR FILTER CLOTH MUST BE REPLACED AS REQUIRED.
- ALL EROSION CONTROL STRUCTURES ARE TO REMAIN IN PLACE UNTIL ALL DISTURBED GROUND SURFACES HAVE BEEN STABILIZED EITHER BY PAVING OR RESTORATION OF VEGETATIVE GROUND COVER.
- NO ALTERNATIVE METHODS OF EROSION PROTECTION SHALL BE PERMITTED UNLESS APPROVED BY THE DESIGN CONSULTANT AND THE COUNTY.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT MUNICIPAL ROADWAYS AND SIDEWALKS ARE KEPT CLEANED OF ALL SEDIMENTS FROM VEHICULAR TRACKING ETC. TO AND FROM THE SITE AT THE END OF EACH WORK DAY.
- ALL DISTURBED AREAS NOT INCLUDED IN CONSTRUCTION TO BE RE-TOPSOILED AND RE-SEEDDED IMMEDIATELY AFTER COMPLETION OF AREA GRADING.
- THE OWNER SHALL INSTALL AND MAINTAIN TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES DURING CONSTRUCTION AND CONDUCT INSPECTIONS ONCE EVERY TWO (2) WEEKS AND AFTER EACH SIGNIFICANT STORM EVENT (A SIGNIFICANT STORM EVENT IS DEFINED AS A MINIMUM OF 25 MILLIMETRES OF RAIN IN ANY 24 HOURS PERIOD). THE INSPECTIONS AND MAINTENANCE OF THE TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL CONTINUE UNTIL THEY ARE NO LONGER REQUIRED AND AT WHICH TIME THEY SHALL BE REMOVED AND ALL DISTURBED AREAS REINSTATED PROPERLY.
- THE OWNER SHALL MAINTAIN RECORDS OF INSPECTIONS AND MAINTENANCE WHICH SHALL BE MADE AVAILABLE FOR INSPECTION BY THE MINISTRY. UPON REQUEST, THE RECORD SHALL INCLUDE THE NAME OF THE INSPECTOR, DATE OF INSPECTION, AND THE REMEDIAL MEASURES. IF ANY, UNDERTAKEN TO MAINTAIN THE TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES.



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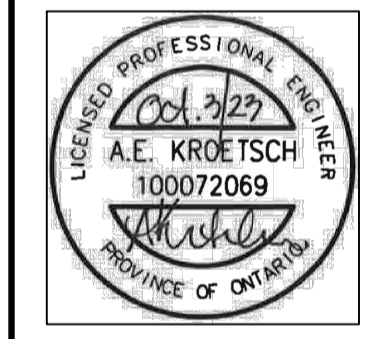


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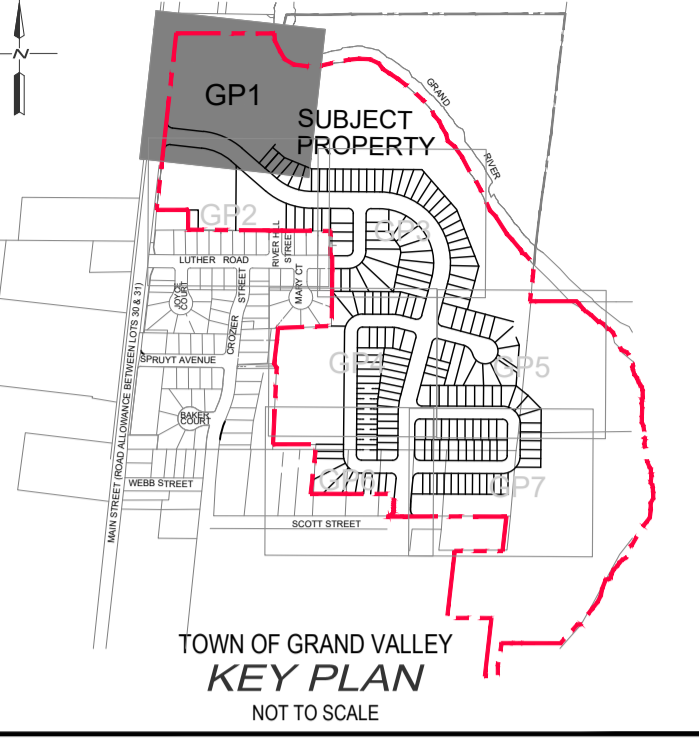
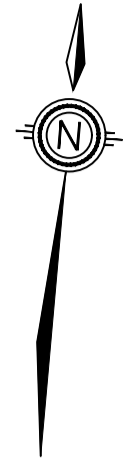
NO.	DATE	REVISION DESCRIPTION	CHKD
1.	2023-10-03	ISSUED FOR APPROVAL	A.E.K.
2.	2023-09-12	ISSUED FOR REVIEW	A.E.K.



RIVER'S EDGE SUBDIVISION			
THOMASFIELD HOMES LTD.			
TOWN OF GRAND VALLEY			
EROSION AND SEDIMENT CONTROL PLAN			
DRAWN BY : RPM	APPROVED BY : AEK	PROJECT NO. : 104104	DRAWING NO. : ESC1
DESIGNED BY : RPM	DATE : 2023-09-12	SCALE : 1:1500	

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TYPICAL LOT DRAINAGE
 A FRONT LOT DRAINAGE
 B SPLIT LOT DRAINAGE
 C REAR LOT DRAINAGE FOR WALKOUT OR BACKSPLIT HOUSE
 D REAR LOT DRAINAGE
 E FRONT LOT DRAINAGE FOR FRONT SPLIT HOUSE



LEGEND

[Symbol]	PROPERTY LINE
[Symbol]	EX. SANITARY SEWER
[Symbol]	EX. STORM SEWER
[Symbol]	EX. WATERMAIN
[Symbol]	EX. BELL
[Symbol]	EX. WIGHTMAN
[Symbol]	EX. DITCH
[Symbol]	EX. FENCE LINE
[Symbol]	EX. CONTOURS
[Symbol]	EX. FIRE HYDRANT
[Symbol]	EX. LIGHT STANDARD
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[Symbol]	EX. TEST PIT
[Symbol]	EX. HYDRO POLE AND GUY WIRE
[Symbol]	EX. HEDGE
[Symbol]	EX. CONIFEROUS /DECIDUOUS TREES
[Symbol]	EX. TREE TO BE SAVED
[Symbol]	PROP. SANITARY SEWER
[Symbol]	PROP. TOP INLET STORM SEWER
[Symbol]	PROP. TOP INLET CATCH BASIN
[Symbol]	PROP. SIDE INLET STORM SEWER
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[Symbol]	BOLLARD LIGHT AND STREET LIGHT ON HYDRO POLE
[Symbol]	PROP. TREES AND VEGETATION
[Symbol]	DRAINAGE FLOW
[Symbol]	MAJOR OVERLAND FLOW
[Symbol]	PROP. ROGERS NAP/LCP VAULT
[Symbol]	PROP. COGECO
[Symbol]	PROP. BELL
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[Symbol]	COGECO PEDESTAL
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[Symbol]	DRIVEWAY (TYP.)
[Symbol]	HEAVY DUTY (TYPE No. 2) SILT FENCE AS PER OPSD-291.130

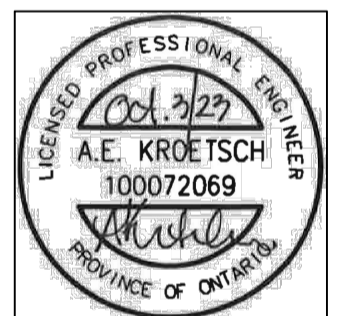
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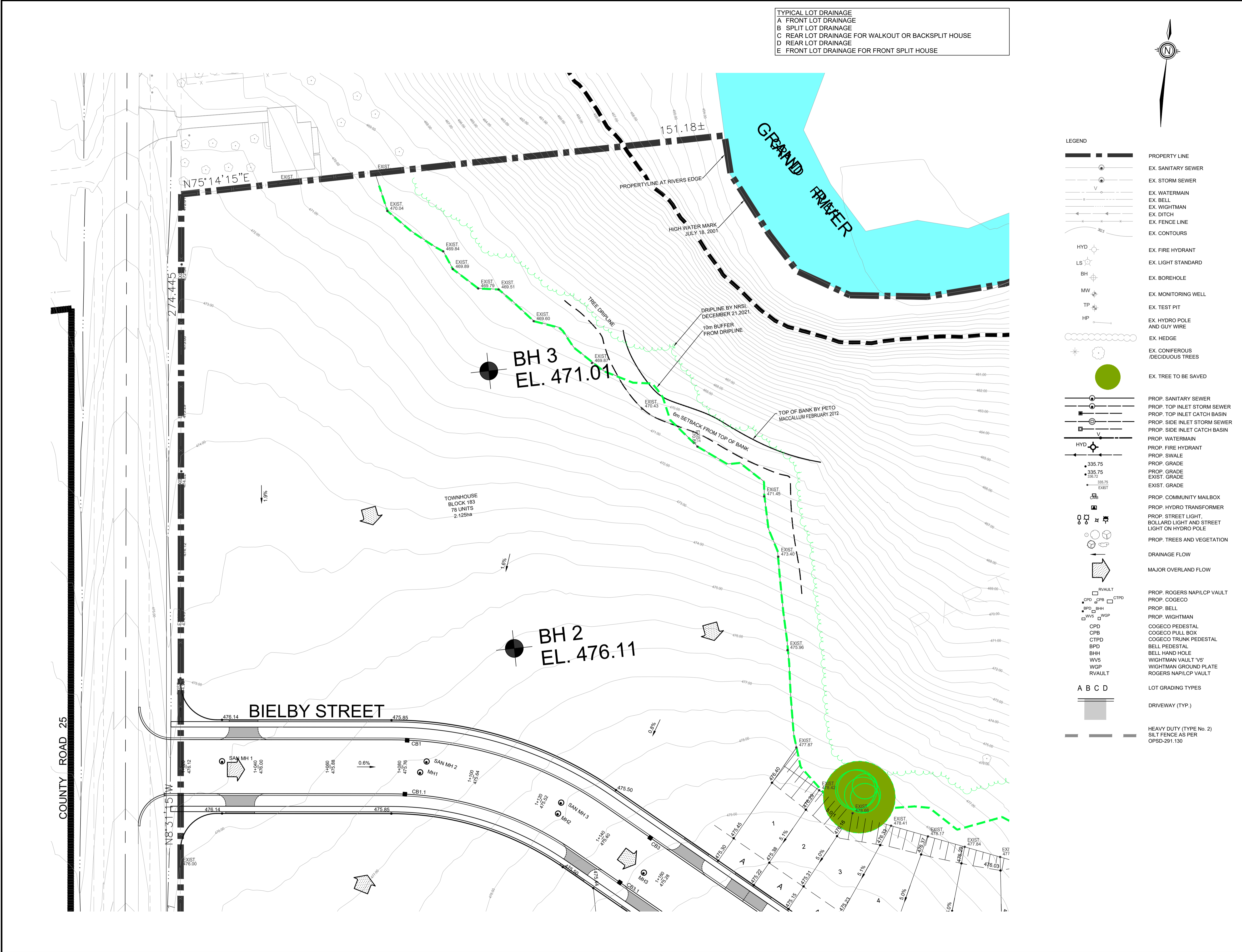
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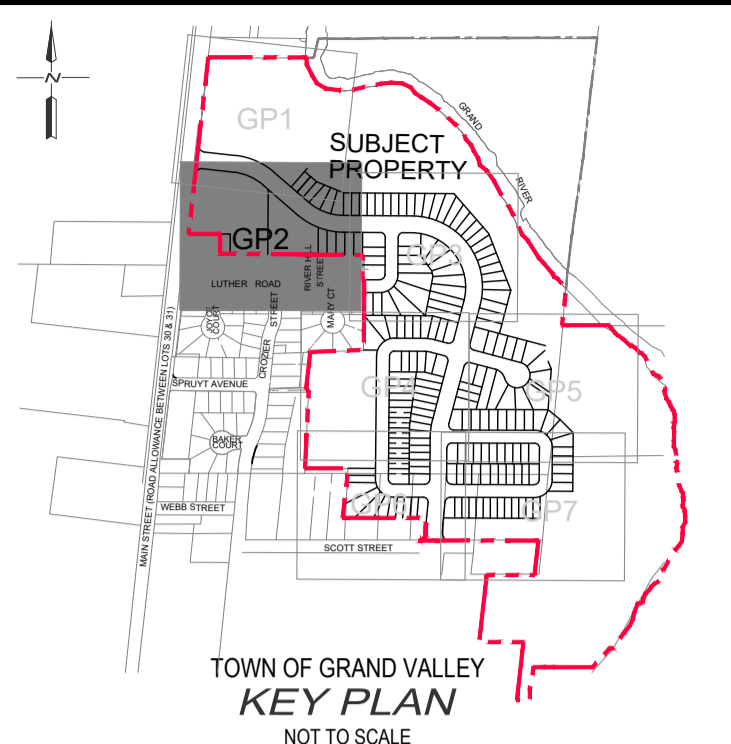
GUELPH | OWEN SOUND | LISTOWEL | KITCHENER | LONDON | HAMILTON | GTA
 650 WOODLAWN ROAD WEST, BLOCK C, UNIT 2, GUELPH, ON N1K 1B8
 TEL: 519-524-6150 www.blueplan.ca

RIVER'S EDGE SUBDIVISION			
THOMASFIELD HOMES LTD.			
TOWN OF GRAND VALLEY			
GRADING PLAN 1			
DRAWN BY : RPM	APPROVED BY : A.E.K.	PROJECT NO. : 104104	DRAWING NO. : GR1
DESIGNED BY : RPM	DATE : 2023-09-12	SCALE : 1:500	



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TYPICAL LOT DRAINAGE
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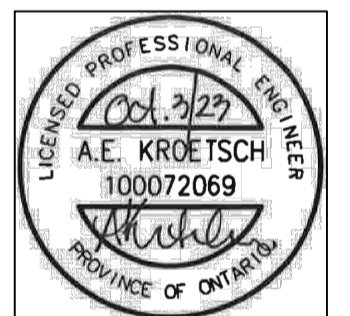


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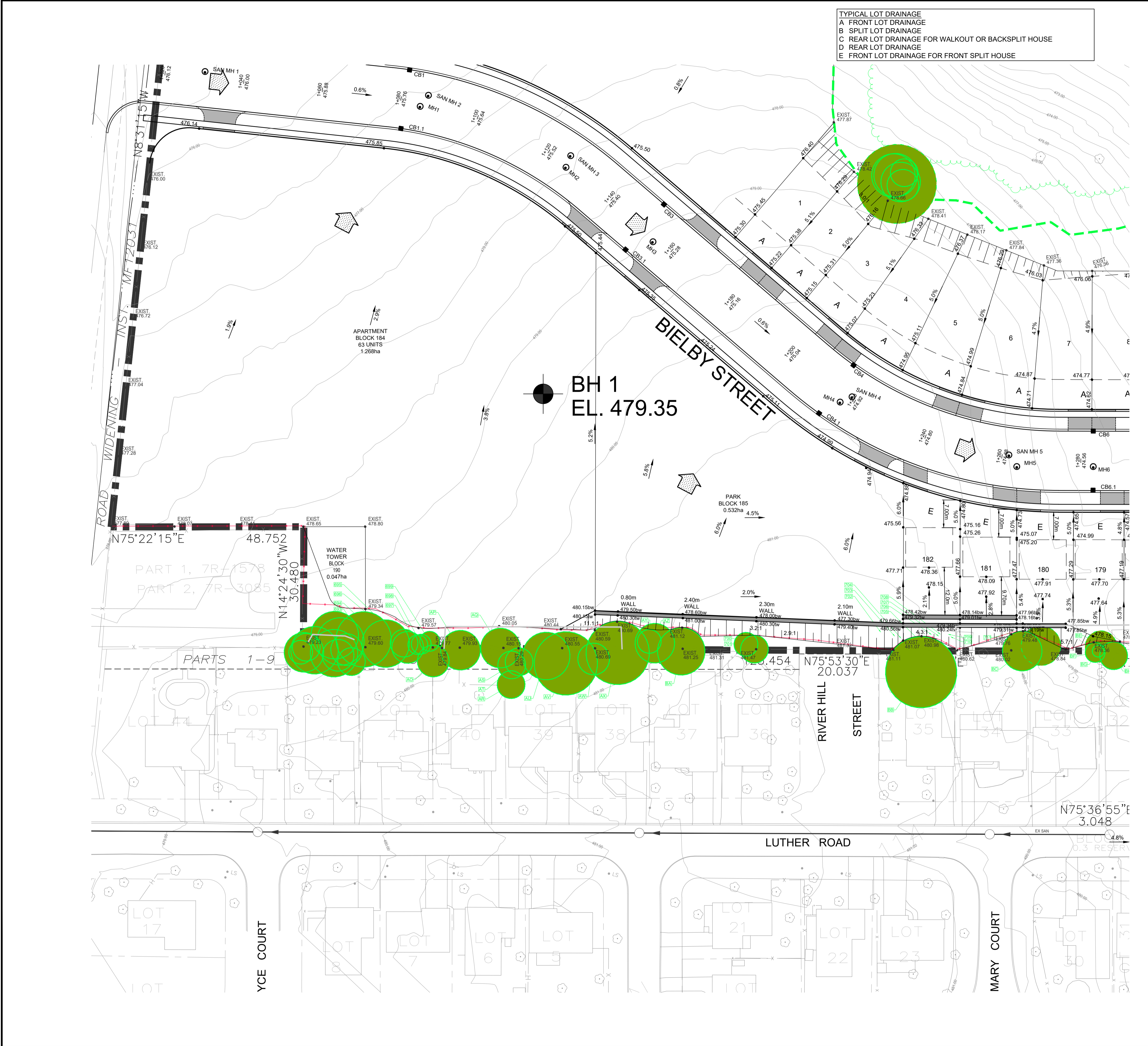
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RIVER'S EDGE SUBDIVISION			
THOMASFIELD HOMES LTD.			
TOWN OF GRAND VALLEY			
GRADING PLAN 2			
DRAWN BY:	APPROVED BY:	PROJECT NO.:	DRAWING NO.:
RPM	AEK	104104	GR2
DESIGNED BY:	DATE:	SCALE:	
RPM	2023-09-12	1:500	

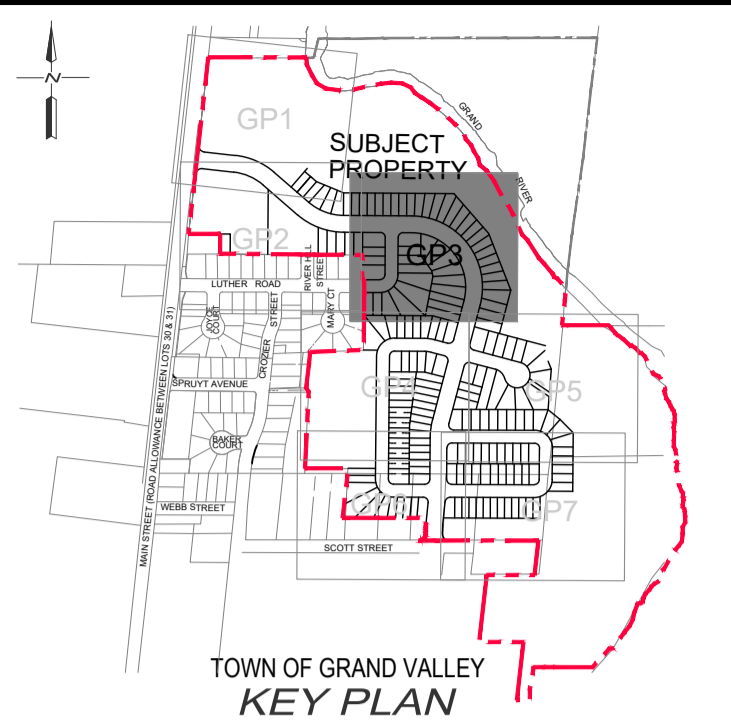
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- PROP. TOP INLET STORM SEWER
- PROP. TOP INLET CATCH BASIN
- PROP. SIDE INLET STORM SEWER
- PROP. SIDE INLET CATCH BASIN
- PROP. WATERMAIN
- PROP. FIRE HYDRANT
- PROP. SWALE
- PROP. GRADE
- PROP. GRADE
- EXIST. GRADE
- PROP. COMMUNITY MAILBOX
- PROP. HYDRO TRANSFORMER
- PROP. STREET LIGHT
- BOLLARD LIGHT AND STREET LIGHT ON HYDRO POLE
- PROP. TREES AND VEGETATION
- DRAINAGE FLOW
- MAJOR OVERLAND FLOW
- RVVAULT
- CPD
- BPD
- WVS
- CPD
- CPB
- CTPD
- BPD
- BHH
- WVS
- WGP
- RVVAULT
- LOT GRADING TYPES
- DRIVEWAY (TYP.)
- HEAVY DUTY (TYPE NO. 2) SILT FENCE AS PER OPSD-291.130



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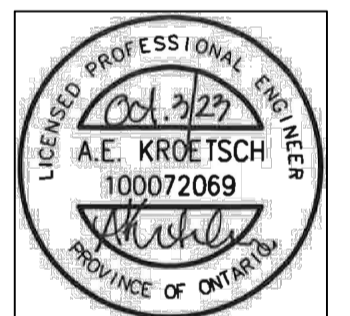
- TYPICAL LOT DRAINAGE
 A FRONT LOT DRAINAGE
 B SPLIT LOT DRAINAGE
 C REAR LOT DRAINAGE FOR WALKOUT OR BACKSPLIT HOUSE
 D REAR LOT DRAINAGE
 E FRONT LOT DRAINAGE FOR FRONT SPLIT HOUSE



- NOTES:
- DRAFT PLAN LAYOUT FROM GSP GROUP DATED SEPTEMBER 5, 2023.
 - LEGAL INFORMATION, IN UTM GRID COORDINATES, FROM VAN HARTEN SURVEYING INC., SEPTEMBER 29, 2022.
 - TREE INVENTORY FROM NRSI, SEPTEMBER 27, 2023.
 - SUBJECT PROPERTY, TOPOGRAPHICAL SURVEY PROVIDED BY NORTHWAY MAPPING, DATED 2005.
 - TOPOGRAPHICAL CONTOUR INFORMATION, NORTH AND SOUTH OF SUBJECT PROPERTY, FROM GRCA GIS DATA.
 - TOPOGRAPHICAL CONTOUR INFORMATION OF COUNTY RD 25 AND PROPOSED SWM OUTLET LANDS SURVEYED BY GM BLUEPLAN ENGINEERING, FEBRUARY 8, 2023.
 - BOREHOLES FROM PETO MACCALLUM, MARCH 3, 2012. MONITORING WELL DATA FROM JLP, APRIL 21, 2022.
 - DIGITAL FILES NOT TO BE USED FOR LAYOUT

BENCH MARKS:
 1ST ORDER BM - ELEV = 479.355
 TWO STOREY BRICK AND ALUMINUM SIDING HOUSE ON EAST SIDE OF HWY 25 AND NORTH SIDE OF LUTHER RD, 0.9KM NORTH OF THE ROYAL BANK AT GRAND VALLEY, 19.0m NORTH OF CENTERLINE OF LUTHER RD, 30.3m EAST OF CENTERLINE OF HWY 25.
 TABLET IS SET HORIZONTALLY IN WEST FACE OF CONCRETE FOUNDATION, 3.08m SOUTH OF N.W. CORNER, 18cm ABOVE GROUND LEVEL.

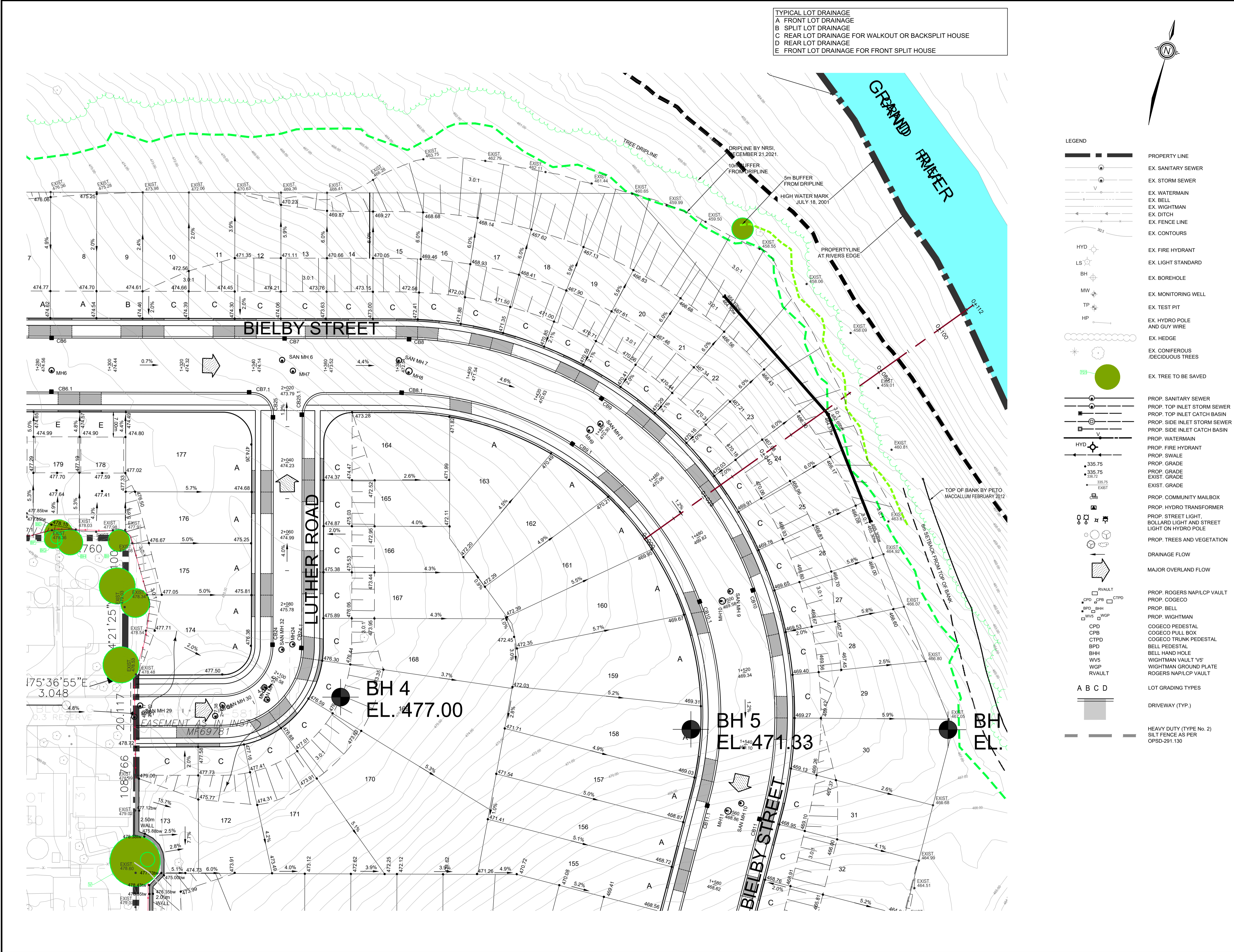
THE POSITION OF POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED.
 BEFORE STARTING WORK, THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES, AND SHALL ASSUME ALL LIABILITY FOR ANY DAMAGE TO THEM.



2	2023-10-03	ISSUED FOR APPROVAL	A.E.K.
1	2023-09-12	ISSUED FOR REVIEW	A.E.K.



RIVER'S EDGE SUBDIVISION			
THOMASFIELD HOMES LTD.			
TOWN OF GRAND VALLEY			
GRADING PLAN 3			
DRAWN BY:	APPROVED BY:	PROJECT NO.:	DRAWING NO.:
RPM	AEK	104104	GR3
DESIGNED BY:	DATE:	SCALE:	
RPM	2023-09-12	1:500	

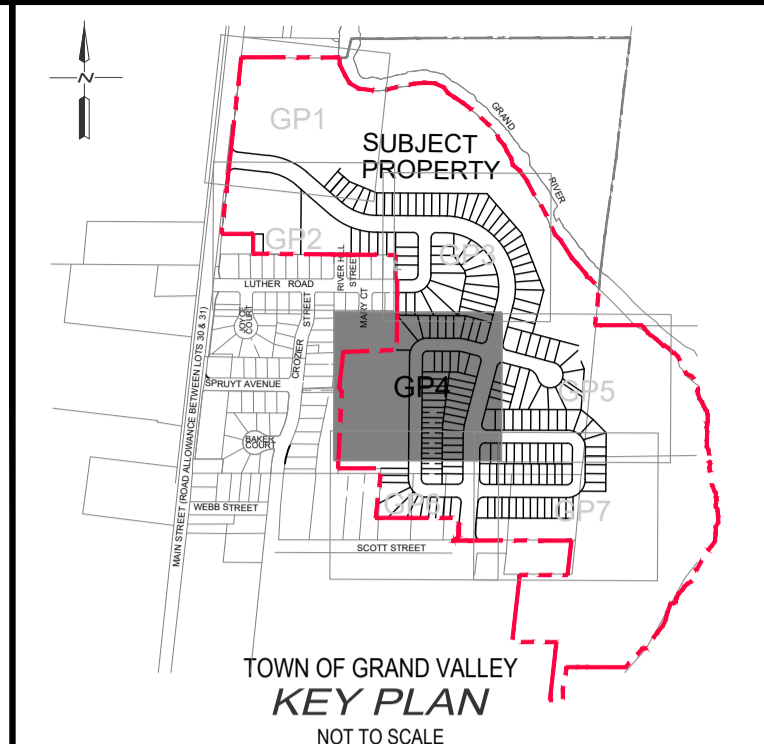


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TYPICAL LOT DRAINAGE
 A FRONT LOT DRAINAGE
 B SPLIT LOT DRAINAGE
 C REAR LOT DRAINAGE FOR WALKOUT OR BACKSPLIT HOUSE
 D REAR LOT DRAINAGE
 E FRONT LOT DRAINAGE FOR FRONT SPLIT HOUSE

LEGEND

- PROPERTY LINE
- EX. SANITARY SEWER
- EX. STORM SEWER
- EX. WATERMAIN
- EX. BELL
- EX. WIGHTMAN
- EX. DITCH
- EX. FENCE LINE
- EX. CONTOURS
- HYD. EX. FIRE HYDRANT
- LS. EX. LIGHT STANDARD
- BH. EX. BOREHOLE
- MW. EX. MONITORING WELL
- TP. EX. TEST PIT
- HP. EX. HYDRO POLE AND GUY WIRE
- EX. HEDGE
- EX. CONIFEROUS / DECIDUOUS TREES
- EX. TREE TO BE SAVED
- PROP. SANITARY SEWER
- PROP. TOP INLET STORM SEWER
- PROP. TOP INLET CATCH BASIN
- PROP. SIDE INLET STORM SEWER
- PROP. WATERMAIN
- PROP. FIRE HYDRANT
- PROP. SWALE
- PROP. GRADE
- PROP. GRADE
- EXIST. GRADE
- PROP. COMMUNITY MAILBOX
- PROP. HYDRO TRANSFORMER
- PROP. STREET LIGHT
- BOLLARD LIGHT AND STREET LIGHT ON HYDRO POLE
- PROP. TREES AND VEGETATION
- DRAINAGE FLOW
- MAJOR OVERLAND FLOW
- PROP. ROGERS NAP/CP VAULT
- PROP. COGECO
- PROP. BELL
- PROP. WIGHTMAN
- COGECO PEDESTAL
- COGECO TRUNK PEDESTAL
- BPD PEDESTAL
- BELL HAND HOLE
- WIGHTMAN VAULT 'V'
- WIGHTMAN GROUND PLATE
- ROGERS NAP/CP VAULT
- LOT GRADING TYPES
- DRIVEWAY (TYP.)
- HEAVY DUTY (TYPE No. 2)
- SILT FENCE AS PER OPSD-291.130



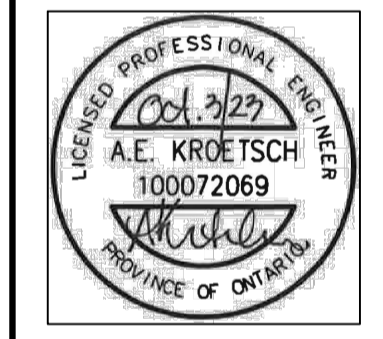
- NOTES:**
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 - BOREHOLES FROM PETO MACCALLUM, MARCH 3, 2012. MONITORING WELL DATA FROM JLP, APRIL 21, 2022.
 - DIGITAL FILES NOT TO BE USED FOR LAYOUT

BENCH MARKS:

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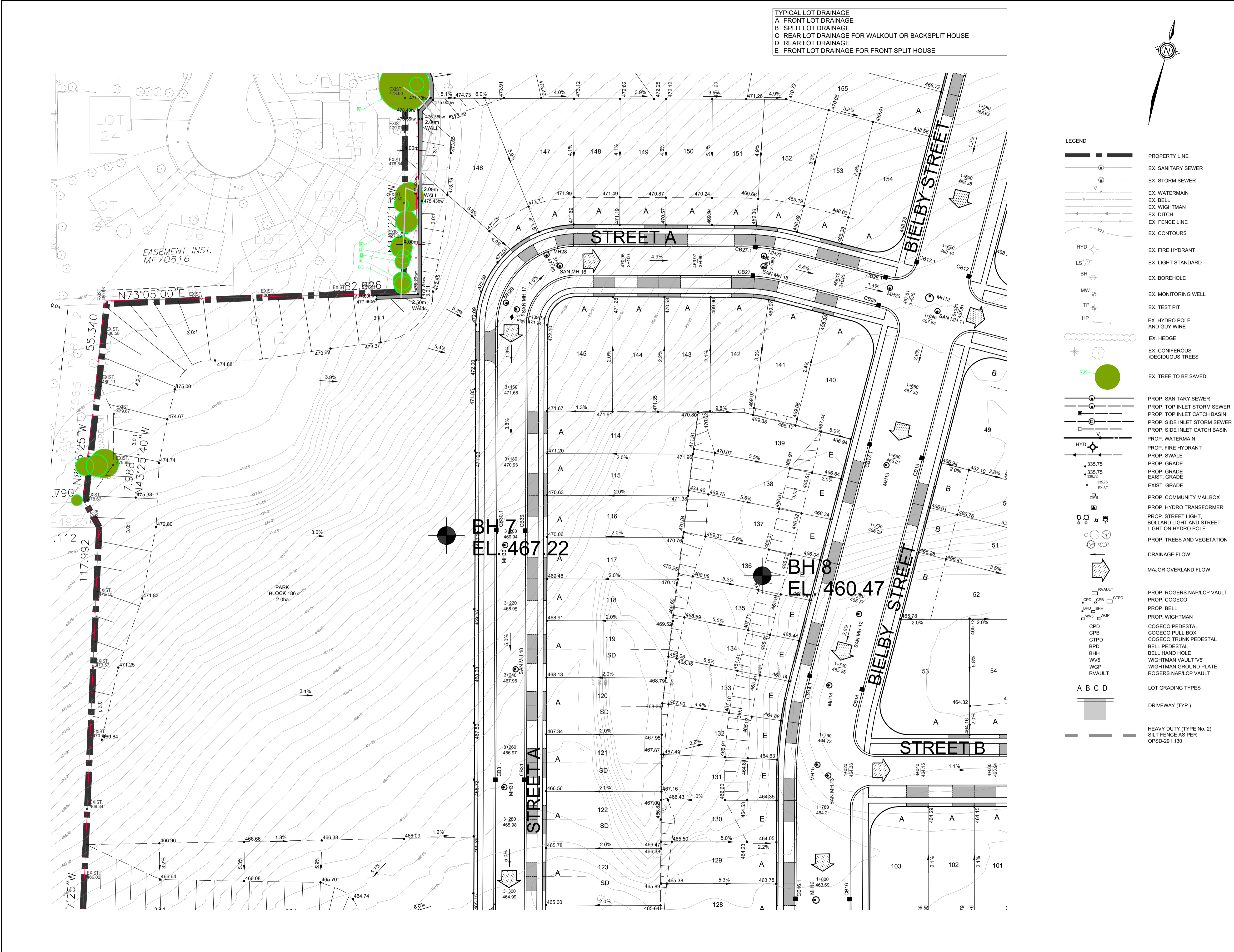


NO.	DATE	REVISION DESCRIPTION	CHKD.
2	2023-10-03	ISSUED FOR APPROVAL	A.E.K.
1	2023-09-12	ISSUED FOR REVIEW	A.E.K.

BluePlan
 ENGINEERING

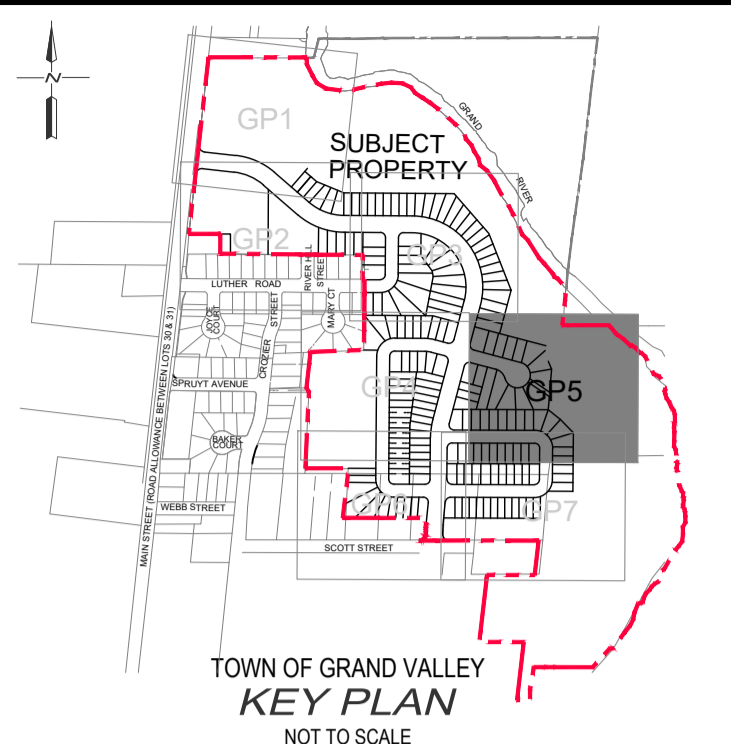
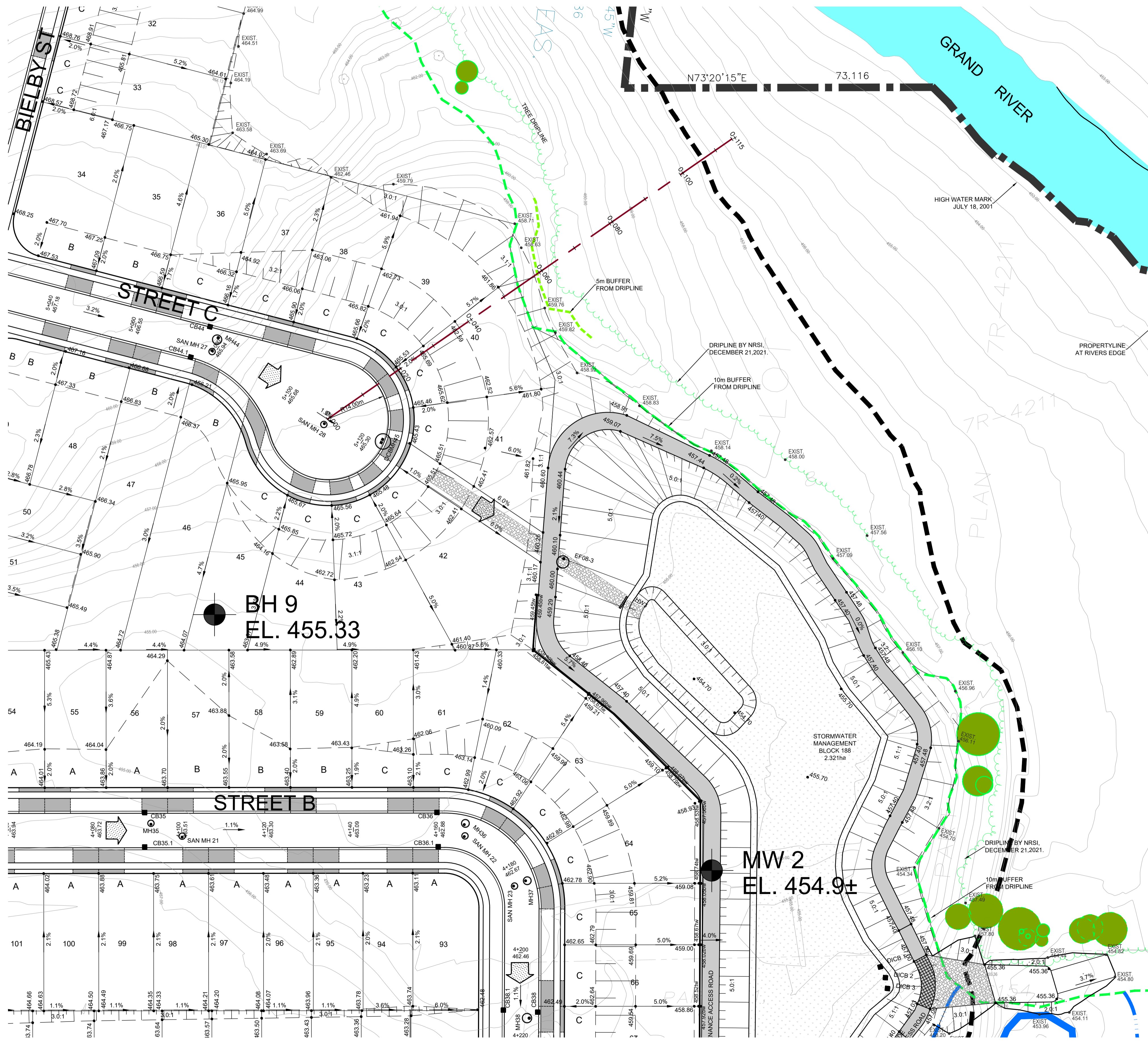
GUELPH | OWEN SOUND | LISTOWEL | KITCHENER | LONDON | HAMILTON | GTA
 650 WOODLAWN ROAD WEST, BLOCK C, UNIT 2, GUELPH, ON N1K 1B8
 TEL: 519-824-8100 www.blueplan.ca

RIVER'S EDGE SUBDIVISION			
THOMASFIELD HOMES LTD.			
TOWN OF GRAND VALLEY			
GRADING PLAN 4			
DRAWN BY: RPM	APPROVED BY: AEK	PROJECT NO.: 104104	DRAWING NO.: GR4
DESIGNED BY: RPM	DATE: 2023-09-12	SCALE: 1:500	



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- TYPICAL LOT DRAINAGE
 A FRONT LOT DRAINAGE
 B SPLIT LOT DRAINAGE
 C REAR LOT DRAINAGE FOR WALKOUT OR BACKSPLIT HOUSE
 D REAR LOT DRAINAGE
 E FRONT LOT DRAINAGE FOR FRONT SPLIT HOUSE



- LEGEND
- PROPERTY LINE
 - EX. SANITARY SEWER
 - EX. STORM SEWER
 - EX. WATERMAIN
 - EX. BELL
 - EX. WIGHTMAN
 - EX. DITCH
 - EX. FENCE LINE
 - EX. CONTOURS
 - HYD. EX. FIRE HYDRANT
 - LS. EX. LIGHT STANDARD
 - BH. EX. BOREHOLE
 - MW. EX. MONITORING WELL
 - TP. EX. TEST PIT
 - HP. EX. HYDRO POLE AND GUY WIRE
 - EX. HEDGE
 - EX. CONIFEROUS / DECIDUOUS TREES
 - EX. TREE TO BE SAVED
 - PROP. SANITARY SEWER
 - PROP. TOP INLET STORM SEWER
 - PROP. TOP INLET CATCH BASIN
 - PROP. SIDE INLET STORM SEWER
 - PROP. WATERMAIN
 - PROP. FIRE HYDRANT
 - PROP. SWALE
 - PROP. GRADE
 - EXIST. GRADE
 - PROP. COMMUNITY MAILBOX
 - PROP. HYDRO TRANSFORMER
 - PROP. STREET LIGHT
 - BOLLARD LIGHT AND STREET LIGHT ON HYDRO POLE
 - PROP. TREES AND VEGETATION
 - DRAINAGE FLOW
 - MAJOR OVERLAND FLOW
 - PROP. ROGERS NAP/LCP VAULT
 - PROP. COGECO
 - PROP. BELL
 - PROP. WIGHTMAN
 - COGECO PEDESTAL
 - COGECO TRUNK PEDESTAL
 - BPD PEDESTAL
 - BELL HAND HOLE
 - WVS
 - WGP
 - RVVAULT
 - LOT GRADING TYPES
 - DRIVEWAY (TYP.)
 - HEAVY DUTY (TYP. NO. 2) SILT FENCE AS PER OPSD-291.130

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1	2023-09-12	ISSUED FOR REVIEW	A.E.K.



RIVER'S EDGE SUBDIVISION			
THOMASFIELD HOMES LTD.			
TOWN OF GRAND VALLEY			
GRADING PLAN 5			
DRAWN BY: RPM	APPROVED BY: AEK	PROJECT NO.: 104104	DRAWING NO.: GR5
DESIGNED BY: RPM	DATE: 2023-09-12	SCALE: 1:500	

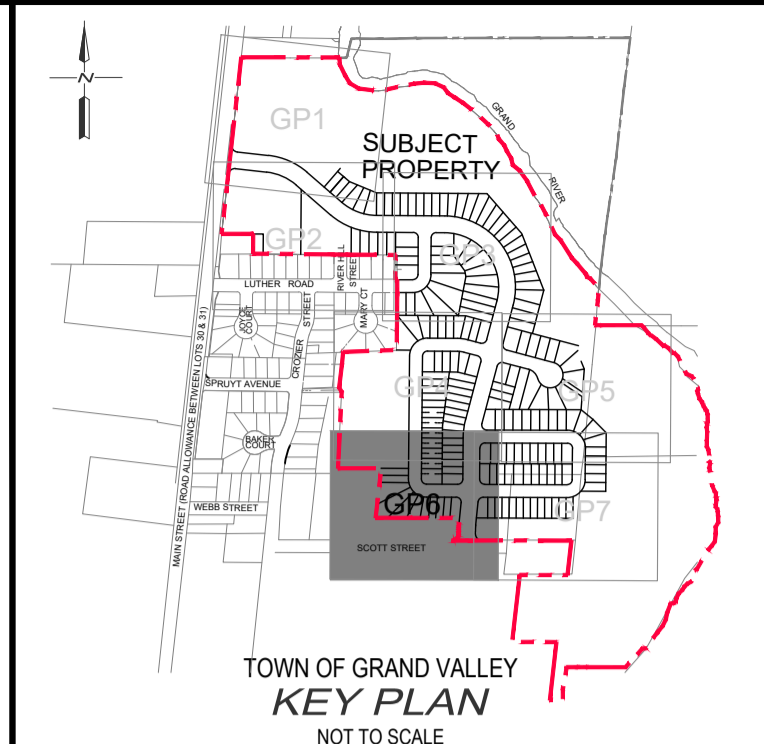
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- TYPICAL LOT DRAINAGE
 A FRONT LOT DRAINAGE
 B SPLIT LOT DRAINAGE
 C REAR LOT DRAINAGE FOR WALKOUT OR BACKSPLIT HOUSE
 D REAR LOT DRAINAGE
 E FRONT LOT DRAINAGE FOR FRONT SPLIT HOUSE



LEGEND

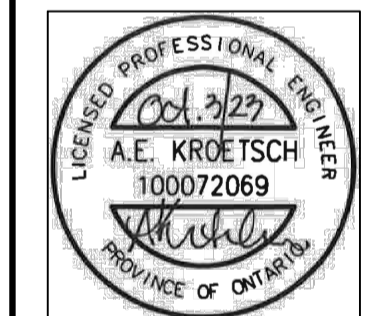
- PROPERTY LINE
- EX. SANITARY SEWER
- EX. STORM SEWER
- EX. WATERMAIN
- EX. BELL
- EX. WIGHTMAN
- EX. DITCH
- EX. FENCE LINE
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- BELL PEDESTAL
- BELL HAND HOLE
- WIGHTMAN VAULT 'V5'
- WIGHTMAN GROUND PLATE
- ROGERS NAP/CP VAULT
- LOT GRADING TYPES
- DRIVEWAY (TYP.)
- HEAVY DUTY (TYPE NO. 2)
- SILT FENCE AS PER OPSD-291.130



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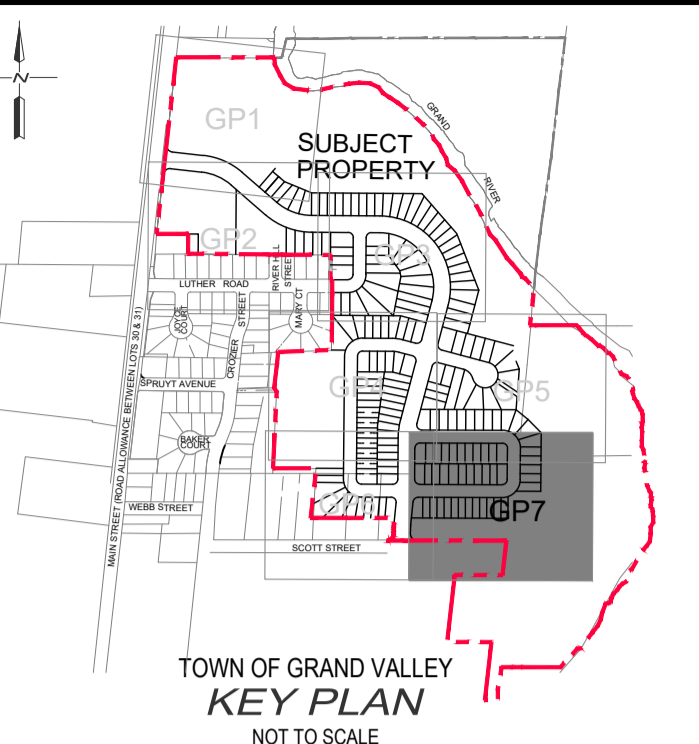
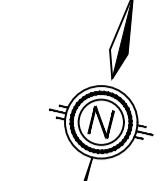
BluePlan ENGINEERING

QUELPH | OWEN SOUND | LISTOWEL | KITCHENER | LONDON | HAMILTON | GTA
 650 WOODLAWN ROAD WEST, BLOCK C, UNIT 2, QUELPH, ON N1K 1B8
 TEL: 519-524-8150 www.blueplan.ca

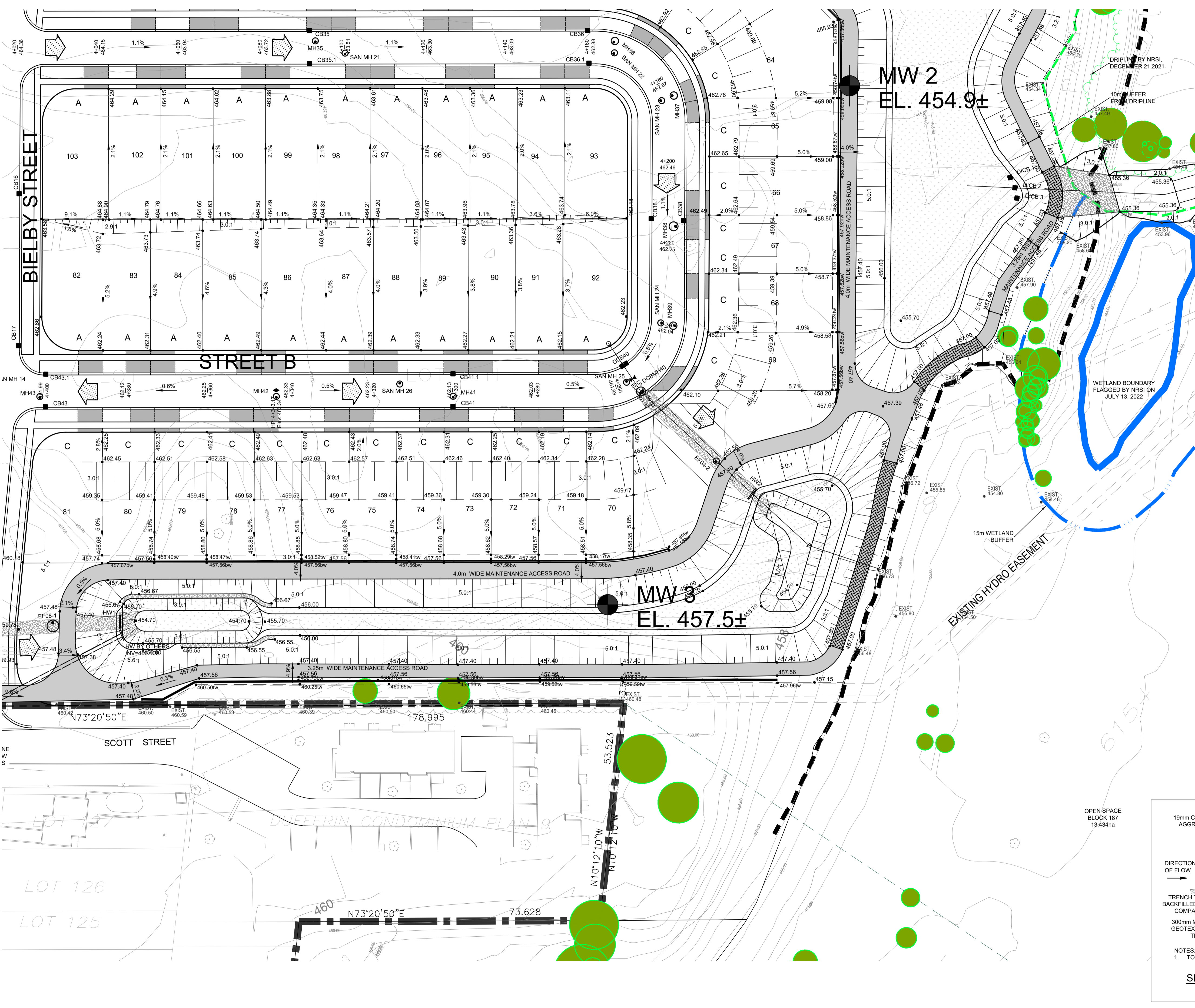
RIVER'S EDGE SUBDIVISION			
THOMASFIELD HOMES LTD.			
TOWN OF GRAND VALLEY			
GRADING PLAN 6			
DRAWN BY:	APPROVED BY:	PROJECT NO.:	DRAWING NO.:
RPM	AEK	104104	GR6
DESIGNED BY:	DATE:	SCALE:	
RPM	2023-09-12	1:500	

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TYPICAL LOT DRAINAGE
A FRONT LOT DRAINAGE
B SPLIT LOT DRAINAGE
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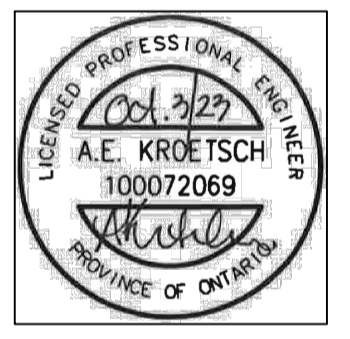


LEGEND

- PROPERTY LINE
- EX. SANITARY SEWER
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- EX. BELL
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- EX. DITCH
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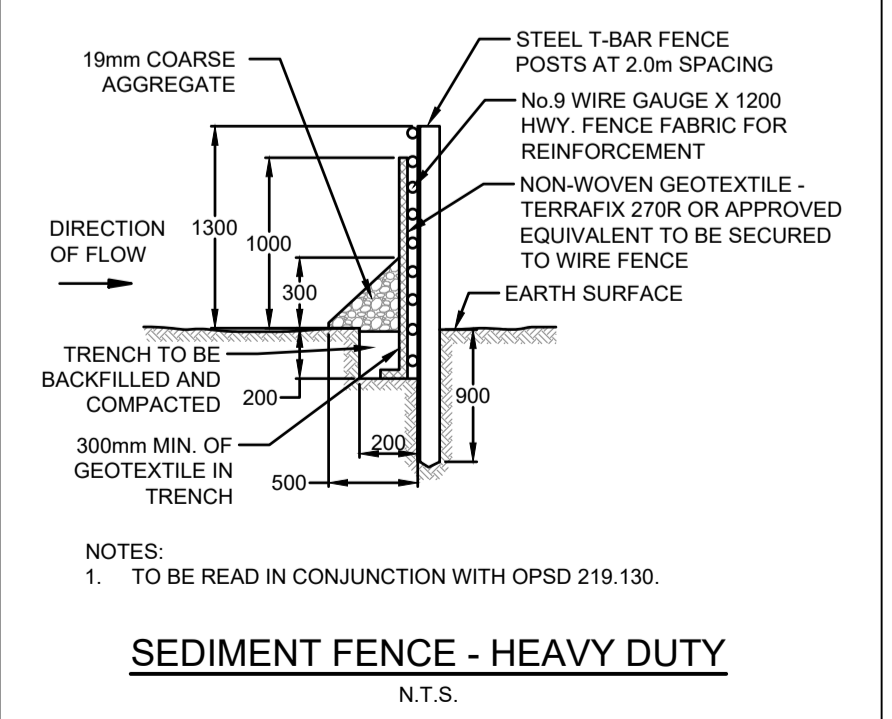
NO.	DATE	REVISION DESCRIPTION	CHKD.
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1	2023-09-12	ISSUED FOR REVIEW	A.E.K.

BluePlan ENGINEERING

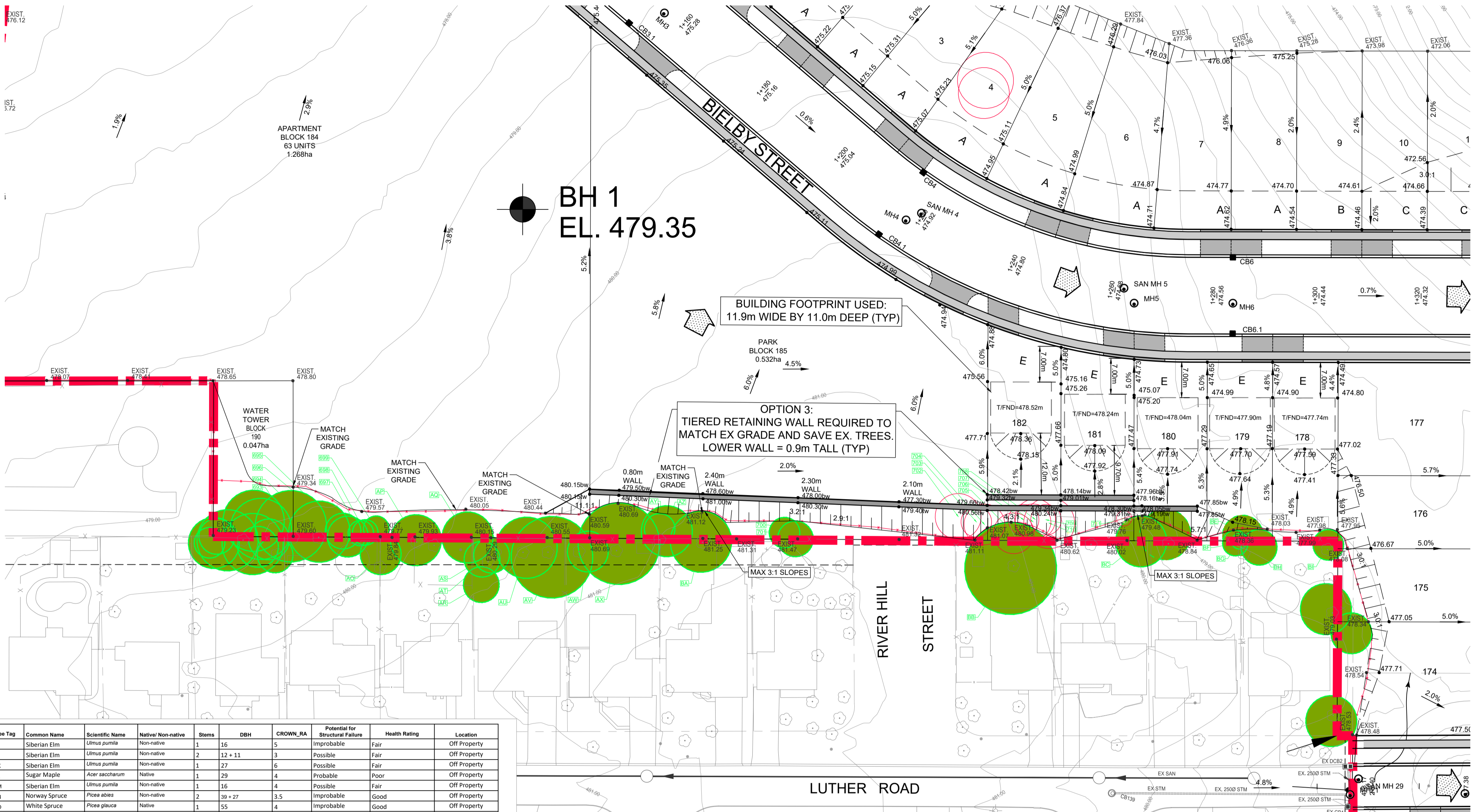
QUELPH | OWEN SOUND | LISTOWEL | KITCHENER | HAMILTON | GTA
650 WOODLAWN ROAD WEST, BLOCK C, UNIT 2, QUELPH, ON N1X 1B8
TEL: 918-824-8100 www.blueplan.ca

RIVER'S EDGE SUBDIVISION
THOMASFIELD HOMES LTD.
TOWN OF GRAND VALLEY

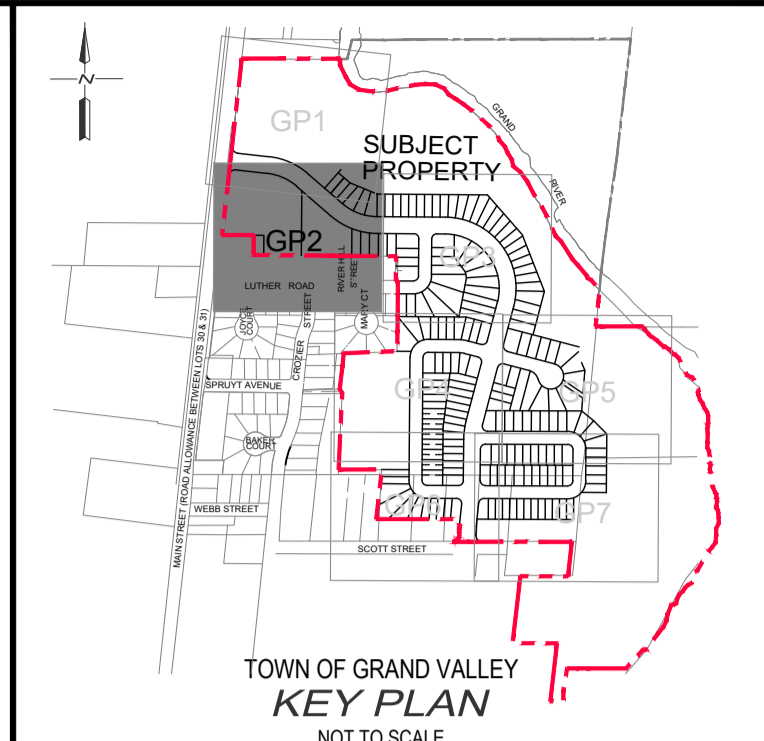
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DRAWN BY :	APPROVED BY :	PROJECT NO. :	DRAWING NO. :
RPM	AEK	104104	GR7
DESIGNED BY :	DATE :	SCALE :	
RPM	2023-09-12	1:500	



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- ### LEGEND
- PROPERTY LINE
 - EX. SANITARY SEWER
 - EX. STORM SEWER
 - EX. WATERMAIN
 - EX. WIGHTMAN
 - EX. DITCH
 - EX. FENCE LINE
 - EX. CONTOURS
 - EX. FIRE HYDRANT
 - EX. LIGHT STANDARD
 - EX. BOREHOLE
 - EX. MONITORING WELL
 - EX. TEST PIT
 - EX. HYDRO POLE AND GUY WIRE
 - EX. HEDGE
 - EX. CONIFEROUS /DECIDUOUS TREES
 - PROP. SANITARY SEWER
 - PROP. TOP INLET STORM SEWER
 - PROP. TOP INLET CATCH BASIN
 - PROP. SIDE INLET STORM SEWER
 - PROP. SIDE INLET CATCH BASIN
 - PROP. WATERMAIN
 - PROP. FIRE HYDRANT
 - PROP. SWALE
 - PROP. GRADE
 - PROP. GRADE
 - EXIST. GRADE
 - EXIST. GRADE
 - PROP. COMMUNITY MAILBOX
 - PROP. HYDRO TRANSFORMER
 - PROP. STREET LIGHT, BOLLARD LIGHT AND STREET LIGHT ON HYDRO POLE
 - PROP. TREES AND VEGETATION
 - DRAINAGE FLOW
 - MAJOR OVERLAND FLOW
 - PROP. ROGERS NAP/LCP VAULT
 - PROP. COGECO
 - PROP. BELL
 - PROP. WIGHTMAN
 - COGECO PEDESTAL
 - COGECO PULL BOX
 - COGECO TRUNK PEDESTAL
 - BPD PEDESTAL
 - BELL HAND HOLE
 - WIGHTMAN VAULT 'V5'
 - WIGHTMAN GROUND PLATE
 - ROGERS NAP/LCP VAULT
 - LOT GRADING TYPES
 - DRIVEWAY (TYP.)
 - HEAVY DUTY (TYPE No. 2)
 - SILT FENCE AS PER OPSD-291.130
 - TREES RETAINED
 - TREE REMOVED

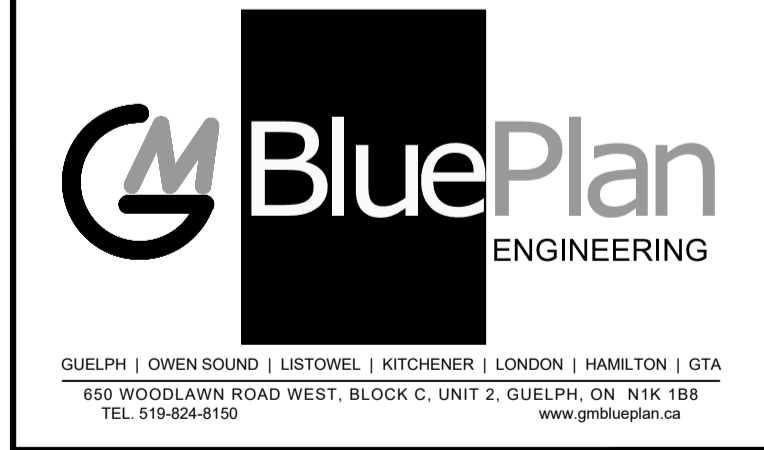


- ### NOTES:
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 - BOREHOLES FROM PETO MACCALLUM, MARCH 3, 2012. MONITORING WELL DATA FROM JLP, APRIL 21 2022.
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TWO STOREY BRICK AND ALUMINUM SIDING HOUSE ON EAST SIDE OF HWY 25 AND NORTH SIDE OF LUTHER RD, 0.9KM NORTH OF THE ROYAL BANK AT GRAND VALLEY, 19.0m NORTH OF CENTERLINE OF LUTHER RD, 30.3m EAST OF CENTERLINE OF HWY 25.
TABLET IS SET HORIZONTALLY IN WEST FACE OF CONCRETE FOUNDATION, 3.08m SOUTH OF N.W. CORNER, 18cm ABOVE GROUND LEVEL.
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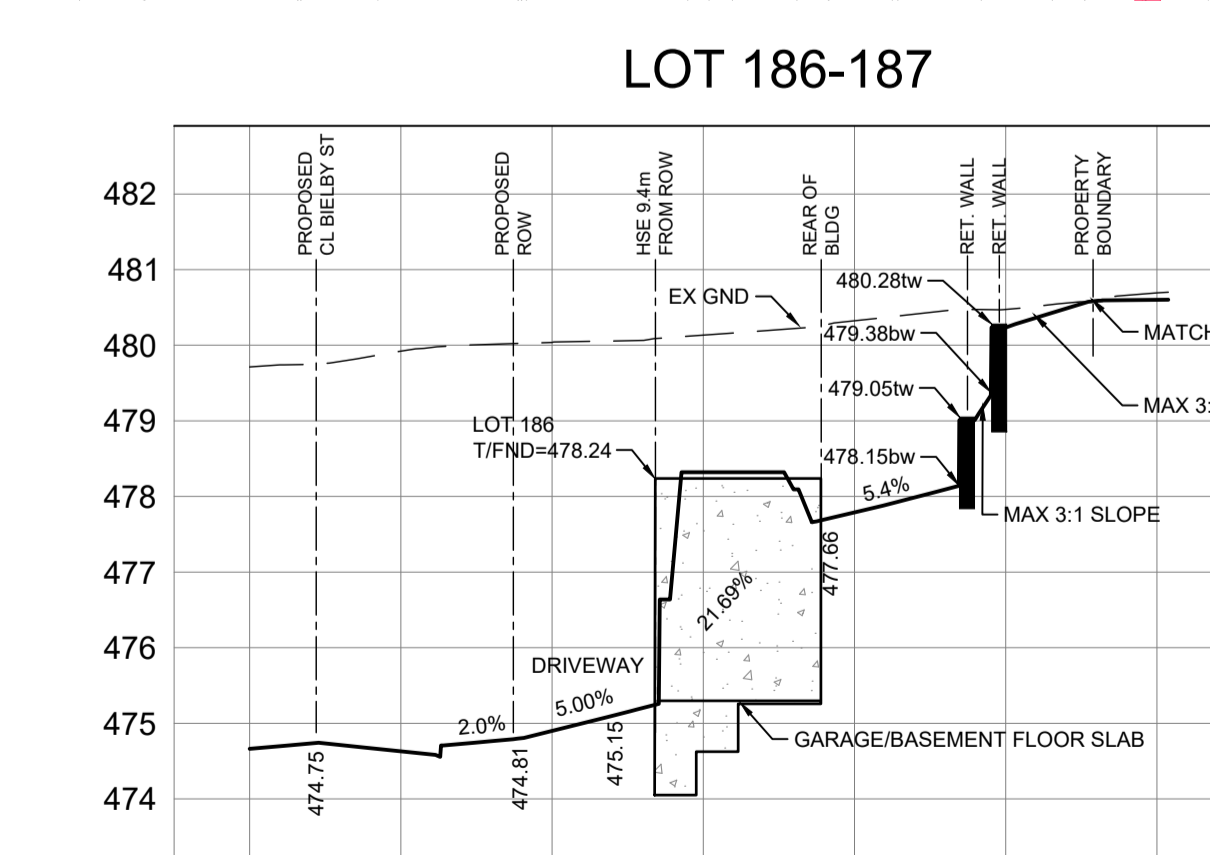
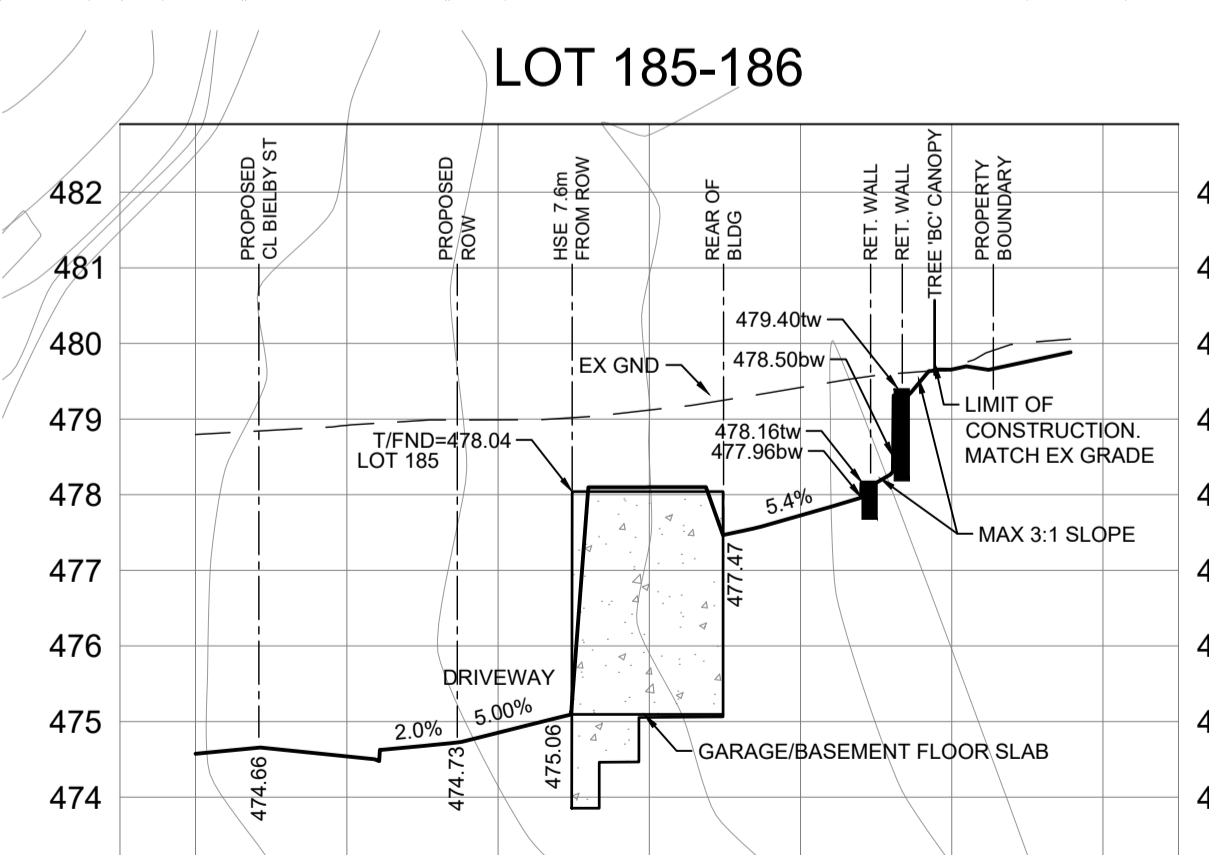


NO.	DATE	REVISION DESCRIPTION	CHKD
2	2023-10-03	ISSUED FOR APPROVAL	A.E.K.
1	2023-09-12	ISSUED FOR REVIEW	A.E.K.



RIVER'S EDGE SUBDIVISION			
THOMASFIELD HOMES LTD.			
TOWN OF GRAND VALLEY			
GRADING DETAILS - LOTS 183 TO 187			
DRAWN BY:	APPROVED BY:	PROJECT NO.:	DRAWING NO.:
RPM	AEK	104104	GR8
DESIGNED BY:	DATE:	SCALE:	
RPM	2023-09-12	H 1:500 V 1:100	

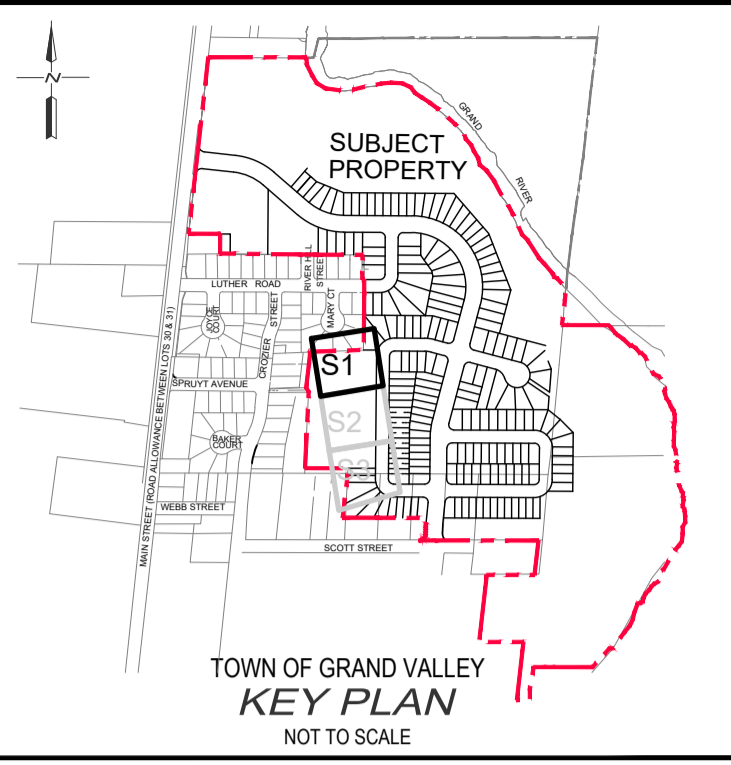
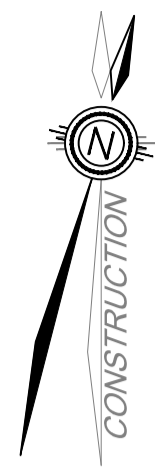
Tree Tag	Common Name	Scientific Name	Native/Non-native	Stems	DBH	CROWN_RA	Potential for Structural Failure	Health Rating	Location
A	Siberian Elm	Ulmus pumila	Non-native	1	16	5	Improbable	Fair	Off Property
AJ	Siberian Elm	Ulmus pumila	Non-native	2	12 + 11	3	Possible	Fair	Off Property
AK	Siberian Elm	Ulmus pumila	Non-native	1	27	6	Possible	Fair	Off Property
AL	Sugar Maple	Acer saccharum	Native	1	29	4	Probable	Poor	Off Property
AM	Siberian Elm	Ulmus pumila	Non-native	1	16	4	Possible	Fair	Off Property
AN	Norway Spruce	Picea abies	Non-native	2	39 + 27	3.5	Improbable	Good	Off Property
AO	White Spruce	Picea glauca	Native	1	55	4	Improbable	Good	Off Property
AP	Sugar Maple	Acer saccharum	Native	1	60	5	Improbable	Fair	Boundary
AQ	Norway Spruce	Picea abies	Non-native	1	40	3	Improbable	Good	Boundary
AR	White Spruce	Picea glauca	Native	1	25	3.5	Improbable	Good	Off Property
AS	White Spruce	Picea glauca	Native	1	25	3.5	Improbable	Good	Off Property
AT	Norway Spruce	Picea abies	Non-native	1	25	3.5	Improbable	Good	Off Property
AU	Freeman's Maple	Acer x freemanii	Native	1	50	6	Improbable	Good	Off Property
AV	Northern Red Oak	Quercus rubra	Native	1	55	8	Improbable	Good	Off Property
AW	White Spruce	Picea glauca	Native	1	30	4	Improbable	Good	Off Property
AX	Freeman's Maple	Acer x freemanii	Native	1	75	8	Possible	Fair	Off Property
AY	Norway Maple	Acer platanoides	Non-native	1	18	3	Improbable	Good	Boundary
AZ	Norway Maple	Acer platanoides	Non-native	3	28 + 18 + 15	5	Improbable	Good	Boundary
BA	Paper Birch	Betula papyrifera	Native	3	28 + 25 + 18	6	Improbable	Good	Boundary
BB	Willow	Salix sp.	**	1	88	9	Probable	Fair	Off Property
BC	Norway Maple	Acer platanoides	Non-native	3	27 + 23 + 21	5	Improbable	Good	Boundary
BD	Black Pine	Pinus nigra	Non-native	1	30	5	Improbable	Good	Boundary
BE	Eastern White Cedar	Thuja occidentalis	Native	2	28 + 15	4	Improbable	Good	On Property
BF	Eastern White Cedar	Thuja occidentalis	Native	2	28 + 15	4	Improbable	Good	On Property
BG	Eastern White Cedar	Thuja occidentalis	Native	1	27	2.5	Improbable	Good	Boundary
BH	Eastern White Cedar	Thuja occidentalis	Native	1	18	1.5	Improbable	Good	Boundary
BI	Norway Maple	Acer platanoides	Non-native	1	20	3.5	Improbable	Good	Off Property
BJ	White Spruce	Picea glauca	Native	1	30	3	Improbable	Fair	Boundary
694	Norway Maple	Acer platanoides	Non-native	4	33.3 + 31.5 + 19.5 + 17.2	6	Possible	Poor	On Property
695	Siberian Elm	Ulmus pumila	Non-native	1	11.5	3.5	Possible	Poor	On Property
696	Norway Maple	Acer platanoides	Non-native	2	13.5 + <10	4	Improbable	Good	Boundary
697	Eastern White Pine	Pinus strobus	Native	1	11.2	2.5	Improbable	Fair	On Property
698	Siberian Elm	Ulmus pumila	Non-native	2	11.7 + <10	2.5	Possible	Poor	On Property
699	Siberian Elm	Ulmus pumila	Non-native	3	14.8 + 12.1 + 11.0	2.5	Possible	Poor	On Property
700	White Spruce	Picea glauca	Native	1	21.5	3	Improbable	Good	On Property
701	White Spruce	Picea glauca	Native	1	25.2	3.5	Improbable	Good	Boundary
702	White Spruce	Picea glauca	Native	1	32.3	4.5	Improbable	Good	On Property
703	White Spruce	Picea glauca	Native	2	17.8 + 17.5	3	Improbable	Good	On Property
704	Norway Spruce	Picea abies	Non-native	1	26.5	4	Improbable	Fair	On Property
705	White Spruce	Picea glauca	Native	1	20.1	4	Improbable	Fair	On Property
706	White Spruce	Picea glauca	Native	1	19.8	3	Improbable	Good	On Property
707	Norway Spruce	Picea abies	Non-native	1	27.6	3.5	Improbable	Good	On Property
708	Norway Spruce	Picea abies	Non-native	1	17.5	4	Improbable	Fair	On Property
709	Norway Spruce	Picea abies	Non-native	1	13.3	3	Improbable	Good	On Property
710	Norway Spruce	Picea abies	Non-native	1	30.5	5	Improbable	Good	On Property
711	White Spruce	Picea glauca	Native	1	15.3	1.5	Improbable	Good	On Property



C/L GRADE	0-000	0-010	0-020	0-030	0-040	0-050	0-060	C/L GRADE
	474.66	474.75	474.85	478.10	477.73	479.86	479.86	

C/L GRADE	0-000	0-010	0-020	0-030	0-040	0-050	0-060	0-070	C/L GRADE
	474.75	474.85	474.90	478.32	477.79	480.24	480.80		

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Additional Lands Owned By Applicant

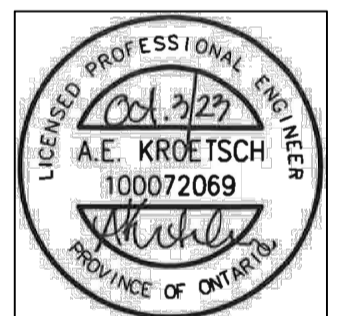
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2	2023-09-12	ISSUED FOR REVIEW	A.E.K.

LEGEND

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	EX. DITCH
	EX. BELL LINE
	EX. GAS LINE
	EX. FENCE LINE
	EX. CONTOURS
	EX. CATCH BASIN
	PR. STORM SEWER
	PR. CATCH BASIN
	PR. SANITARY SEWER
	PR. WATERMAIN
	PR. SWALE
	EX. FIRE HYDRANT
	EX. LIGHT STANDARD
	HEDGE
	CONIFEROUS AND DECIDUOUS TREES



RIVER'S EDGE SUBDIVISION

THOMASFIELD HOMES LTD.

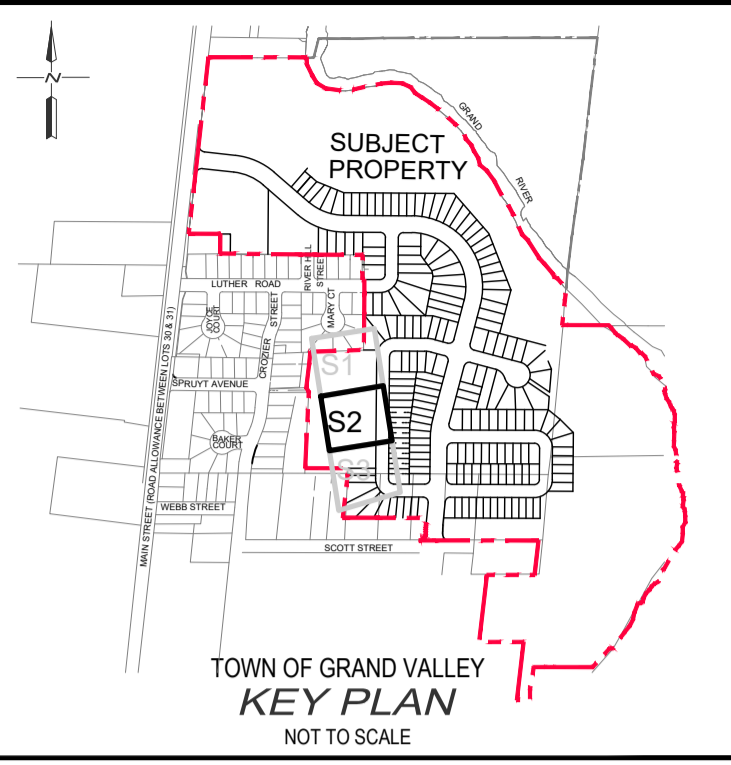
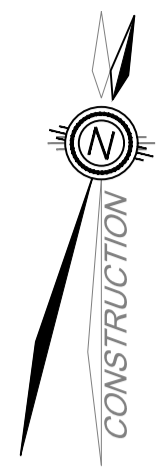
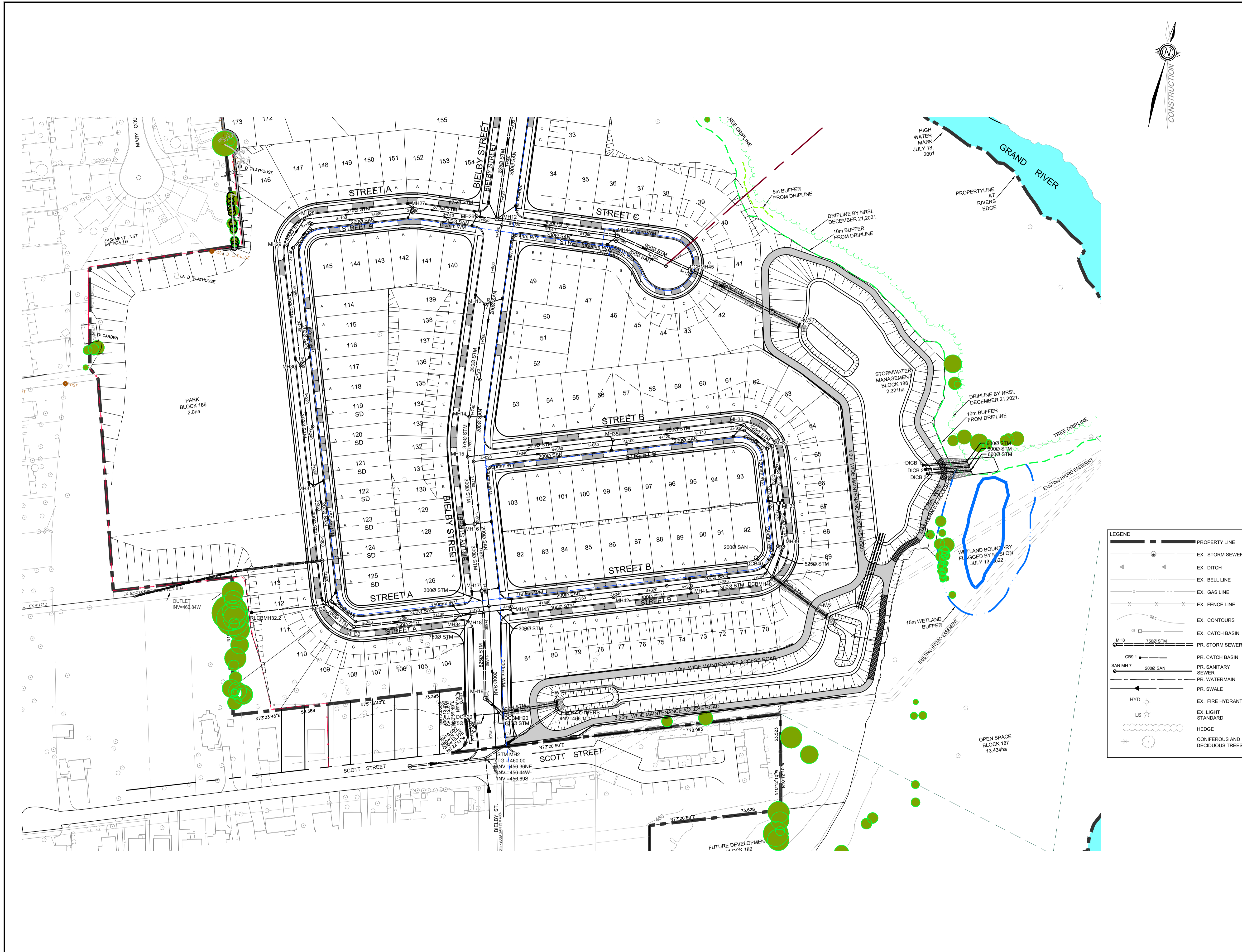
TOWN OF GRAND VALLEY

OVERALL SERVICING PLAN 1

DRAWN BY :	APPROVED BY :	PROJECT NO. :	DRAWING NO. :
RPM	AEK	104104	S1
DESIGNED BY :	DATE :	SCALE :	
RPM	2023-09-12	1:1000	



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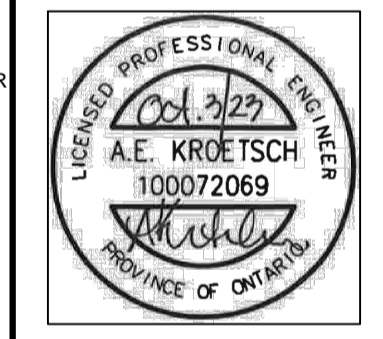
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	EX. BELL LINE
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	EX. FENCE LINE
	EX. CONTOURS
	EX. CATCH BASIN
	PR. STORM SEWER
	PR. CATCH BASIN
	PR. SANITARY SEWER
	PR. WATERMAIN
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	EX. FIRE HYDRANT
	EX. LIGHT STANDARD
	HEDGE
	CONIFEROUS AND DECIDUOUS TREES



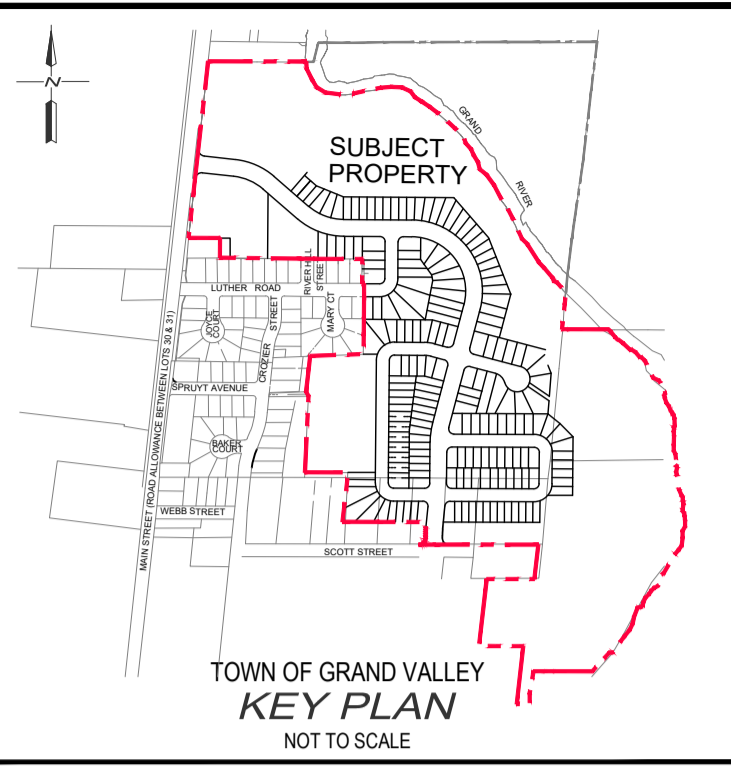
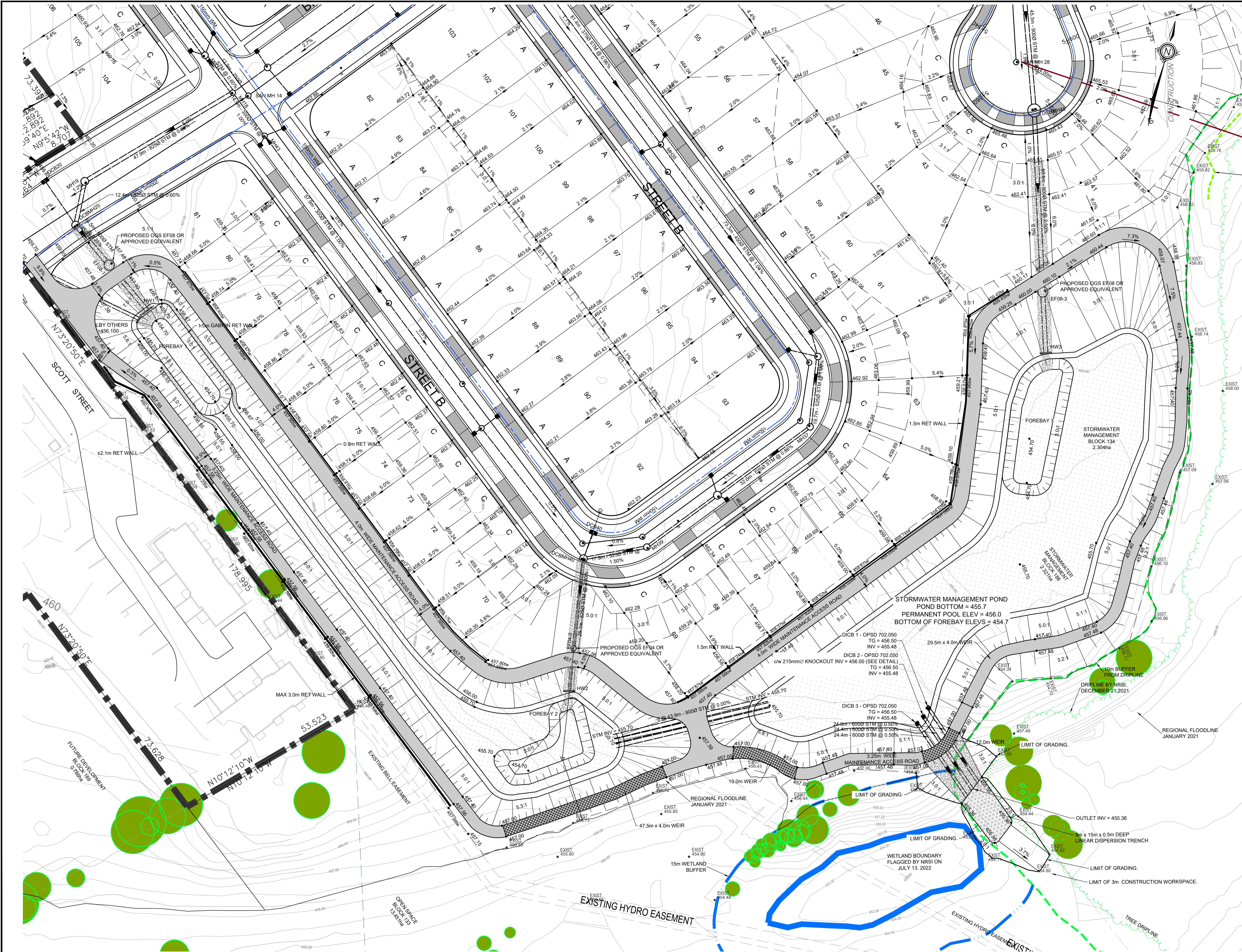
NO.	DATE	REVISION DESCRIPTION	CHKD.
2	2023-10-03	ISSUED FOR APPROVAL	A.E.K.
1	2023-09-12	ISSUED FOR REVIEW	A.E.K.

BluePlan
ENGINEERING

GUELPH | OWEN SOUND | LISTOWEL | KITCHENER | HAMILTON | GTA
650 WOODLAWN ROAD WEST, BLOCK C, UNIT 2, GUELPH, ON N1K 1B8
TEL: 519-824-8150 www.blueplan.ca

RIVER'S EDGE SUBDIVISION			
THOMASFIELD HOMES LTD.			
TOWN OF GRAND VALLEY			
OVERALL SERVICING PLAN 2			
DRAWN BY:	APPROVED BY:	PROJECT NO.:	DRAWING NO.:
RPM	AEK	104104	S2
DESIGNED BY:	DATE:	SCALE:	
RPM	2023-09-12	1:1000	

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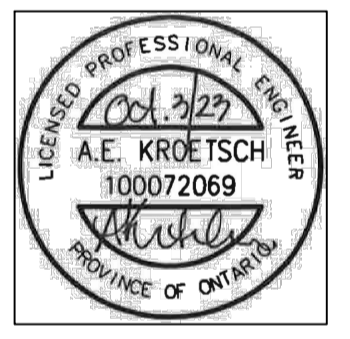
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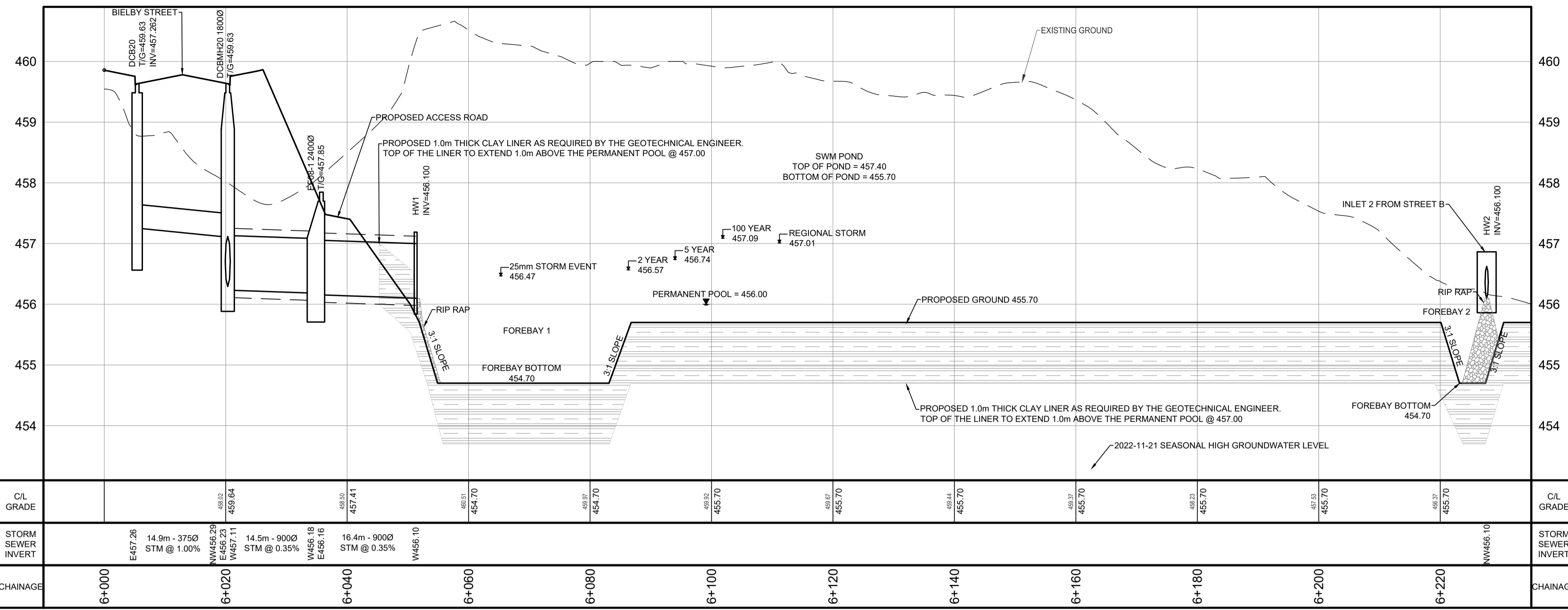


NO.	DATE	REVISION DESCRIPTION	CHKD.
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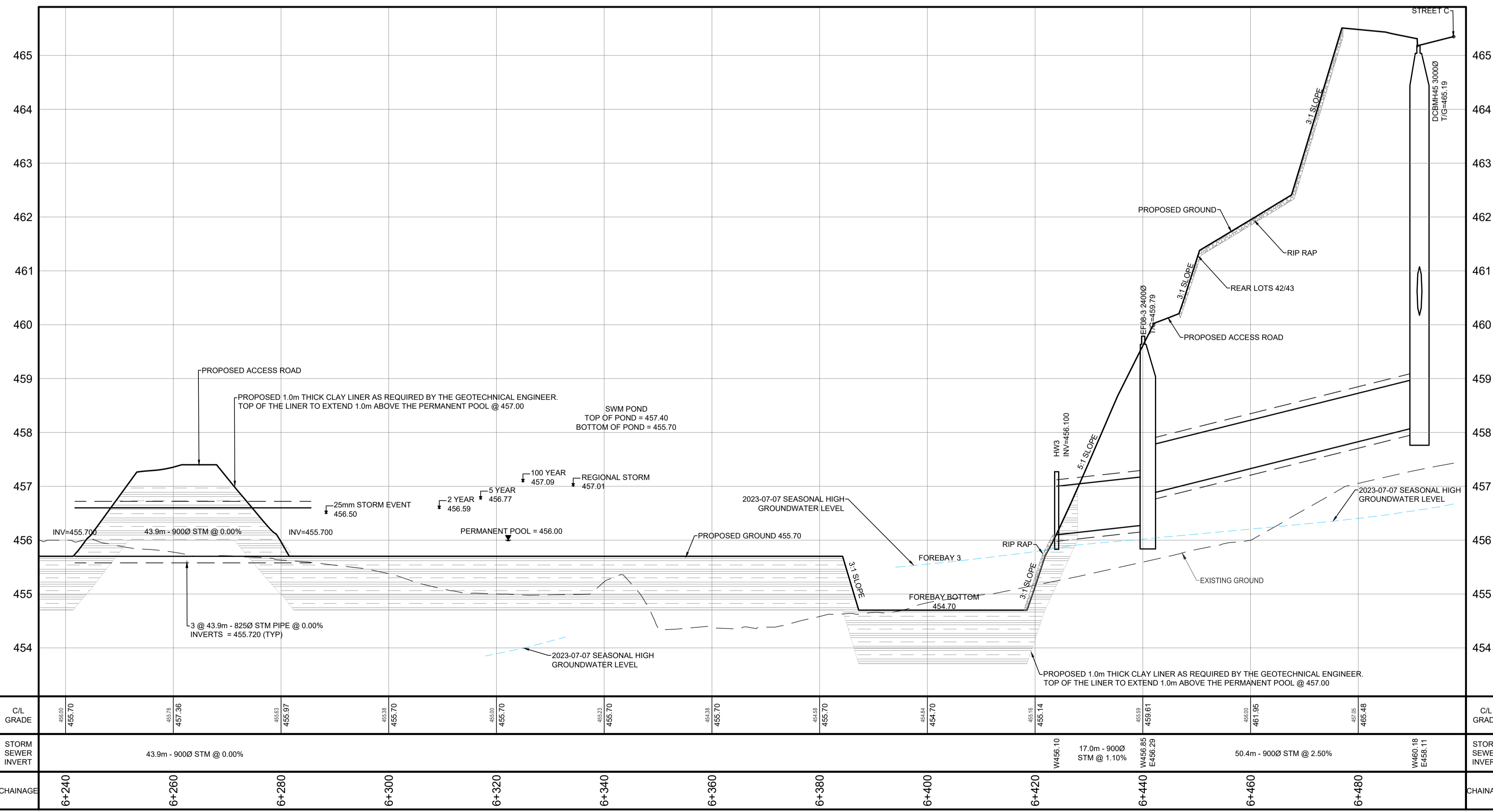


RIVER'S EDGE SUBDIVISION			
THOMASFIELD HOMES LTD.			
TOWN OF GRAND VALLEY			
STORMWATER MANAGEMENT POND GRADING			
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DESIGNED BY: RPM	DATE: 2023-09-12	SCALE: 1:500	

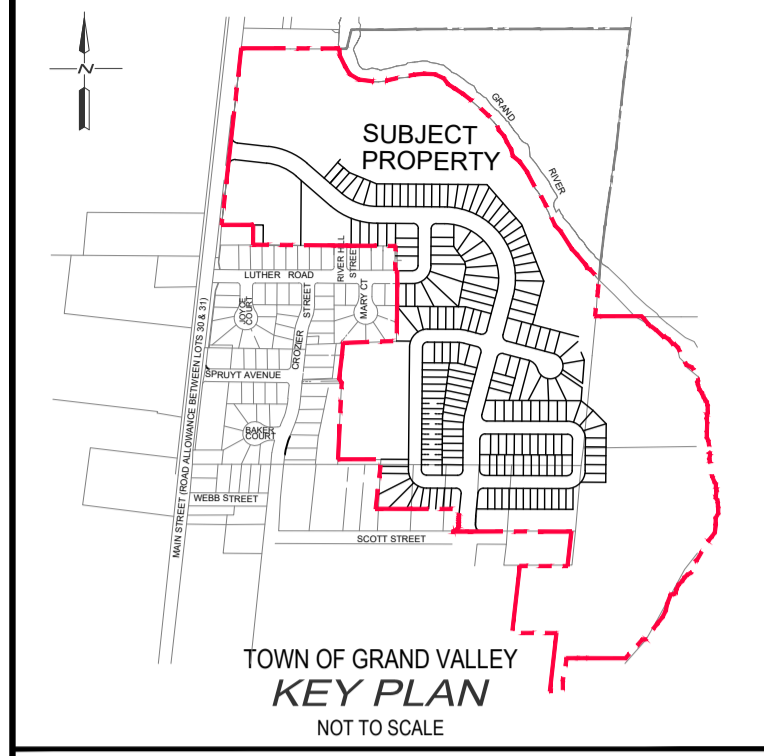
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STORMWATER MANAGEMENT POND - FROM BIELBY STREET TO STA 6+230



STORMWATER MANAGEMENT POND - FROM STA 6+230 TO STREET C



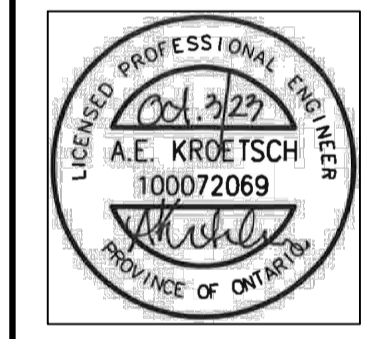
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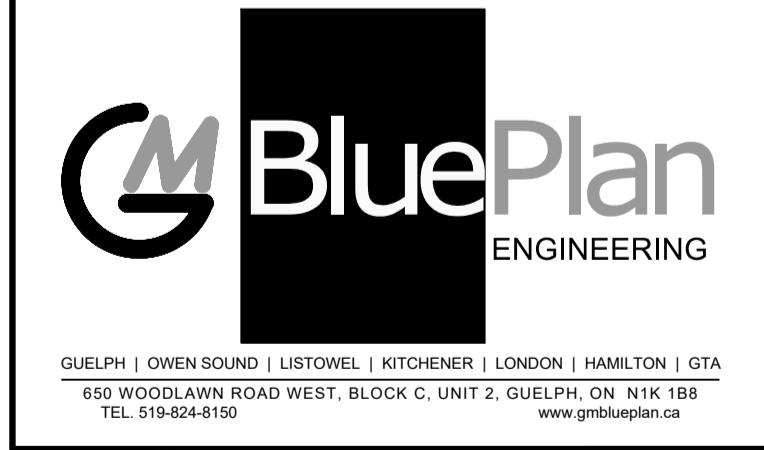
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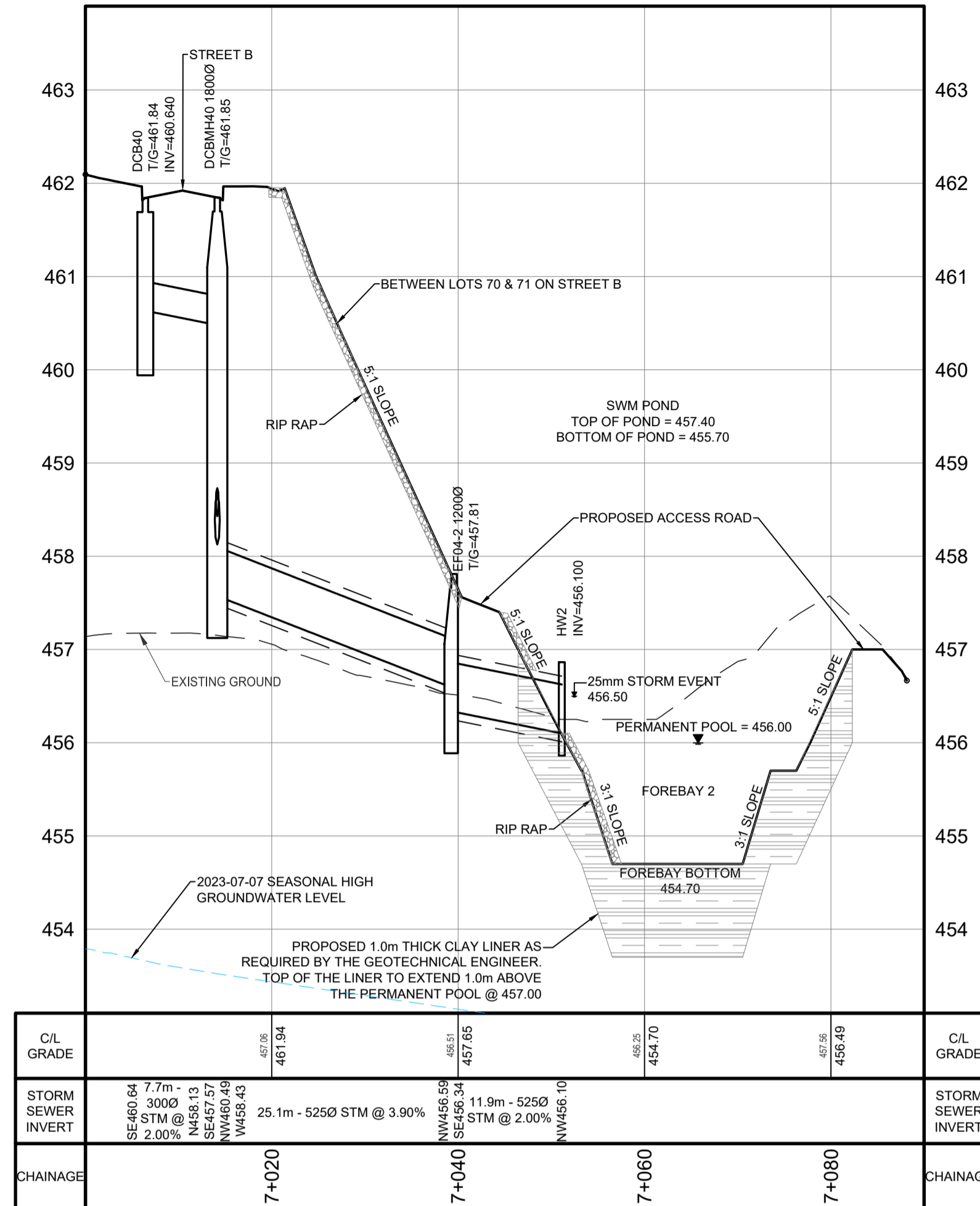
NO.	DATE	REVISION DESCRIPTION	CHKD.
2	2023-10-03	ISSUED FOR APPROVAL	A.E.K.
1	2023-09-12	ISSUED FOR REVIEW	A.E.K.



RIVER'S EDGE SUBDIVISION			
THOMASFIELD HOMES LTD.			
TOWN OF GRAND VALLEY			
STORMWATER MANAGEMENT POND SECTIONS			
DRAWN BY : RPM	APPROVED BY : A.E.K.	PROJECT NO. : 104104	DRAWING NO. : SWM2
DESIGNED BY : RPM	DATE : 2023-09-12	SCALE : 1:500	

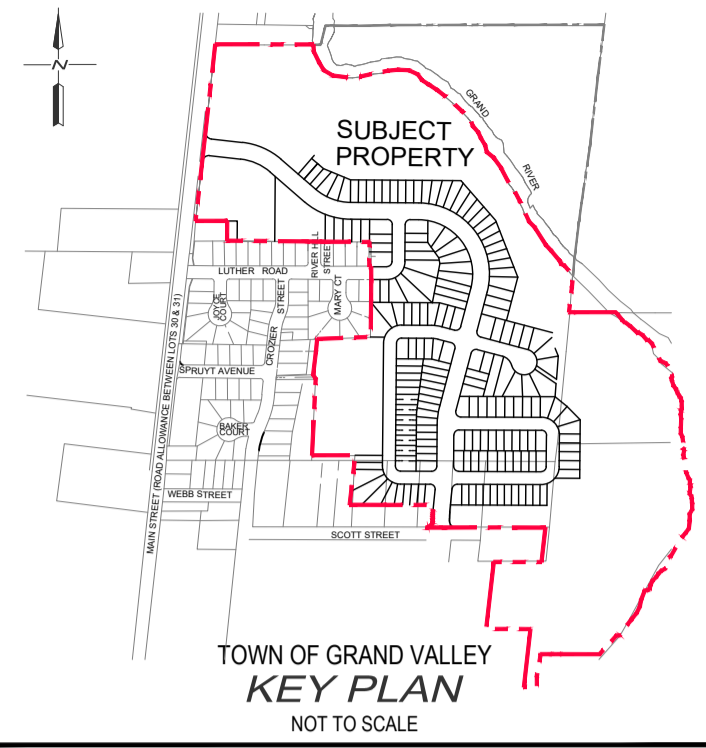
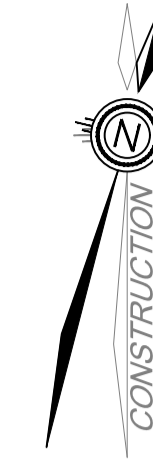
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SWM INLET 2



STORMWATER MANAGEMENT POND INLET 2

H: 1:500
V: 1:50



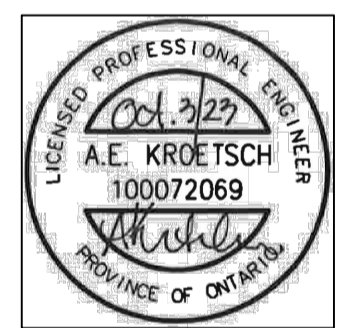
NOTES:

1. DRAFT PLAN LAYOUT FROM GSP GROUP DATED SEPTEMBER 5, 2023.
2. LEGAL INFORMATION, IN UTM GRID COORDINATES, FROM VAN HARTEN SURVEYING INC., SEPTEMBER 29, 2022.
3. TREE INVENTORY FROM NRSI, SEPTEMBER 27, 2023.
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6. TOPOGRAPHICAL CONTOUR INFORMATION OF COUNTY RD 25 AND PROPOSED SWM OUTLET LANDS SURVEYED BY GM BLUEPLAN ENGINEERING, FEBRUARY 8, 2023.
7. BOREHOLES FROM PETO MACCALLUM, MARCH 3, 2012. MONITORING WELL DATA FROM JLP, APRIL 21 2022.
8. DIGITAL FILES NOT TO BE USED FOR LAYOUT

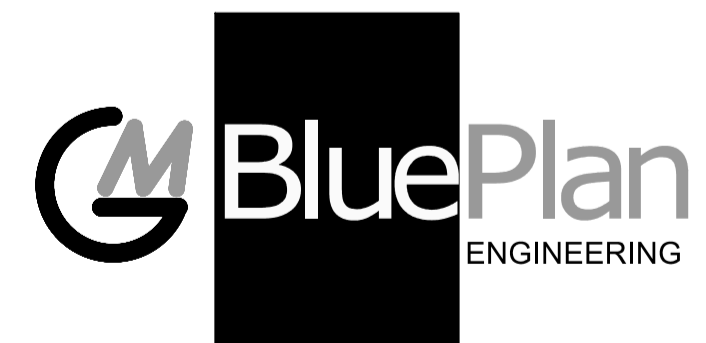
BENCH MARKS :

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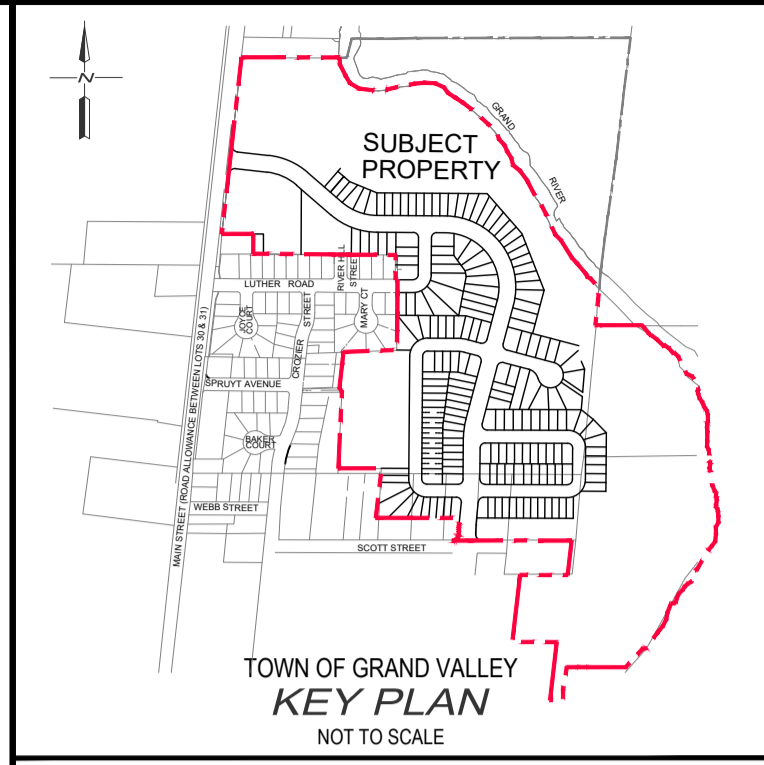
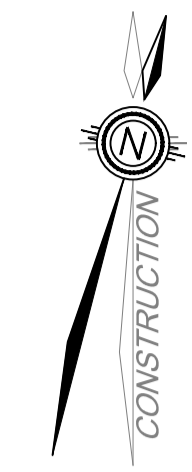
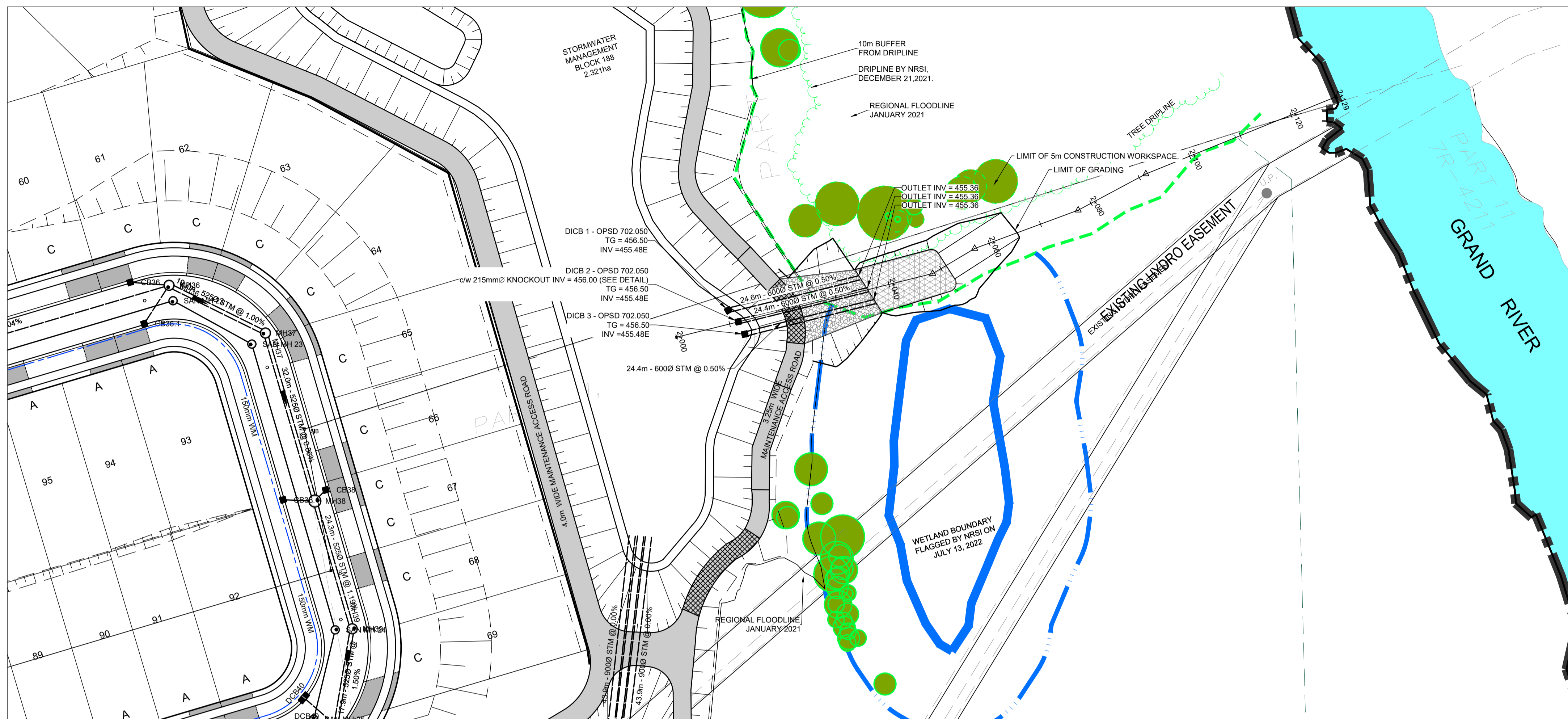


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1	2023-09-12	ISSUED FOR REVIEW	A.E.K.
NO.	DATE	REVISION DESCRIPTION	CHKD



GUELPH | OWEN SOUND | LISTOWEL | KITCHENER | LONDON | HAMILTON | GTA
650 WOODLAWN ROAD WEST, BLOCK C, UNIT 2, GUELPH, ON N1K 1B8
TEL: 519-824-8150 www.blueplan.ca

RIVER'S EDGE SUBDIVISION
THOMASFIELD HOMES LTD.
TOWN OF GRAND VALLEY
STORMWATER MANAGEMENT POND SECTIONS
DRAWN BY : RPM APPROVED BY : A.E.K. PROJECT NO. : 104104 DRAWING NO. : SWM3
DESIGNED BY : RPM DATE : 2023-09-12 SCALE : 1:500 1:50



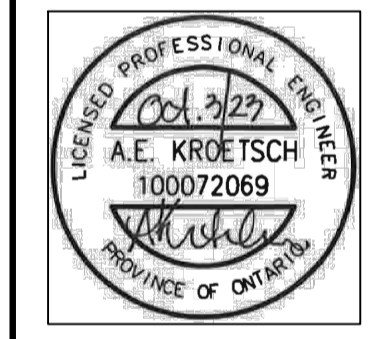
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BENCH MARKS :

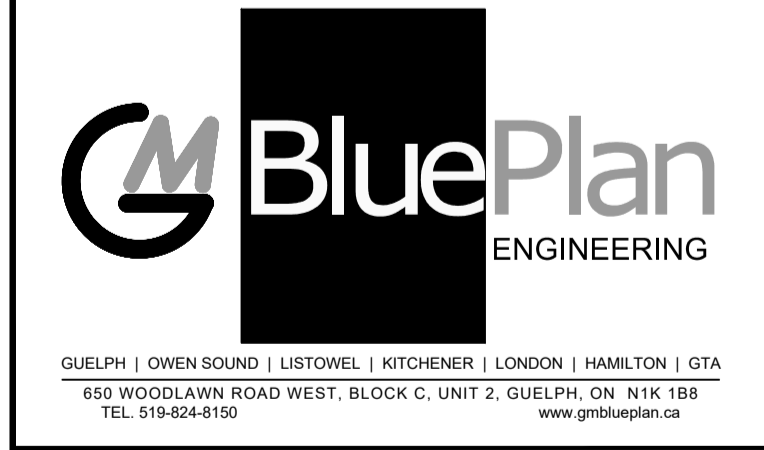
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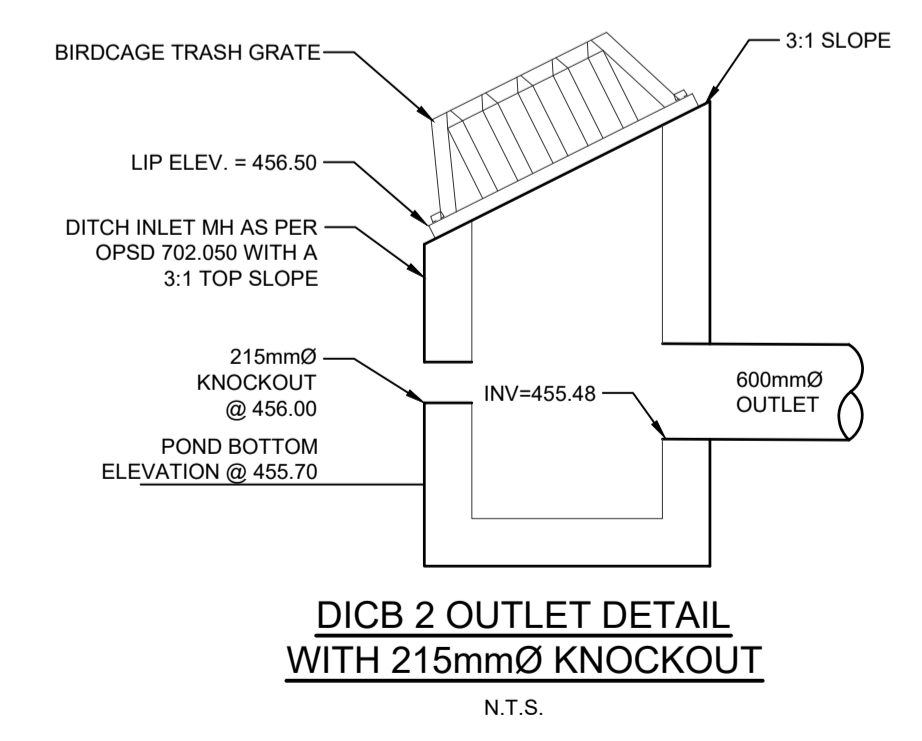
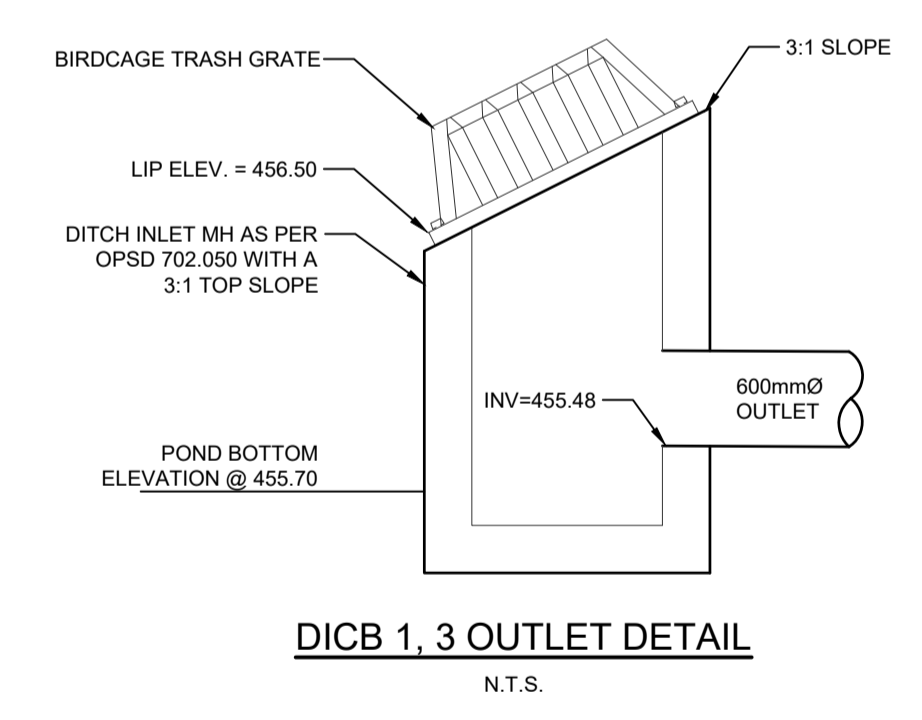
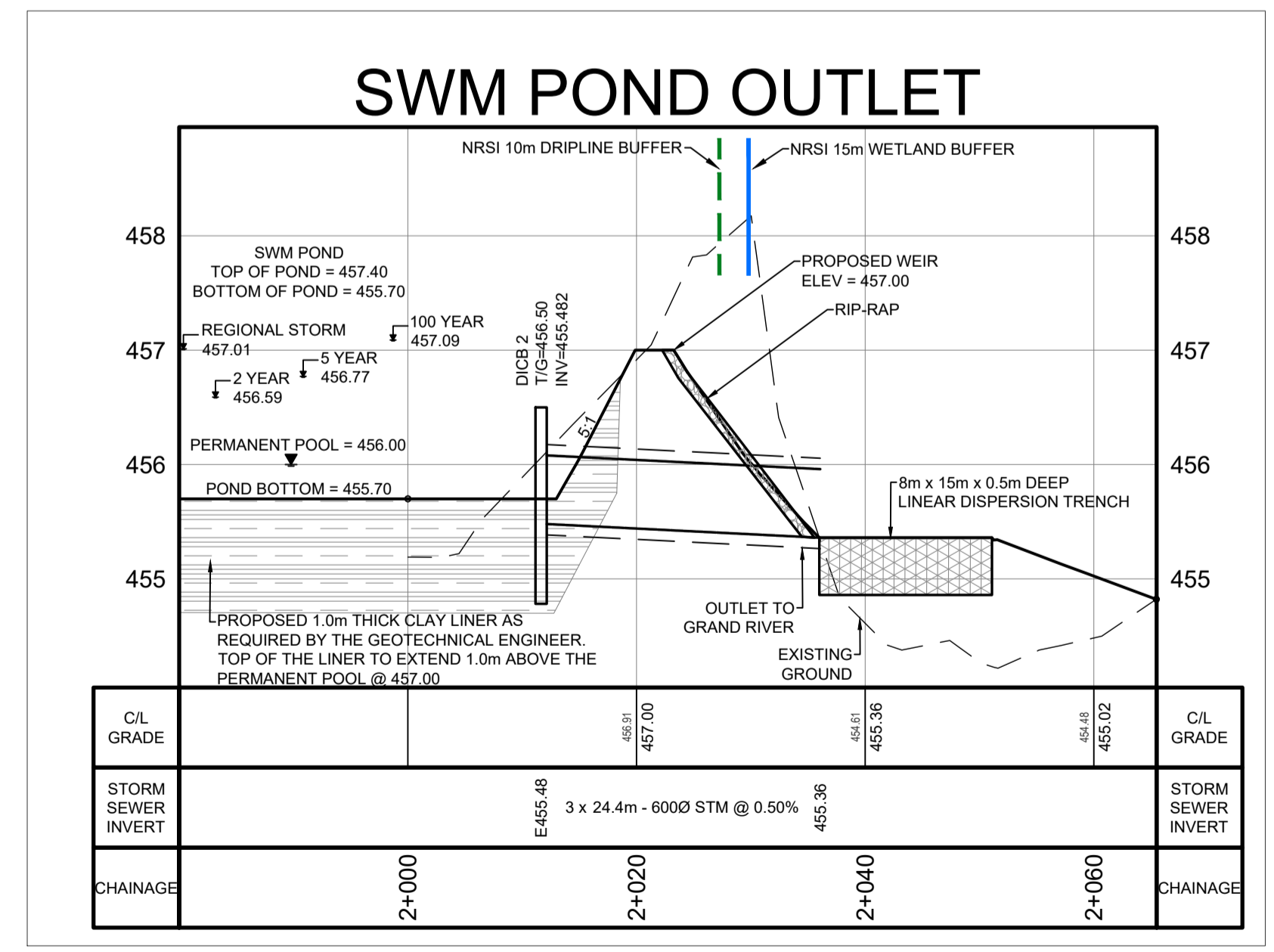
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RIVER'S EDGE SUBDIVISION			
THOMASFIELD HOMES LTD.			
TOWN OF GRAND VALLEY			
STORMWATER MANAGEMENT POND OUTLET TO GRAND RIVER			
DRAWN BY :	APPROVED BY :	PROJECT NO. :	DRAWING NO. :
RPM	AEK	104104	SWM4
DESIGNED BY :	DATE :	SCALE :	
RPM	2023-09-12	1:500	



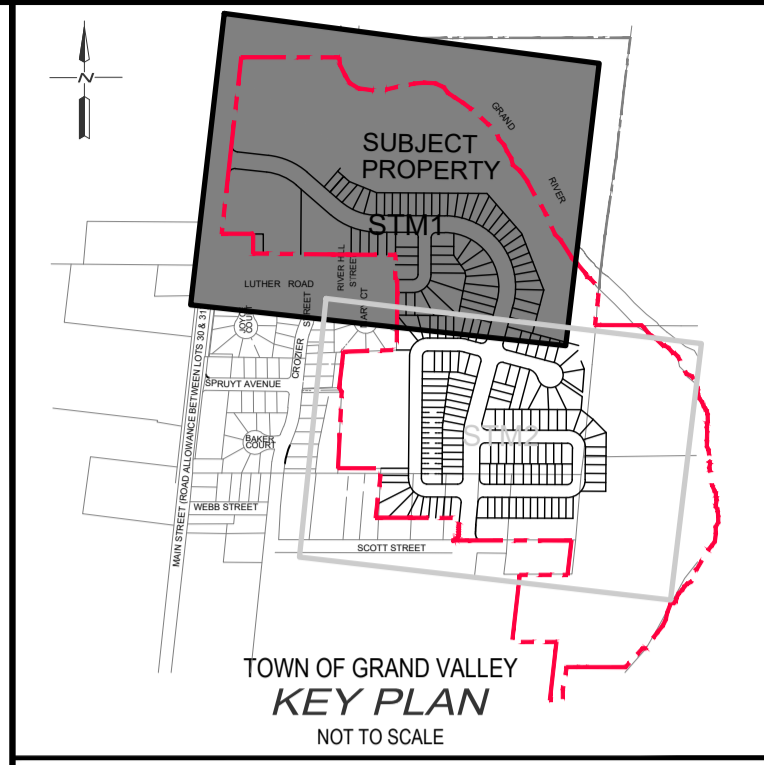
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Additional Lands Owned By Applicant

LEGEND

- 201 1.25 0.60 CATCHMENT NUMBER
- 1.25 0.60 RUN-OFF COEFFICIENT
- CATCHMENT AREA IN HECTARES
- DRAINAGE AREA BOUNDARY
- STORM SEWER



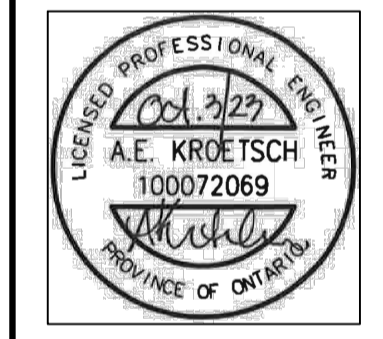
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BluePlan
ENGINEERING

QUELPH | OWEN SOUND | LISTOWEL | KITCHENER | LONDON | HAMILTON | GTA
650 WOODLAWN ROAD WEST, BLOCK C, UNIT 2, QUELPH, ON N1X 1B8
TEL: 519-524-8150 www.blueplan.ca

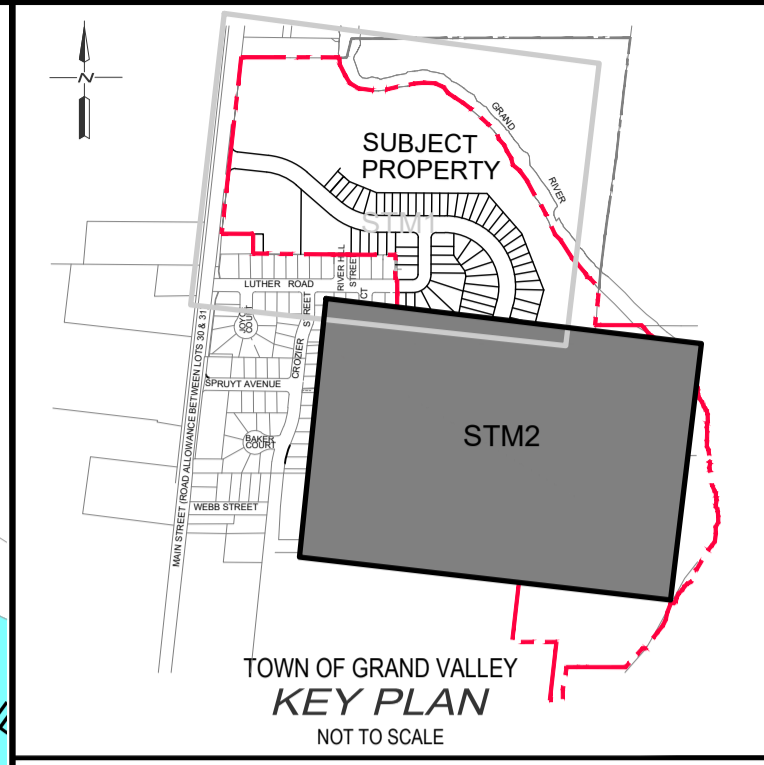
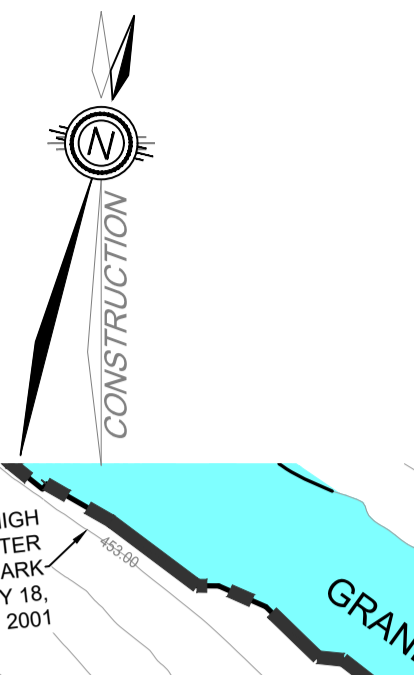
RIVER'S EDGE SUBDIVISION			
THOMASFIELD HOMES LTD.			
TOWN OF GRAND VALLEY			
STORM DRAINAGE AREA 1			
DRAWN BY : RPM	APPROVED BY : AEK	PROJECT NO. : 104104	DRAWING NO. : STM1
DESIGNED BY : RPM	DATE : 2023-09-12	SCALE : 1:1000	

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LEGEND

- 201 1.25 0.60 — CATCHMENT NUMBER
- 1.25 0.60 — RUN-OFF COEFFICIENT
- CATCHMENT AREA IN HECTARES
- - - DRAINAGE AREA BOUNDARY
- STORM SEWER



- NOTES:
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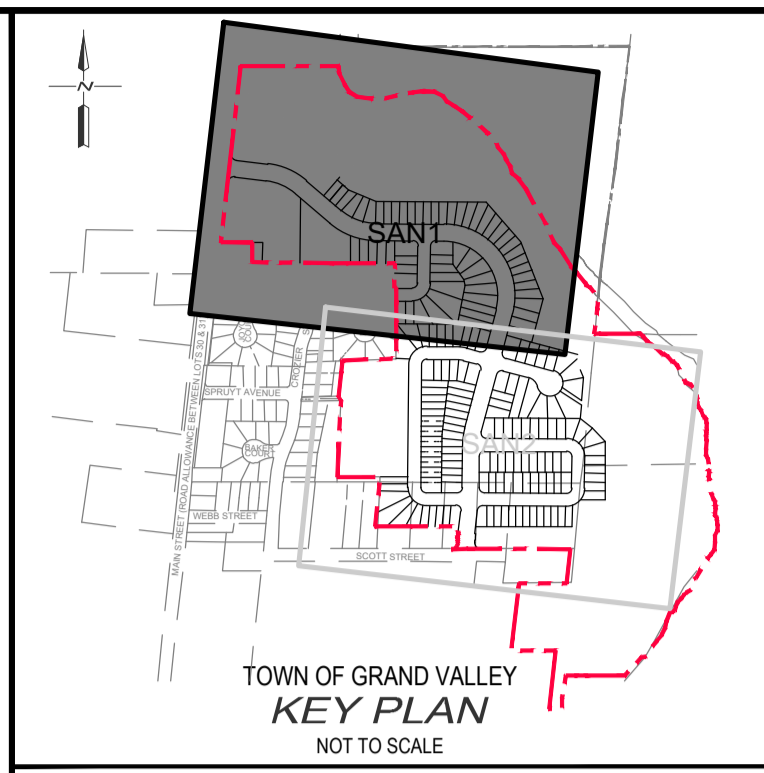
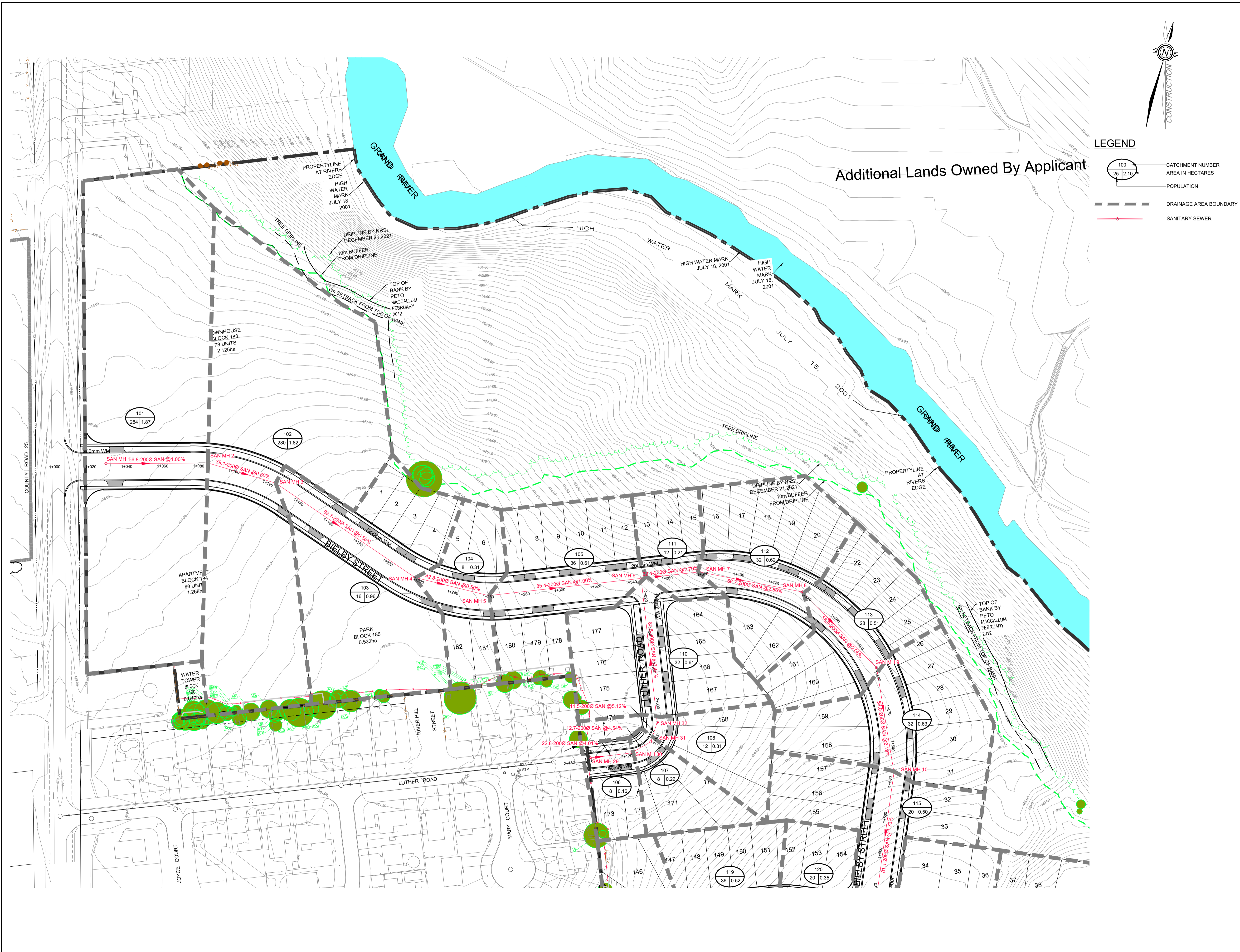
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NO.	DATE	REVISION DESCRIPTION	CHKD

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ENGINEERING

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RIVER'S EDGE SUBDIVISION			
THOMASFIELD HOMES LTD.			
TOWN OF GRAND VALLEY			
STORM DRAINAGE AREA 2			
DRAWN BY :	APPROVED BY :	PROJECT NO. :	DRAWING NO. :
RPM	AEK	104104	
DESIGNED BY :	DATE :	SCALE :	STM2
RPM	2023-09-12	1:1000	

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LAST SAVED BY: PmcCarthy, 10/04/2023, 10:08:31 AM, PLOTTED BY: Paul McCartney - GM BluePlan, 10/04/2023, 10:18:21 AM



- LEGEND
- 100 CATCHMENT NUMBER
 - 25 2.10 AREA IN HECTARES
 - POPULATION
 - DRAINAGE AREA BOUNDARY
 - SANITARY SEWER
- NOTES:
1. DRAFT PLAN LAYOUT FROM GSP GROUP DATED SEPTEMBER 5, 2023.
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PROFESSIONAL ENGINEER

Oct 2023

A.E. KROETSCH

100072069

Province of Ontario

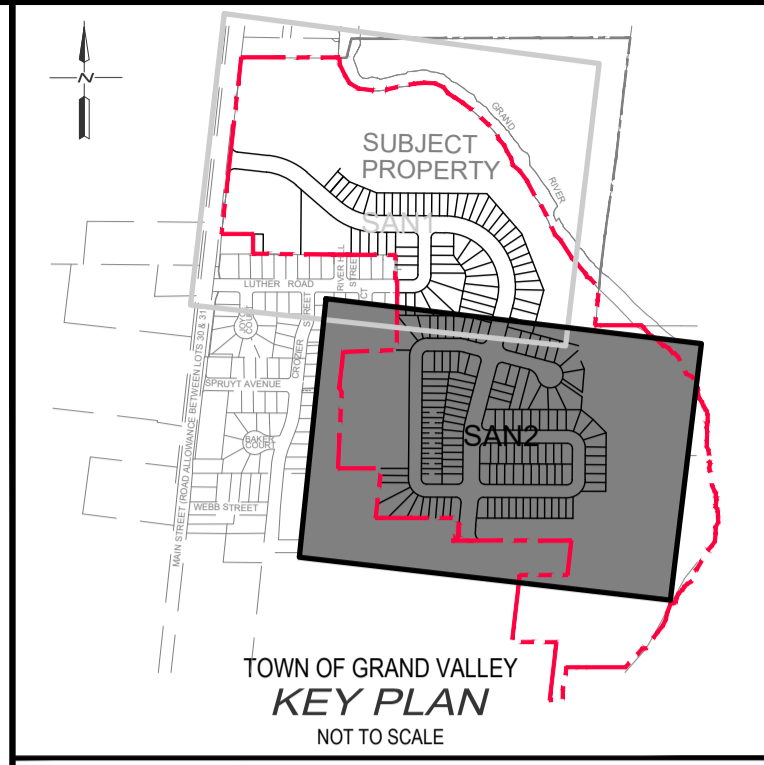
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BluePlan ENGINEERING

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650 WOODLAWN ROAD WEST, BLOCK C, UNIT 2, QUELPH, ON N1K 1B8
TEL: 919-524-8199 | WWW.BLUEPLAN.CA

RIVER'S EDGE SUBDIVISION			
THOMASFIELD HOMES LTD.			
TOWN OF GRAND VALLEY			
SANITARY DRAINAGE AREA 1			
DRAWN BY:	APPROVED BY:	PROJECT NO.:	DRAWING NO.:
RPM	AEK	104104	SAN1
DESIGNED BY:	DATE:	SCALE:	
RPM	2023-09-12	1:1000	

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LEGEND

100	CATCHMENT NUMBER
25	AREA IN HECTARES
2.10	POPULATION
(Dashed line)	DRAINAGE AREA BOUNDARY
(Red line)	SANITARY SEWER

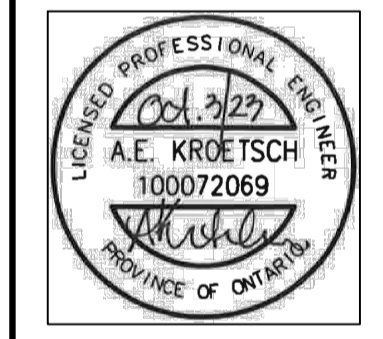
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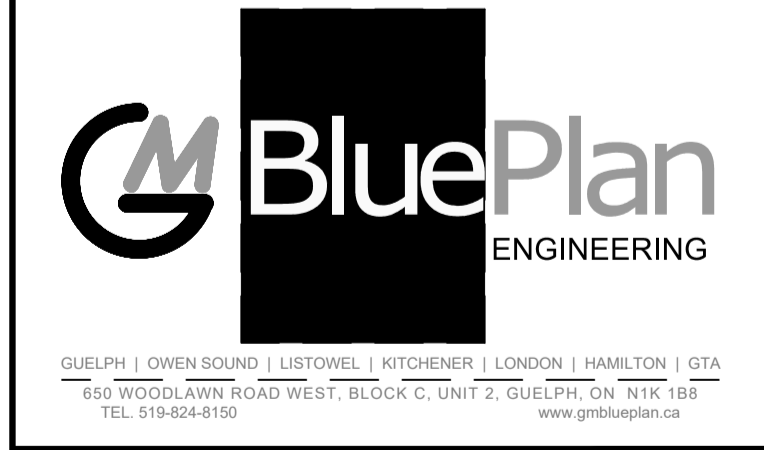
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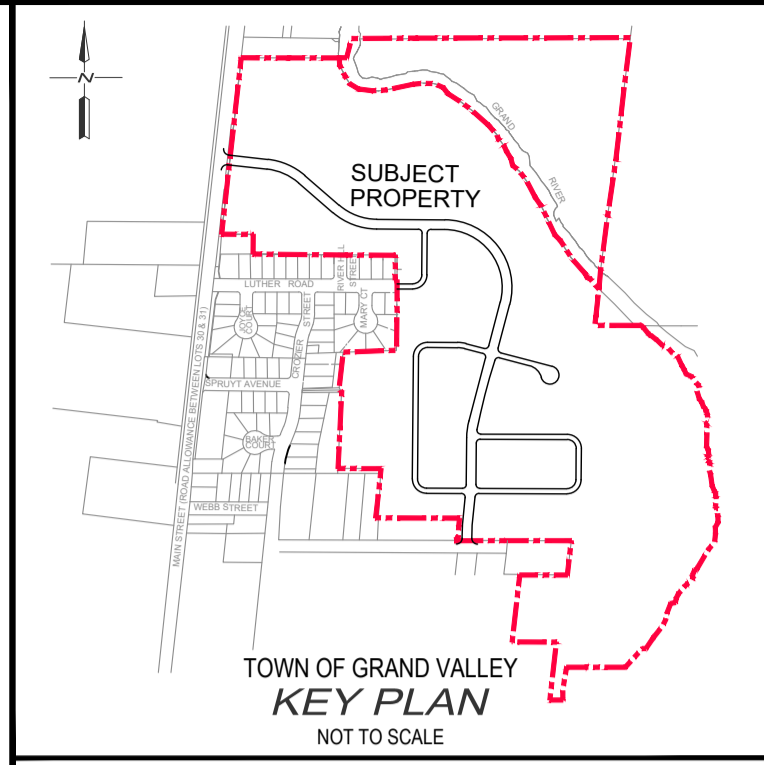
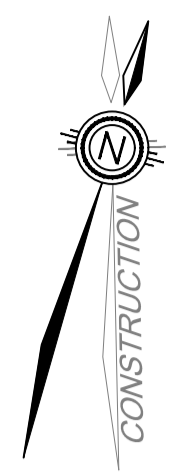
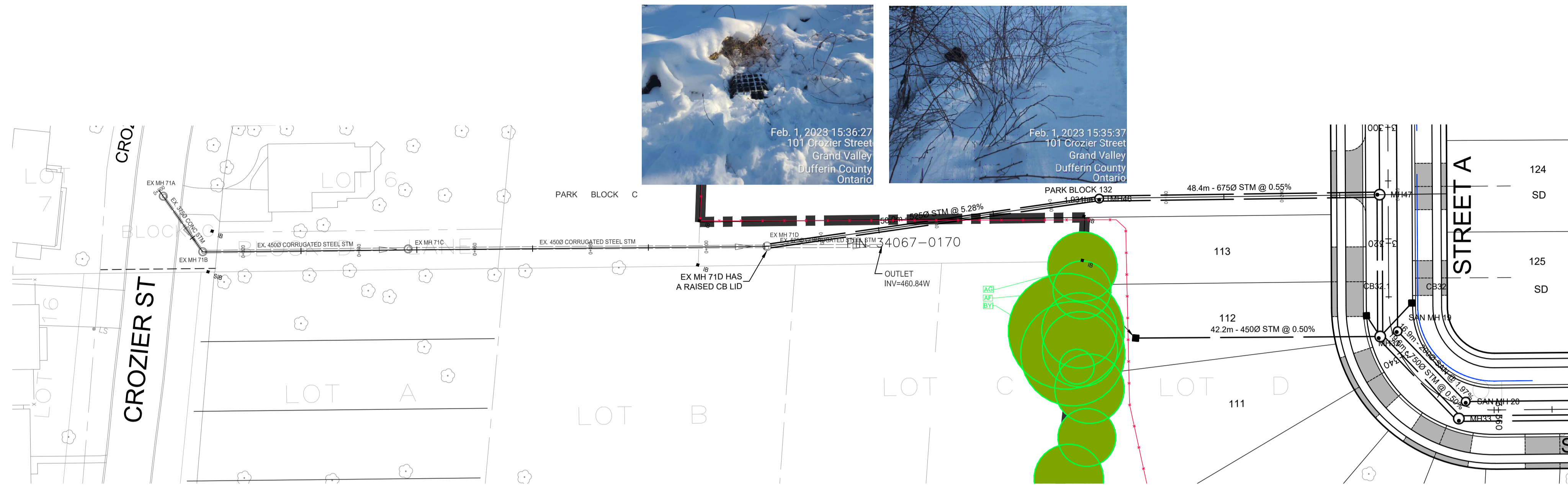


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RIVER'S EDGE SUBDIVISION			
THOMASFIELD HOMES LTD.			
TOWN OF GRAND VALLEY			
SANITARY DRAINAGE AREA 2			
DRAWN BY :	APPROVED BY :	PROJECT NO. :	DRAWING NO. :
RPM	AEK	104104	SAN2
DESIGNED BY :	DATE :	SCALE :	
RPM	2023-09-12	1:1000	

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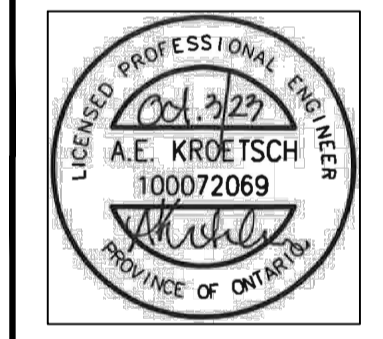
- NOTES:
- DRAFT PLAN LAYOUT FROM GSP GROUP DATED SEPTEMBER 5, 2023.
 - LEGAL INFORMATION, IN UTM GRID COORDINATES, FROM VAN HARTEN SURVEYING INC., SEPTEMBER 29, 2022.
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 - TOPOGRAPHICAL CONTOUR INFORMATION OF COUNTY RD 25 AND PROPOSED SWM OUTLET LANDS SURVEYED BY GM BLUEPLAN ENGINEERING, FEBRUARY 8, 2023.
 - BOREHOLES FROM PETO MACCALLUM, MARCH 3, 2012. MONITORING WELL DATA FROM JLP, APRIL 21 2022.
 - DIGITAL FILES NOT TO BE USED FOR LAYOUT

BENCH MARKS :

1ST ORDER BM - ELEV = 479.355
 TWO STOREY BRICK AND ALUMINUM SIDING HOUSE ON EAST SIDE OF HWY 25 AND NORTH SIDE OF LUTHER RD, 0.9KM NORTH OF THE ROYAL BANK AT GRAND VALLEY, 19.0M NORTH OF CENTERLINE OF LUTHER RD, 30.3M EAST OF CENTERLINE OF HWY 25. TABLET IS SET HORIZONTALLY IN WEST FACE OF CONCRETE FOUNDATION, 3.08m SOUTH OF N.W. CORNER, 18cm ABOVE GROUND LEVEL.

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2	2023-10-03	ISSUED FOR APPROVAL	A.E.K.
1	2023-09-12	ISSUED FOR REVIEW	A.E.K.
NO.	DATE	REVISION DESCRIPTION	CHKD.

RIVER'S EDGE SUBDIVISION

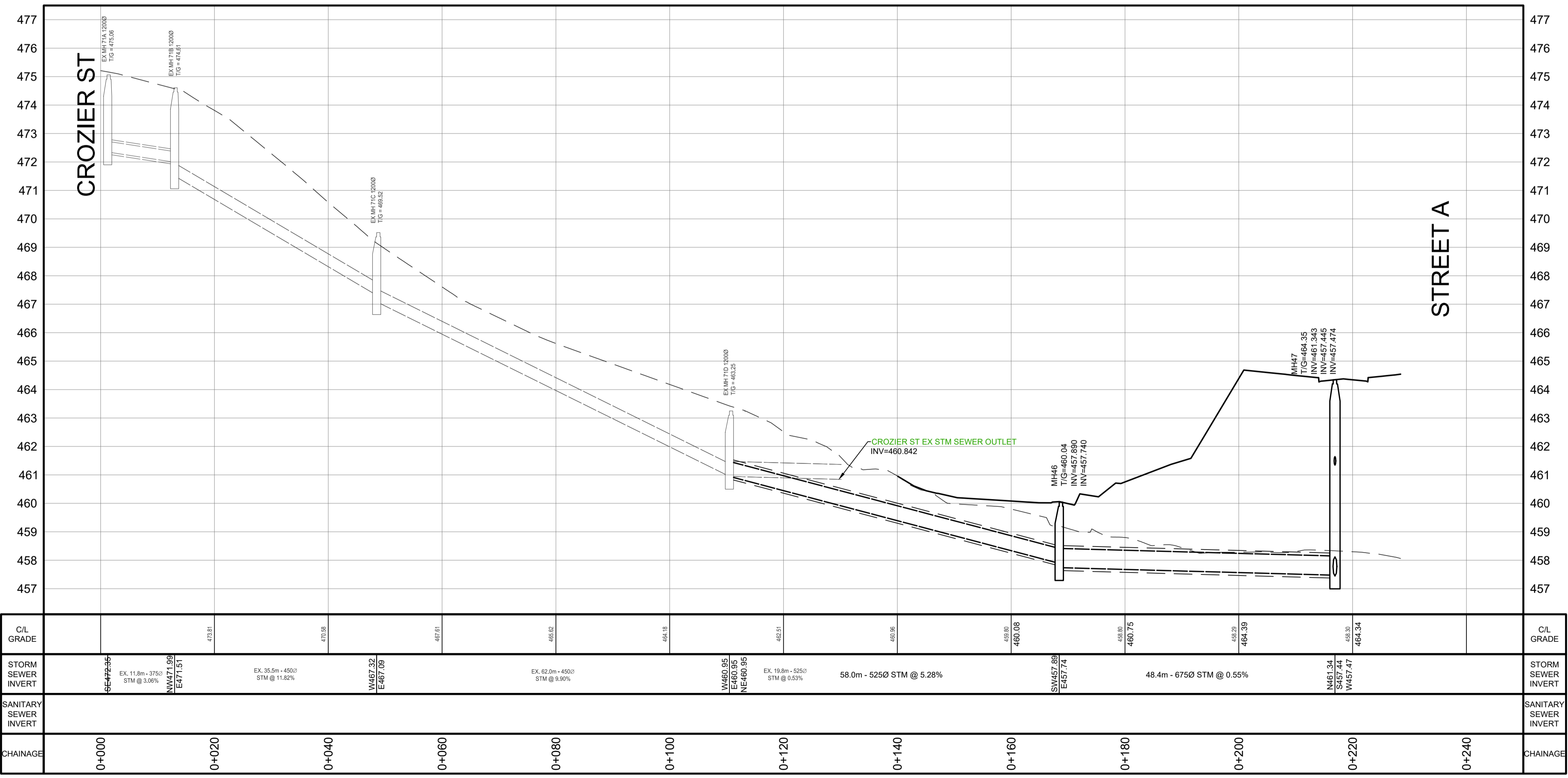
THOMASFIELD HOMES LTD.

TOWN OF GRAND VALLEY

EX CROZIER STREET STORM OUTLET

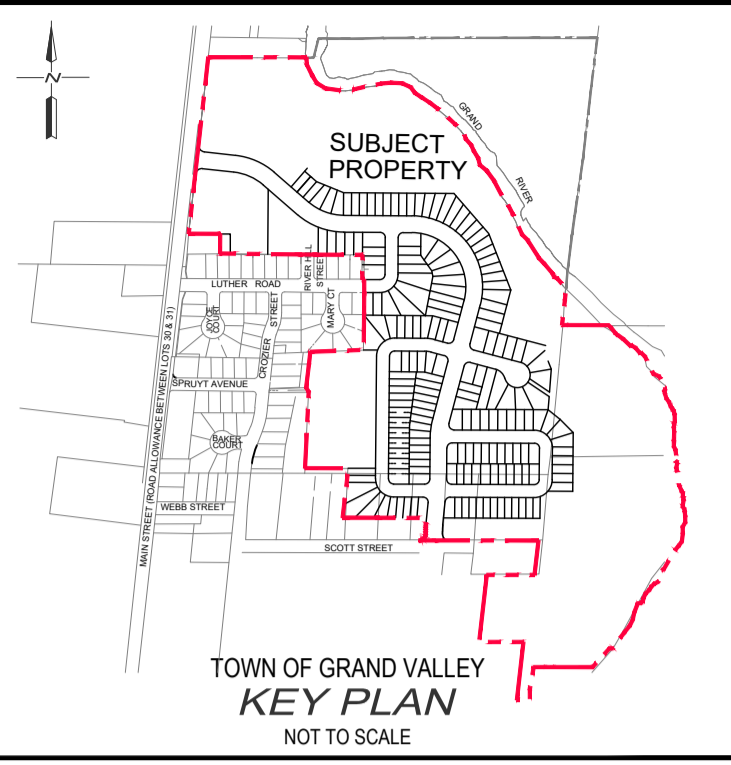
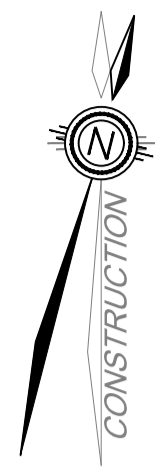
DRAWN BY :	APPROVED BY :	PROJECT NO. :	DRAWING NO. :
RPM	AEK	104104	PP11
DESIGNED BY :	DATE :	SCALE :	
RPM	2023-09-12	HORIZ = 1:500 VERT = 1:100	

CROZIER TO STREET A



C/L GRADE	477.00	476.50	475.50	474.50	473.50	472.50	471.50	470.50	469.50	468.50	467.50	466.50	465.50	464.50	463.50	462.50	461.50	460.50	459.50	458.50	457.50	C/L GRADE	
STORM SEWER INVERT	464.245	464.151	464.057	463.963	463.869	463.775	463.681	463.587	463.493	463.399	463.305	463.211	463.117	463.023	462.929	462.835	462.741	462.647	462.553	462.459	462.365	462.271	STORM SEWER INVERT
SANITARY SEWER INVERT	464.245	464.151	464.057	463.963	463.869	463.775	463.681	463.587	463.493	463.399	463.305	463.211	463.117	463.023	462.929	462.835	462.741	462.647	462.553	462.459	462.365	462.271	SANITARY SEWER INVERT
CHAINAGE	0+000	0+020	0+040	0+060	0+080	0+100	0+120	0+140	0+160	0+180	0+200	0+220	0+240	CHAINAGE									

NOT TO SCALE. THIS DRAWING IS A PRELIMINARY DESIGN. IT IS NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE GROUND BEFORE STARTING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDIATION OF ANY DAMAGE TO THE GROUND OR ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL WASTE MATERIALS IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDIATION OF ANY DAMAGE TO THE GROUND OR ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL WASTE MATERIALS IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.



Additional Lands Owned By Applicant

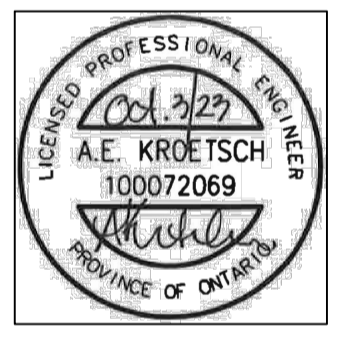
- NOTES:
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 5. TOPOGRAPHICAL CONTOUR INFORMATION, NORTH AND SOUTH OF SUBJECT PROPERTY, FROM GRCA GIS DATA.
 6. TOPOGRAPHICAL CONTOUR INFORMATION OF COUNTY RD 25 AND PROPOSED SWM OUTLET LANDS SURVEYED BY GM BLUEPLAN ENGINEERING, FEBRUARY 8, 2023.
 7. BOREHOLES FROM PETO MACCALLUM, MARCH 3, 2012. MONITORING WELL DATA FROM JLP, APRIL 21 2022.
 8. DIGITAL FILES NOT TO BE USED FOR LAYOUT

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2	2023-10-03	ISSUED FOR APPROVAL	A.E.K.
1	2023-09-12	ISSUED FOR REVIEW	A.E.K.

BluePlan
ENGINEERING

QUELPH | OWEN SOUND | LISTOWEL | KITCHENER | LONDON | HAMILTON | GTA
650 WOODLAWN ROAD WEST, BLOCK C, UNIT 2, QUELPH, ON N1X 1B8
TEL: 919-224-1510 www.blueplan.ca

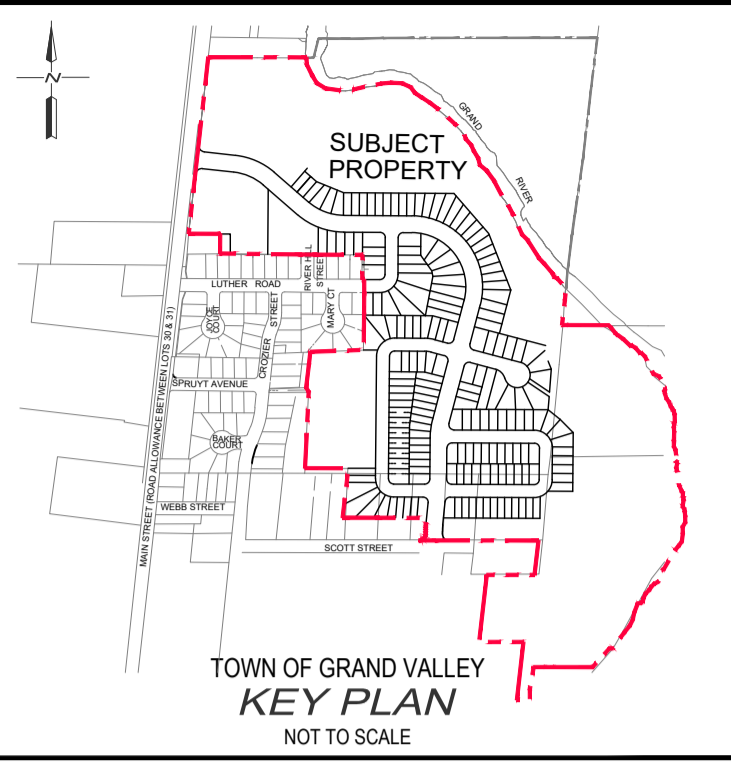
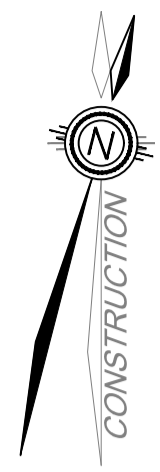
RIVER'S EDGE SUBDIVISION			
THOMASFIELD HOMES LTD.			
TOWN OF GRAND VALLEY			
PRELIMINARY PARKING PLAN 1			
DRAWN BY :	APPROVED BY :	PROJECT NO. :	DRAWING NO. :
RPM	AEK	104104	P1
DESIGNED BY :	DATE :	SCALE :	
RPM	2023-09-12	1:1000	

LEGEND

- PROPERTY LINE
- EX. STORM SEWER
- EX. DITCH
- EX. BELL LINE
- EX. GAS LINE
- EX. FENCE LINE
- EX. CONTOURS
- EX. CATCH BASIN
- EX. FIRE HYDRANT
- EX. LIGHT STANDARD
- HEDGE
- CONIFEROUS AND DECIDUOUS TREES
- PR. STORM MH / CB
- PR. SANITARY MH
- PR. PARKING SPACE
134 SPACES @ 6.5m x 2.5m (TYP)



FILE: W:\Guelph\1042004\1042004.dwg, In Progress\Drawings\Sheet\1042004.dwg, LAYOUT PARKING 1
LAST SAVED BY: PmcCarthy, 10/4/2023, 10:12:45 AM, PLOTTED BY: Paul McCarthy - GM BluePlan, 10/4/2023, 10:19:09 AM



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LEGEND

	PROPERTY LINE
	EX. STORM SEWER
	EX. DITCH
	EX. BELL LINE
	EX. GAS LINE
	EX. FENCE LINE
	EX. CONTOURS
	EX. CATCH BASIN
	EX. FIRE HYDRANT
	EX. LIGHT STANDARD
	HEDGE
	CONIFEROUS AND DECIDUOUS TREES
	PR. STORM MH / CB
	PR. SANITARY MH
	PR. PARKING SPACE 134 SPACES @ 6.5m x 2.5m (TYP)

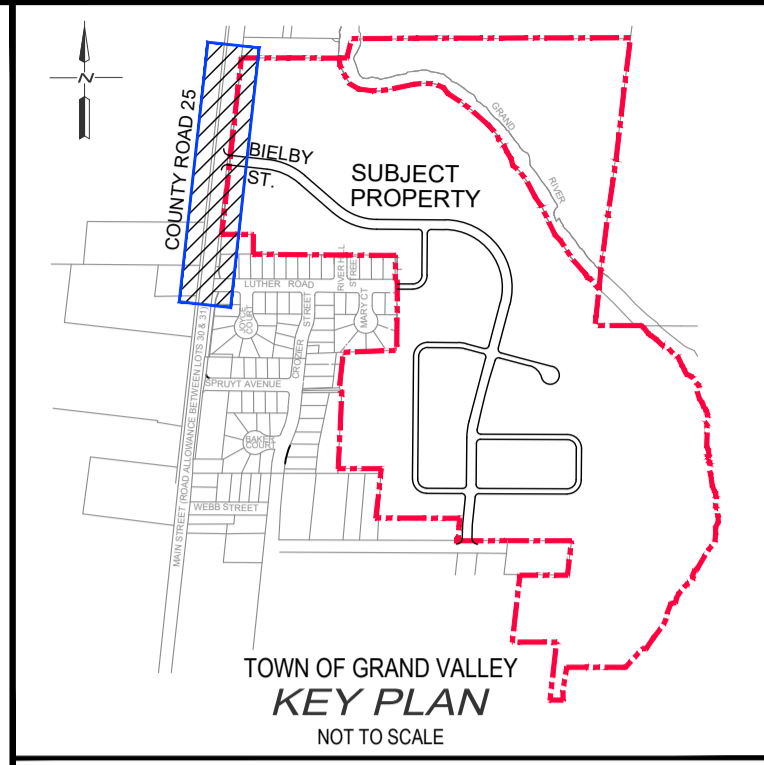
2	2023-10-03	ISSUED FOR APPROVAL	A.E.K.
1	2023-09-12	ISSUED FOR REVIEW	A.E.K.
NO.	DATE	REVISION DESCRIPTION	CHKD.

BluePlan
ENGINEERING

QUELPH | OWEN SOUND | LISTOWEL | KITCHENER | HAMILTON | GTA
650 WOODLAWN ROAD WEST, BLOCK C, UNIT 2, QUELPH, ON N1X 1B8
TEL: 519-524-9150 www.blueplan.ca

RIVER'S EDGE SUBDIVISION			
THOMASFIELD HOMES LTD.			
TOWN OF GRAND VALLEY			
PRELIMINARY PARKING PLAN 2			
DRAWN BY :	APPROVED BY :	PROJECT NO. :	DRAWING NO. :
RPM	AEK	104104	P2
DESIGNED BY :	DATE :	SCALE :	
RPM	2023-09-12	1:1000	

FILE: W:\Guelph\104104\104104_Parking\104104_Parking.dwg, LAYOUT: PARKING2
 LAST SAVED BY: PmcCarthy, 10/4/2023, 10:24:25 AM, PLOTTED BY: Paul McCarthy - GM BluePlan, 10/4/2023, 10:20:03 AM



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BENCH MARKS :

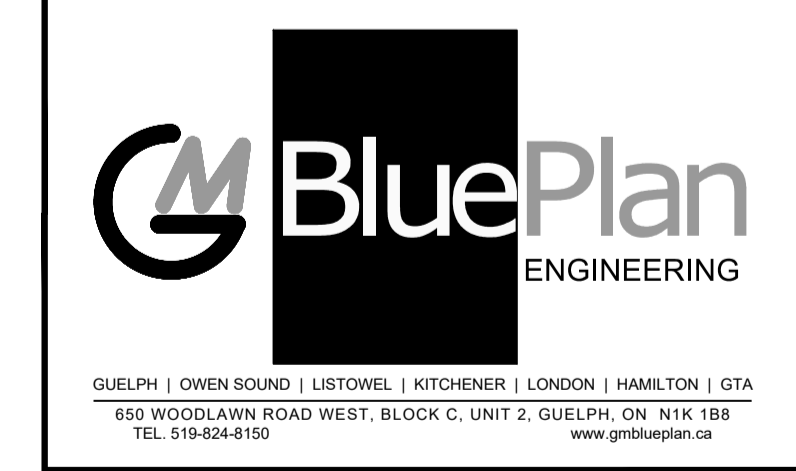
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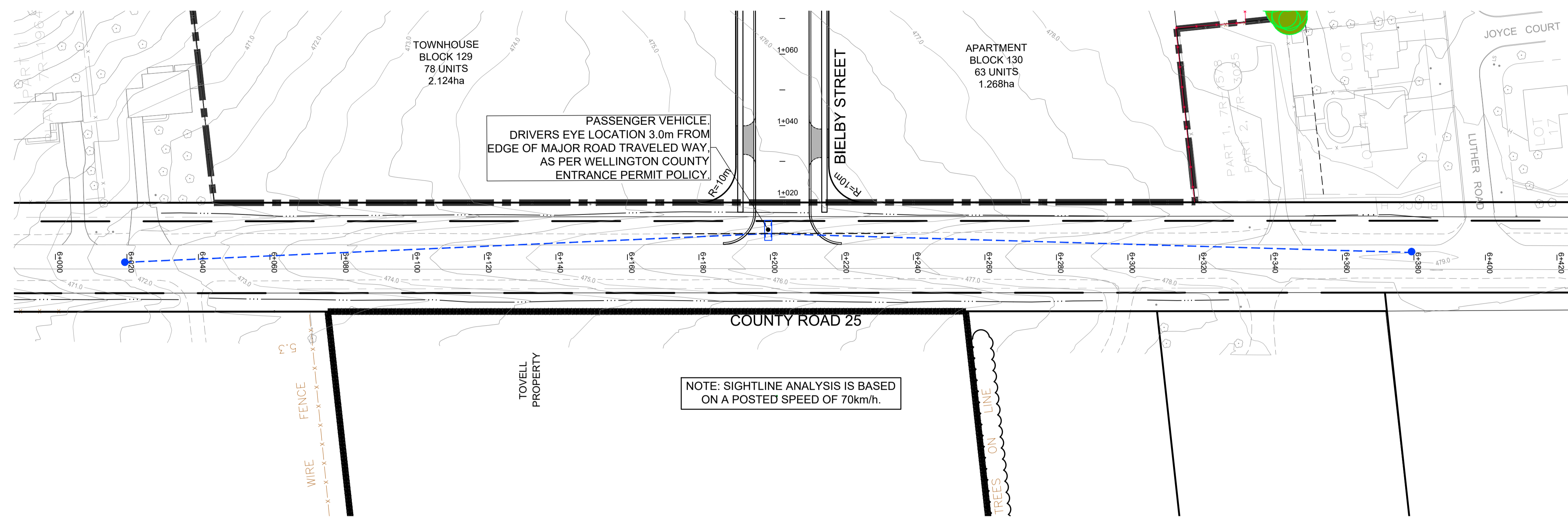
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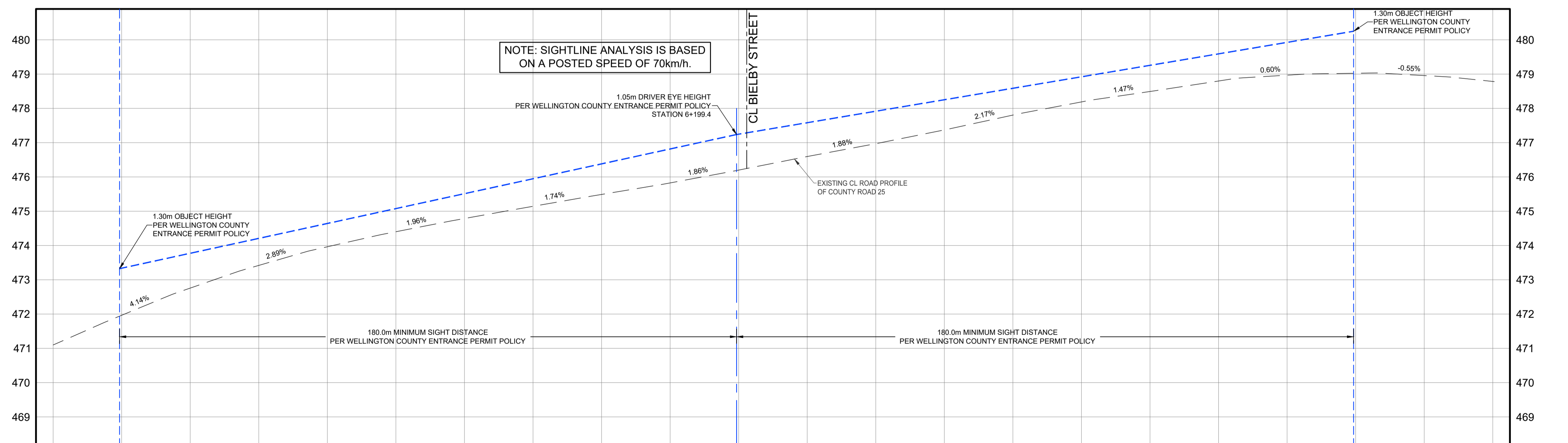
2	2023-10-03	ISSUED FOR APPROVAL	A.E.K.
1	2023-09-12	ISSUED FOR REVIEW	A.E.K.
NO.	DATE	REVISION DESCRIPTION	CHKD.



RIVER'S EDGE SUBDIVISION			
THOMASFIELD HOMES LTD.			
TOWN OF GRAND VALLEY			
COUNTY RD 25 SIGHTLINE ANALYSIS PLAN			
DRAWN BY :	APPROVED BY :	PROJECT NO. :	DRAWING NO. :
RPM	AEK	104104	SL1
DESIGNED BY :	DATE :	SCALE :	
RPM	2023-09-02	HORIZ = 1:750 VERT = 1:50	



COUNTY ROAD 25



CL GRADE																			CL GRADE				
CHAINAGE	6+000	6+020	6+040	6+060	6+080	6+100	6+120	6+140	6+160	6+180	6+200	6+220	6+240	6+260	6+280	6+300	6+320	6+340	6+360	6+380	6+400	6+420	CHAINAGE

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