

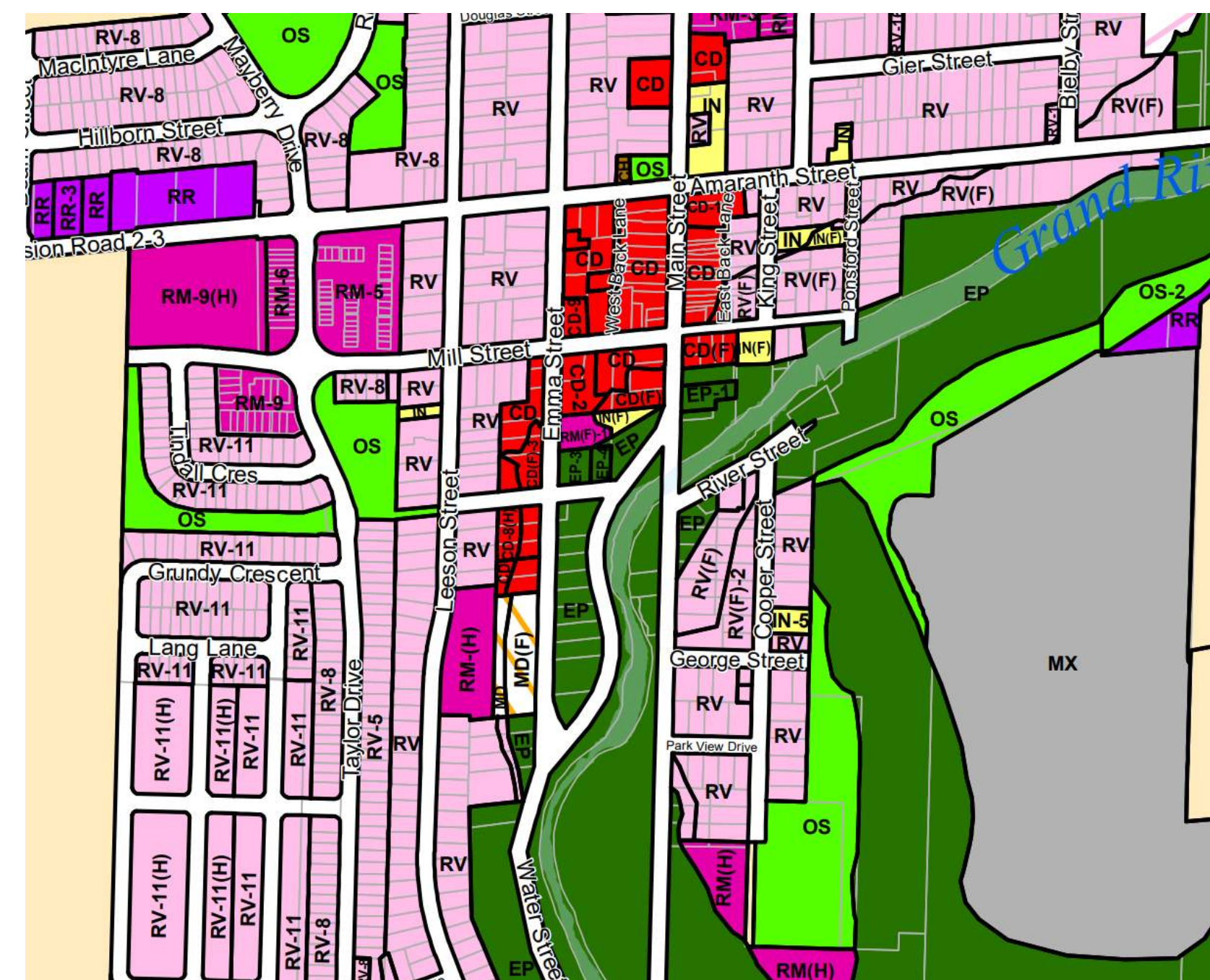


5 STOREY APARTMENT BUILDING

50 EMMA ST. GRAND VALLEY, ON



SPA SET



OWNER:
SHELDON CREEK DEVELOPMENTS
ORANGEVILLE, ON

ARCHITECT:
KHALSA DESIGN INC.
EAST GARAFRAXA, ON
T: 416.897-2867

PLANNER
GSP GROUP
KITCHENER, ON

CIVIL:
MOOREFIELD EXCAVATING
HARRISTON, ON

LANDSCAPE:
GSP GROUP
KITCHENER, ON

GEOTECHNICAL
CMT ENGINEERING INC.
ST. CLEMENTS, ON

ELEC.
MIGHTON ENGINEERING
KITCHENER, ON

NOISE CONSULTANT:
JADE ACOUSTICS INC.
CONCORD, ON

PROJECT NAME
50 EMMA ST. GRAND VALLEY, ON - APARTMENTS

PROJECT ADDRESS
50 EMMA ST. GRAND VALLEY, ON

CLIENT
SHELDON CREEK DEVELOPMENTS



CONSULTANTS:

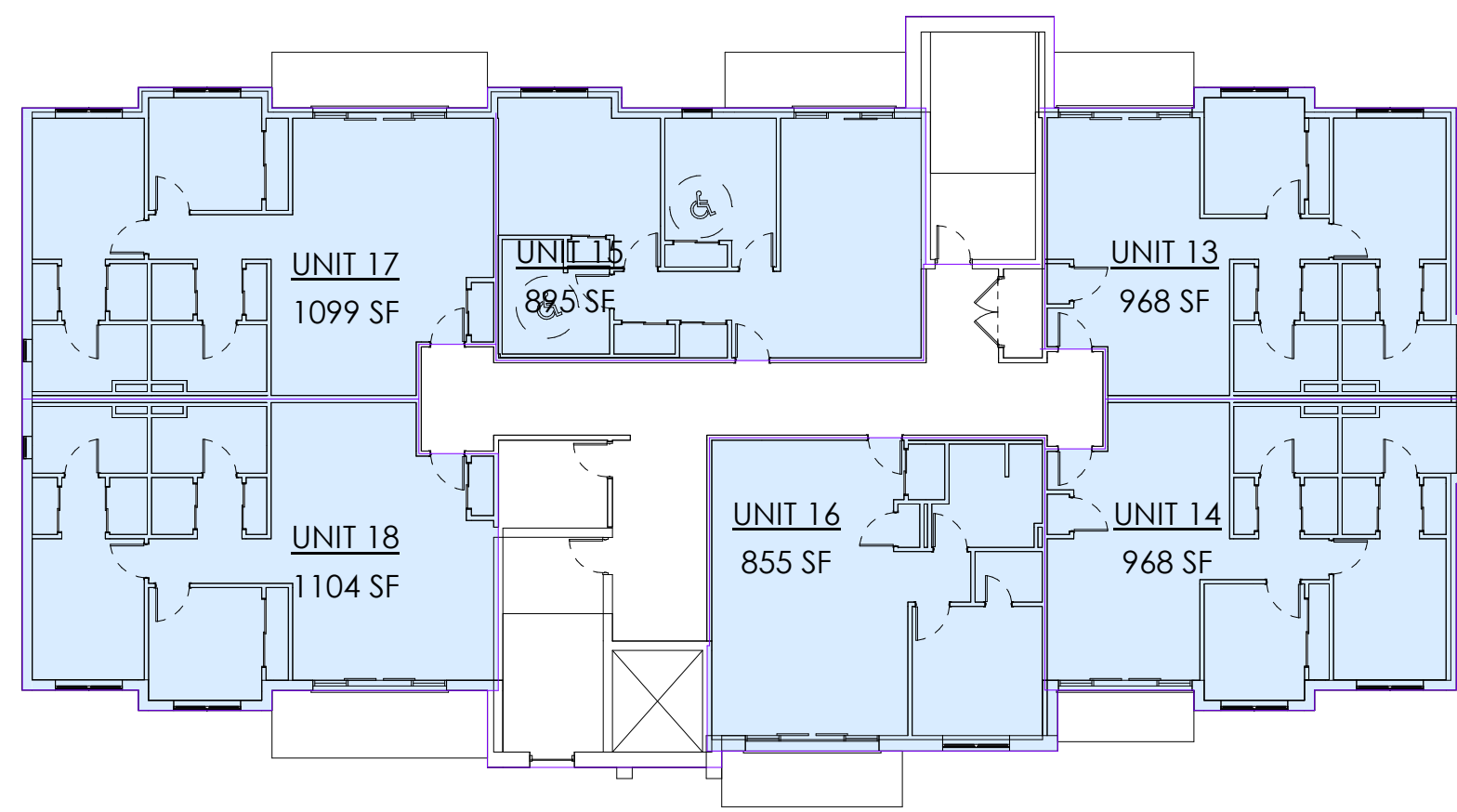
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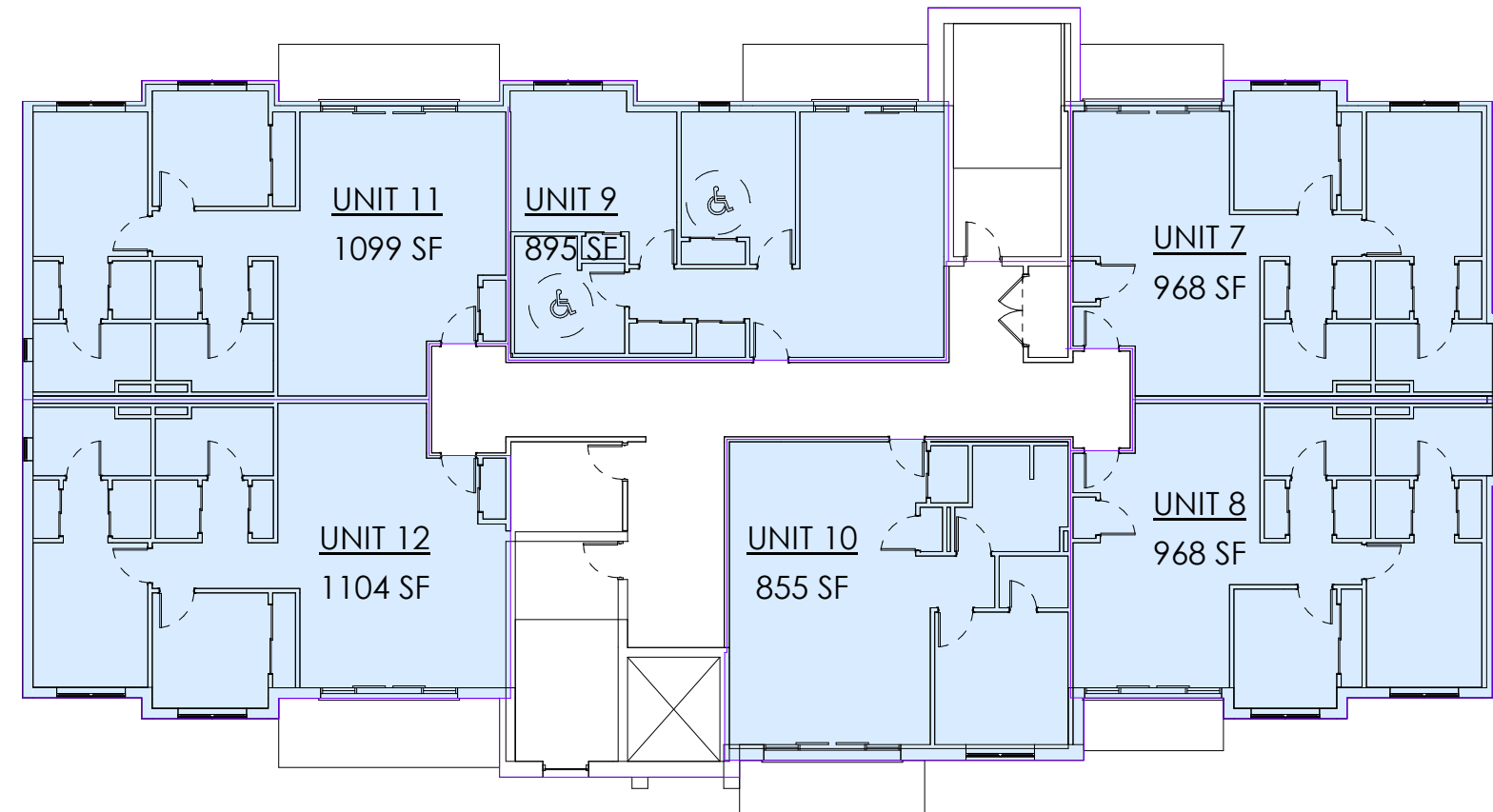
Project number	24022
Date	12/30/2024
Drawn by	ASB
Checked by	KDI
Scale	

REVISIONS		
No.	Description	Date

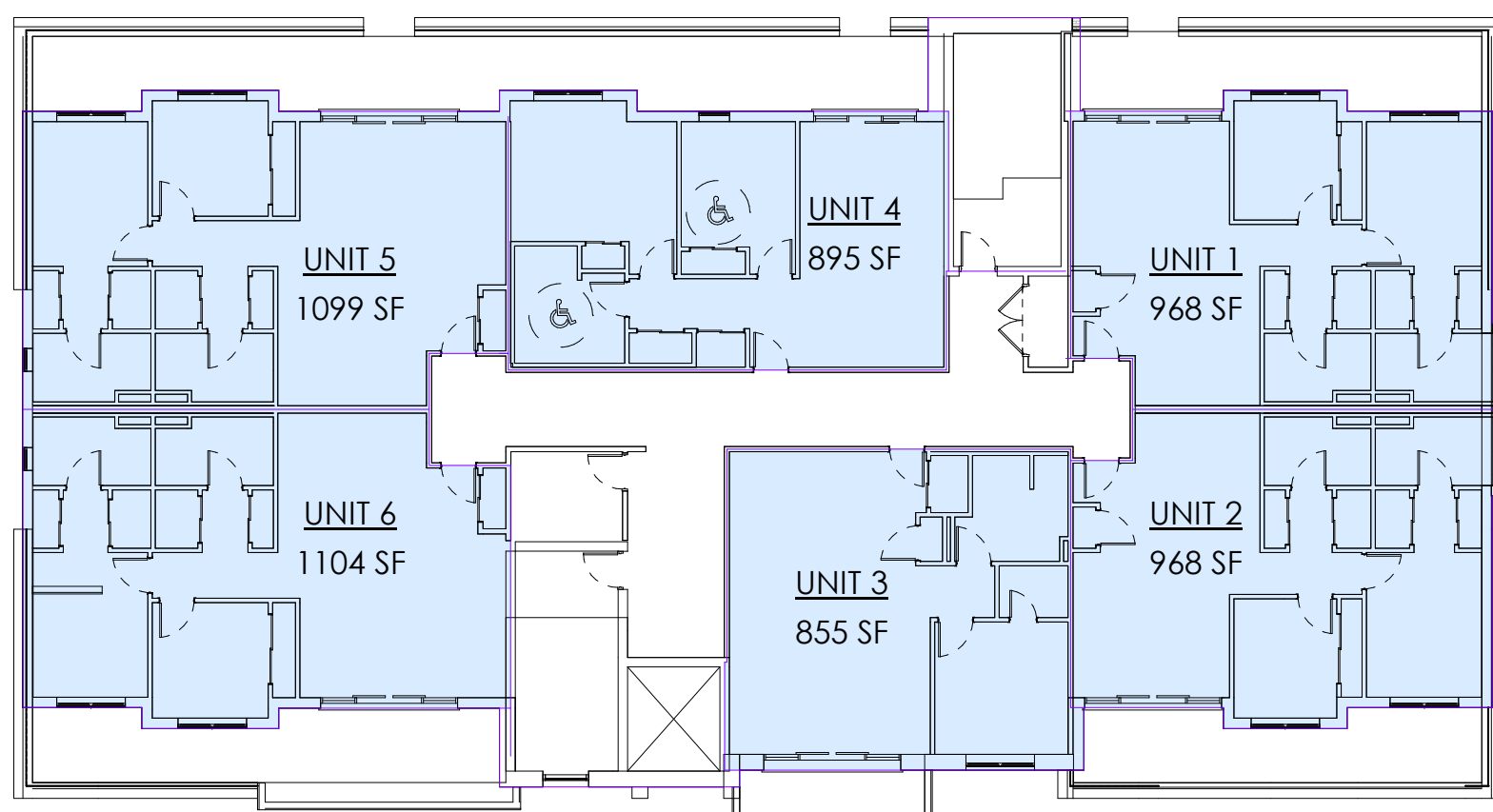
COVER SHEET
ASP-000
50 EMMA ST. GRAND VALLEY,
ON - APARTMENTS



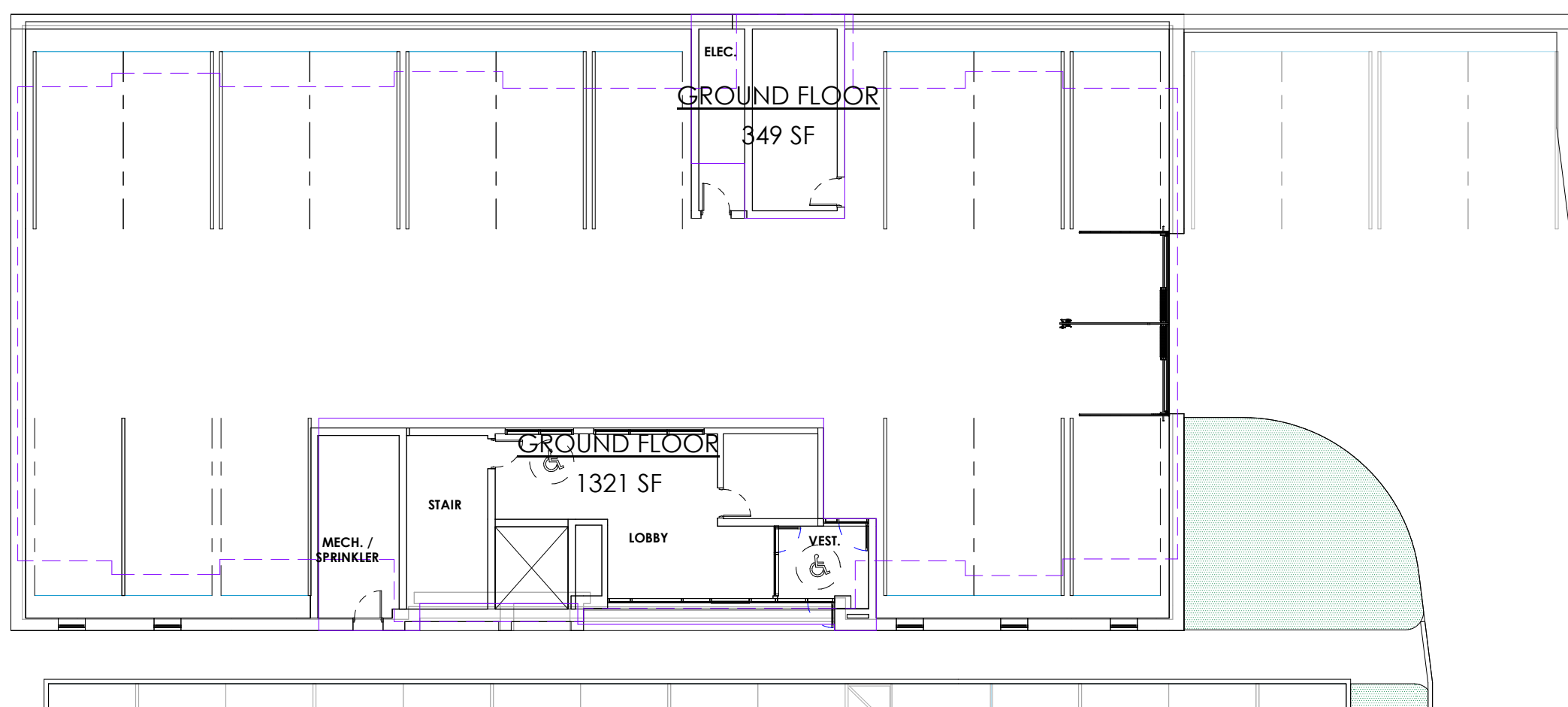
4 T/O FOURTH FLOOR
1/16" = 1'-0"



3 T/O THIRD FLOOR
1/16" = 1'-0"



2 T/O SECOND FLOOR
1/16" = 1'-0"



1 RENTABLE AREAS GROUND FLOOR
1/16" = 1'-0"

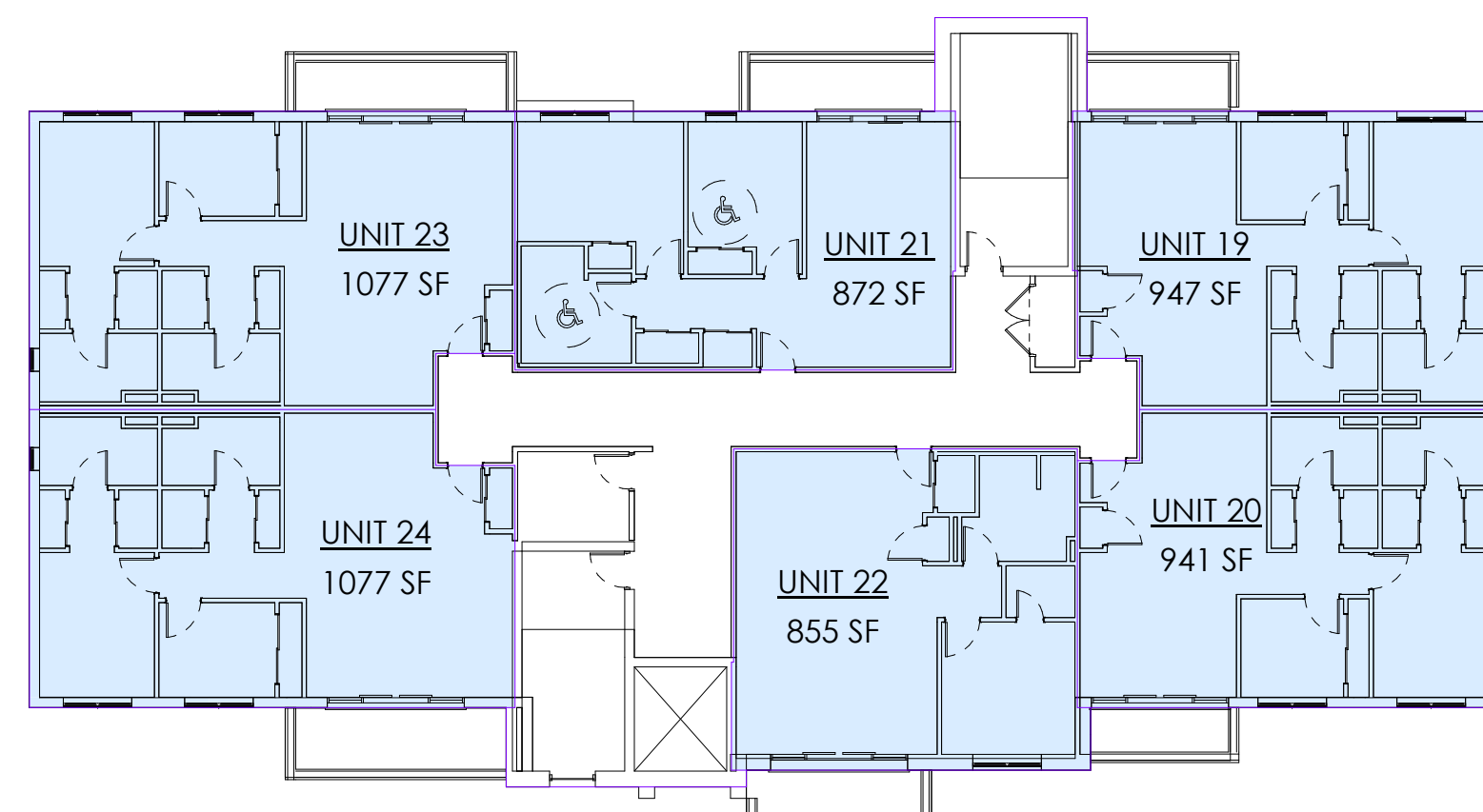
BUILDING AREA SUMMARY		
Name	Area	Area (Metric)
GROUND FLOOR	8905 SF	827 m ²
SECOND FLOOR	7266 SF	675 m ²
THIRD FLOOR	7266 SF	675 m ²
FOURTH FLOOR	7266 SF	675 m ²
FIFTH FLOOR	7263 SF	675 m ²
Grand total	37964 SF	3527 m ²

UNIT AREA	
Name	Area
T/O SECOND FLOOR	
UNIT 1	968 SF
UNIT 2	968 SF
UNIT 3	855 SF
UNIT 4	895 SF
UNIT 5	1099 SF
UNIT 6	1104 SF
	5888 SF

T/O THIRD FLOOR	
UNIT 7	968 SF
UNIT 8	968 SF
UNIT 9	895 SF
UNIT 10	855 SF
UNIT 11	1099 SF
UNIT 12	1104 SF
	5888 SF

T/O FOURTH FLOOR	
UNIT 13	968 SF
UNIT 14	968 SF
UNIT 15	895 SF
UNIT 16	855 SF
UNIT 17	1099 SF
UNIT 18	1104 SF
	5888 SF

T/O FIFTH FLOOR	
UNIT 19	947 SF
UNIT 20	941 SF
UNIT 21	872 SF
UNIT 22	855 SF
UNIT 23	1077 SF
UNIT 24	1077 SF
	5768 SF
Grand total:	23432 SF



6 T/O FIFTH FLOOR
1/16" = 1'-0"

Name of Practice: KHALSA DESIGN INC. EAST GARAFRAXA, ON T. 647-468-2940		Name of Project: 50 EMMA ST. GRAND VALLEY 4 STOREY APARTMENTS Location: 50 EMMA ST. GRAND VALLEY, ON		Date: DEC 16, 2024																																		
Ontario Building Code Data Matrix - Part 3				Building Code Reference 1																																		
3.00	BUILDING CODE VERSION:	O_Reg_332/12	Last Amendment	O_Reg_191/14																																		
3.01	PROJECT TYPE:	<input checked="" type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> RENOVATION <input type="checkbox"/> CHANGE OF USE <input type="checkbox"/> ADDITION AND RENOVATION		[A] 1.1.2.																																		
3.02	MAJOR OCCUPANCY CLASSIFICATION:	OCCUPANCY: Storage - Group F2 Residential - Group C	USE: COVERED PARKING GARAGE APARTMENTS	3.1.2.1.(1)																																		
3.03	SUPERIMPOSED MAJOR OCCUPANCIES:	<input type="checkbox"/> NO <input checked="" type="checkbox"/> YES DESCRIPTION:		3.2.2.7.																																		
3.04	BUILDING AREA (M2)	DESCRIPTION: EXISTING NEW TOTAL N/A N/A 827 m ² 827 m ²		[A] 1.4.1.2.																																		
3.05	GROSS AREA (M2)	DESCRIPTION: EXISTING NEW TOTAL N/A N/A 3527 m ² 3527 m ²		[A] 1.4.1.2.																																		
3.06	MEZZANINE AREA (M2)	DESCRIPTION: EXISTING NEW TOTAL N/A N/A N/A N/A		3.2.1.1.																																		
3.07	BUILDING HEIGHT	5 STOREYS ABOVE GRADE 0 STOREYS BELOW GRADE	18.26 (M) ABOVE GRADE	[A] 1.4.1.2. & 3.2.1.1.																																		
3.08	HIGH BUILDING	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		3.2.6.																																		
3.09	NUMBER OF STREETS/ FIREFIGHTER ACCESS	1 STREET		3.2.2.10. & 3.2.5.																																		
3.10	BUILDING CLASSIFICATION (SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY)	3.2.2.43A Group C, up to 6 Storeys, Sprinklered, Combustible Construction		3.2.2.43A																																		
3.11	SPRINKLER SYSTEM	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> NOT REQUIRED PROPOSED: <input checked="" type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> BASEMENT <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> NONE <input checked="" type="checkbox"/> IN LIEU OF ROOF RATING		3.2.1.5. & 3.2.2.17.																																		
3.12	STANDPIPE SYSTEM	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> NOT REQUIRED		3.2.9.																																		
3.13	FIRE ALARM SYSTEM	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> NOT REQUIRED PROPOSED: <input type="checkbox"/> SINGLE STAGE <input checked="" type="checkbox"/> TWO STAGE <input type="checkbox"/> NONE		3.2.4.																																		
3.14	WATER SERVICE / SUPPLY IS ADEQUATE	<input type="checkbox"/> NO <input checked="" type="checkbox"/> YES																																				
3.15	CONSTRUCTION TYPE:	RESTRICTION: <input checked="" type="checkbox"/> COMBUSTIBLE PERMITTED <input type="checkbox"/> NON-COMBUSTIBLE REQUIRED ACTUAL: <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> COMBINATION HEAVY TIMBER CONSTRUCTION: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		3.2.2.43 & 3.2.1.4.																																		
3.16	IMPORTANCE CATEGORY:	<input type="checkbox"/> LOW <input type="checkbox"/> LOW HUMAN OCCUPANCY <input type="checkbox"/> POST-DISASTER SHELTER <input checked="" type="checkbox"/> NORMAL <input type="checkbox"/> HIGH <input type="checkbox"/> MINOR STORAGE BUILDING <input type="checkbox"/> EXPLOSIVE OR HAZARDOUS SUBSTANCES <input type="checkbox"/> POST-DISASTER		4.1.2.1.(3) & 4.1.2.1.B																																		
3.17	SEISMIC HAZARD INDEX	(IE FA SA (0.2)) = 0.35 OR POST-DISASTER) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		4.1.2.1.(3) & 4.1.8.18.(2)																																		
3.18	OCCUPANT LOAD	FLOOR LEVEL/AREA OCCUPANCY TYPE BASED ON OCCUPANT LOAD (PERSONS) 2nd-6th Floor: Apartments C 44 bedrooms 88 TOTAL 88 persons	3.1.17.																																			
3.19	BARRIER-FREE DESIGN:	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO EXPLANATION:		3.8.																																		
3.20	HAZARDOUS SUBSTANCES:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO EXPLANATION:		3.3.1.2. & 3.3.1.19.																																		
3.21	REQUIRED FIRE RESISTANCE RATINGS	<table border="1"> <thead> <tr> <th>HORIZONTAL ASSEMBLY</th> <th>RATING</th> <th>SUPPORTING ASSEMBLY</th> <th>NONCOMBUSTIBLE IN LIEU OF RATING?</th> </tr> </thead> <tbody> <tr> <td>FLOORS</td> <td>1HR</td> <td>1HR</td> <td><input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> N/A</td> </tr> <tr> <td>MEZZANINE</td> <td>N/A</td> <td>N/A</td> <td><input type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> N/A</td> </tr> <tr> <td>ROOF</td> <td>NO</td> <td>NO</td> <td><input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> N/A</td> </tr> </tbody> </table>	HORIZONTAL ASSEMBLY	RATING	SUPPORTING ASSEMBLY	NONCOMBUSTIBLE IN LIEU OF RATING?	FLOORS	1HR	1HR	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> N/A	MEZZANINE	N/A	N/A	<input type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> N/A	ROOF	NO	NO	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> N/A	3.2.2.43 & 3.2.1.4.																			
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ROOF	NO	NO	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> N/A																																			
3.22	SPATIAL SEPARATION	<table border="1"> <thead> <tr> <th>WALL</th> <th>EBF AREA (m²)</th> <th>L/D (M)</th> <th>L/H OR H/L</th> <th>REQUIRED EFR (H)</th> <th>CONSTRUCTION TYPE REQUIRED</th> <th>CLADDING TYPE REQUIRED</th> </tr> </thead> <tbody> <tr> <td>North</td> <td>N/A</td> <td>>9 m</td> <td></td> <td>0HR</td> <td><input type="checkbox"/> NONCOMBUSTIBLE <input type="checkbox"/> NONCOMBUSTIBLE</td> <td><input type="checkbox"/> NONCOMBUSTIBLE</td> </tr> <tr> <td>South</td> <td>305.1</td> <td>3.5m</td> <td></td> <td>1HR</td> <td><input type="checkbox"/> NONCOMBUSTIBLE <input checked="" type="checkbox"/> NONCOMBUSTIBLE</td> <td><input checked="" type="checkbox"/> NONCOMBUSTIBLE</td> </tr> <tr> <td>East</td> <td>N/A</td> <td>>9 m</td> <td></td> <td>0HR</td> <td><input type="checkbox"/> NONCOMBUSTIBLE <input type="checkbox"/> NONCOMBUSTIBLE</td> <td><input type="checkbox"/> NONCOMBUSTIBLE</td> </tr> <tr> <td>West</td> <td>N/A</td> <td>>9 m</td> <td></td> <td>0HR</td> <td><input type="checkbox"/> NONCOMBUSTIBLE <input type="checkbox"/> NONCOMBUSTIBLE</td> <td><input type="checkbox"/> NONCOMBUSTIBLE</td> </tr> </tbody> </table>	WALL	EBF AREA (m ²)	L/D (M)	L/H OR H/L	REQUIRED EFR (H)	CONSTRUCTION TYPE REQUIRED	CLADDING TYPE REQUIRED	North	N/A	>9 m		0HR	<input type="checkbox"/> NONCOMBUSTIBLE <input type="checkbox"/> NONCOMBUSTIBLE	<input type="checkbox"/> NONCOMBUSTIBLE	South	305.1	3.5m		1HR	<input type="checkbox"/> NONCOMBUSTIBLE <input checked="" type="checkbox"/> NONCOMBUSTIBLE	<input checked="" type="checkbox"/> NONCOMBUSTIBLE	East	N/A	>9 m		0HR	<input type="checkbox"/> NONCOMBUSTIBLE <input type="checkbox"/> NONCOMBUSTIBLE	<input type="checkbox"/> NONCOMBUSTIBLE	West	N/A	>9 m		0HR	<input type="checkbox"/> NONCOMBUSTIBLE <input type="checkbox"/> NONCOMBUSTIBLE	<input type="checkbox"/> NONCOMBUSTIBLE	3.2.3.
WALL	EBF AREA (m ²)	L/D (M)	L/H OR H/L	REQUIRED EFR (H)	CONSTRUCTION TYPE REQUIRED	CLADDING TYPE REQUIRED																																
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West	N/A	>9 m		0HR	<input type="checkbox"/> NONCOMBUSTIBLE <input type="checkbox"/> NONCOMBUSTIBLE	<input type="checkbox"/> NONCOMBUSTIBLE																																
3.23	PLUMBING FIXTURE REQUIREMENTS	RATIO: MALE:FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE FLOOR LEVEL/AREA OCCUPANT LOAD OBC REFERENCE FIXTURES REQUIRED FIXTURES PROVIDED 1st Floor/ Parking Garage 0 1/1 1 UNIVERSAL WR.	3.7.4.																																			
3.24	ENERGY EFFICIENCY:	COMPLIANCE PATH: PRESCRIPTIVE COMPLIANCE CLIMATIC ZONE: 6 (GAS HEATING USE)																																				
3.24	NOTE:																																					

PROJECT NAME
50 EMMA ST. GRAND VALLEY, ON - APARTMENTS

PROJECT ADDRESS
50 EMMA ST. GRAND VALLEY, ON

CLIENT
SHELDON CREEK DEVELOPMENTS



CONSULTANTS:

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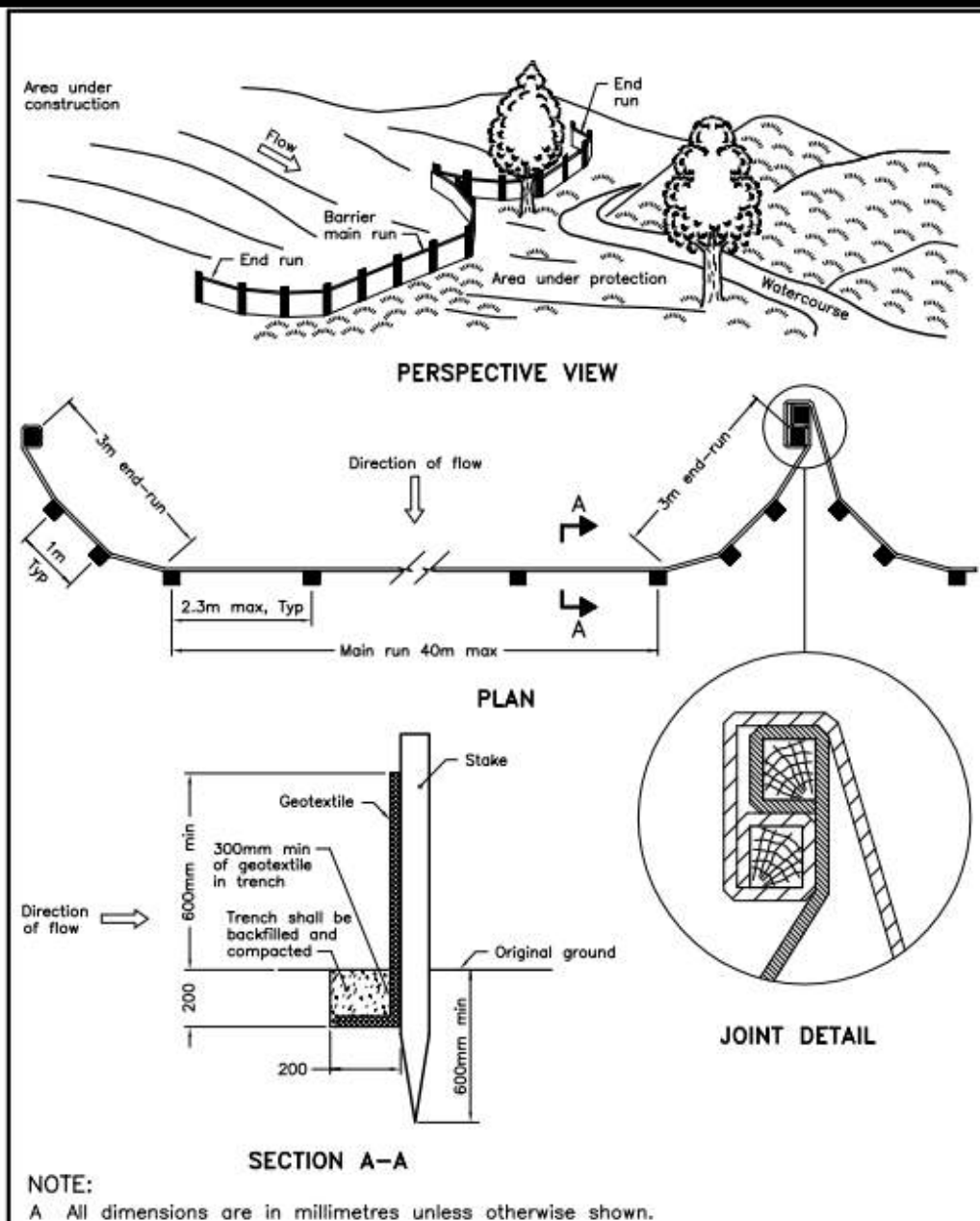
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Date: 12/30/2024
Drawn by: ASB
Checked by: KDI
Scale: As indicated

REVISIONS		
No.	Description	Date

OBC MATRIX / AREA PLAN

ASP-001
50 EMMA ST. GRAND VALLEY, ON - APARTMENTS

GRADING NOTE:
REFER TO GRADING PLAN
AND SITE SERVICING
DRAWING PREPARED BY
MOOREFIELD EXCAVATING



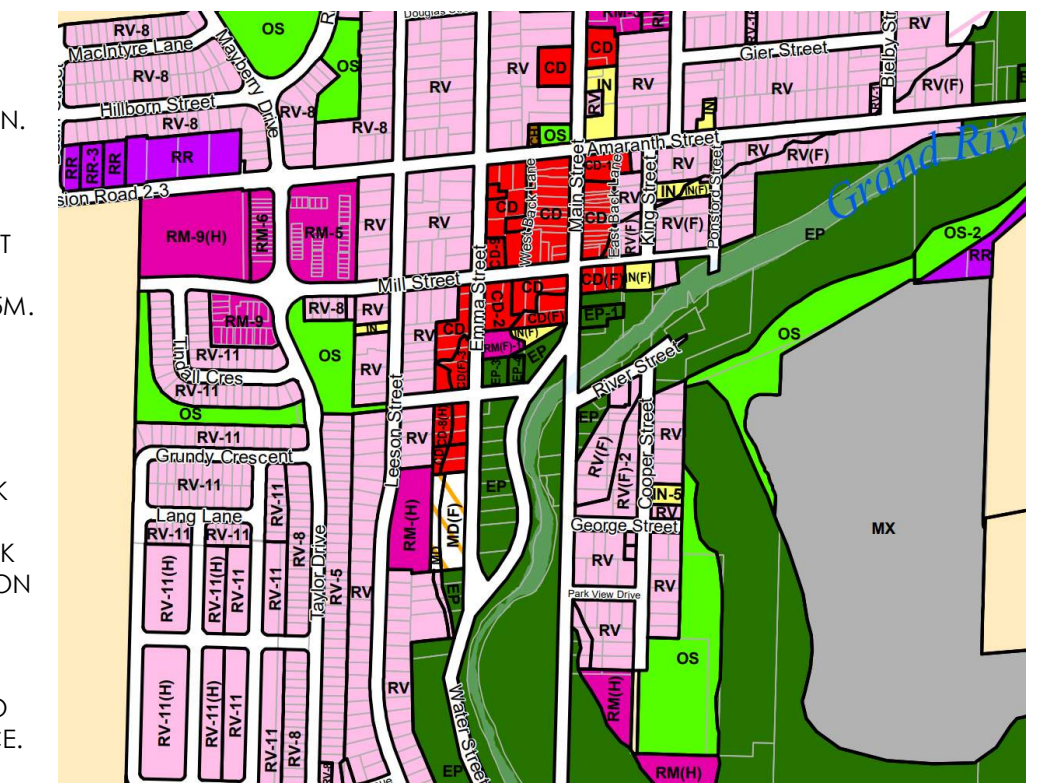
ONTARIO PROVINCIAL STANDARD DRAWING
LIGHT-DUTY SILT FENCE BARRIER
Nov 2015 Rev 2
OPSD 219.110

GENERAL NOTES:

1. ALL EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AND BOULEVARD AREAS DISTURBED BY THE CONSTRUCTION MUST BE REINSTATED TO THE SATISFACTION OF THE TOWN.
2. UTILITY IS THE RESPONSIBILITY OF THE DEVELOPER/OWNER.
3. THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATES AND DAMAGE OR DISTURBANCE DURING CONSTRUCTION.
4. ALL BARRIER FREE ENTRANCES AND BARRIER FREE PATHS OF TRAVEL MUST COMPLY WITH O.B.C. 3.8.
5. ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD AS WELL AS INWARD AND DESIGNED TO MAINTAIN ZERO CUTOFF LIGHT DISTRIBUTION AS THE PROPERTY LINE.
6. ALL DOWNSPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
7. THERE WILL BE NO CURBSIDE WASTE COLLECTION.
8. ALL CONDENSING UNITS TO BE SCREENED ON THE ROOF.
9. SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY.
10. WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.
11. EXCESS SNOW WILL BE REMOVED BY PRIVATE HAULER SUBJECT TO DEMAND FOR PARKING.
12. ALL FIRE ROUTES SHALL BE CONSTRUCTED OF HARD SURFACE MATERIAL SUCH AS ASPHALT OR CONCRETE AND DESIGNED TO SUPPORT A LOAD OF NOT LESS THAN 11.363kg PER AXLE AND HAVE A CHANGE IN GRADIENT OF NOT MORE THAN 1 IN 12.5 OVER A MIN. DISTANCE OF 15M. ACCESS ROUTE SHALL BE A MIN. WIDTH OF 6.0m AND ALL TURNS IN THE ROUTE SHALL HAVE A CENTERLINE RADIUS OF 12.0m
13. FIRE ROUTES SHALL BE DESIGNATED AS PER BY-LAW AS AMENDED PRIOR TO OCCUPANCY OF THE BUILDING.
14. THE TOPS OF ANY CURBS BORDERING DRIVEWAYS WITHIN THE MUNICIPAL BOULEVARDS WILL BE FLUSH WITH THE MUNICIPAL SIDEWALK AND ROAD CURB.
15. AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
16. CONSTRUCTION CHAINLINK HOARDING MUST BE INSTALLED WITH SEDIMENT CONTROL AS PER CITY STANDARDS AND APPROVALS.
17. ROAD OCCUPANCY PERMIT MUST BE OBTAINED 48 HOURS PRIOR TO COMMENCING ANY WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCE.

SITE PLAN APPLICATION NO.

PART OF LOT 1, BLOCK 5
REGISTERED PLAN 22A AND PARTS
OF LOTS 13, 14 & 15 BLOCK 5 REGISTERED
PLAN 33A
TOWN OF GRAND VALLEY
COUNTY OF DUFFERIN



PROJECT NAME
50 EMMA ST. GRAND VALLEY, ON - APARTMENTS

PROJECT ADDRESS
50 EMMA ST. GRAND VALLEY, ON

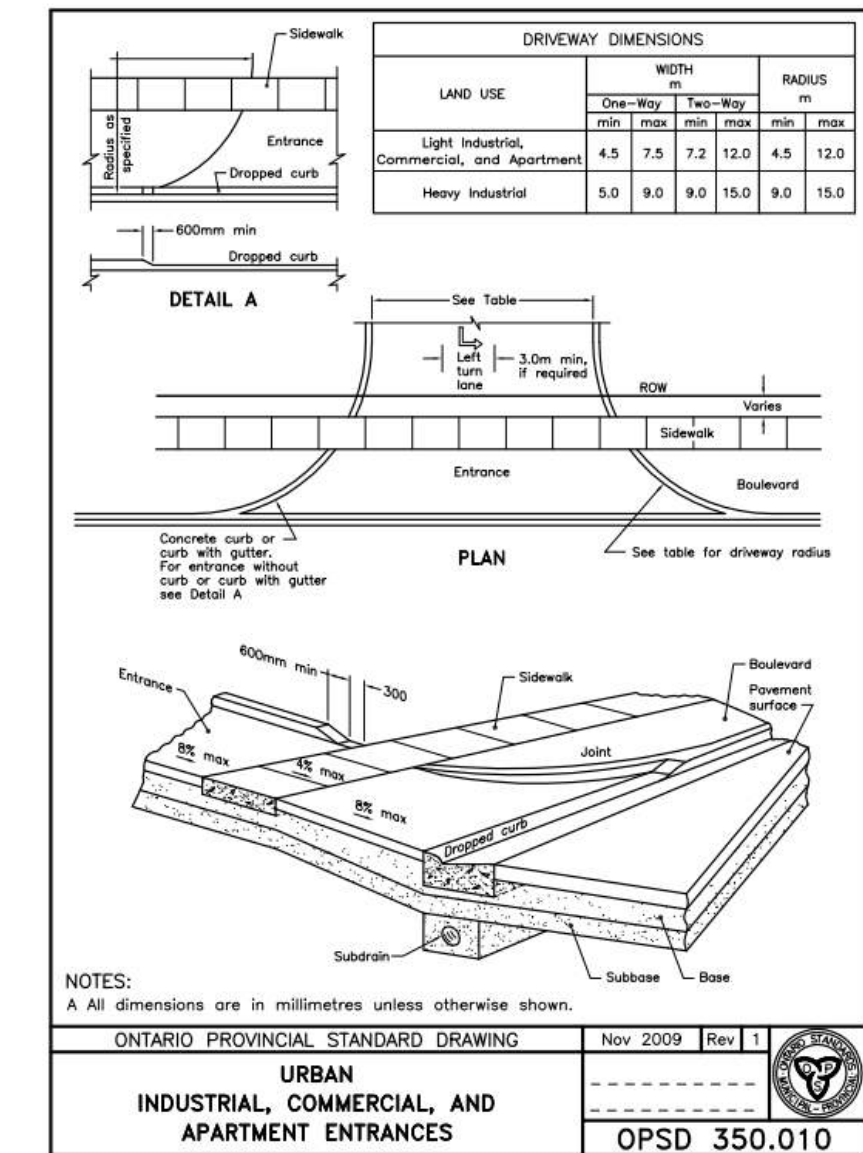
CLIENT
SHELDON CREEK DEVELOPMENTS

ARCHITECT
KHALSA DESIGN INC.



KHALSA
BRAMPTON, ON
T: 647-468-2940

CONSULTANTS:



ZONING TABLE

ZONE - CD(F)-3 (DOWNTOWN COMMERCIAL)

	CD	PROPOSED
MINIMUM LOT AREA	N/A	34,541.78 m ²
MINIMUM LOT FRONTAGE	N/A	329.03 m
MAXIMUM BUILDING AREA	75%	28.8%
		[923 m ²]
MINIMUM FRONT YARD	N/A	15.25 m
MINIMUM EXTERIOR SIDE YARD	N/A	N/A
MINIMUM SIDE YARD	N/A	3.78 m
MINIMUM REAR YARD	4.5 m	12.42 m
MAXIMUM BUILDING HEIGHT	12 m	18.24 m

	PROPOSED BUILDING
COVERED PARKING	827 m ²
TOTAL LOT COVERAGE	923 m ²

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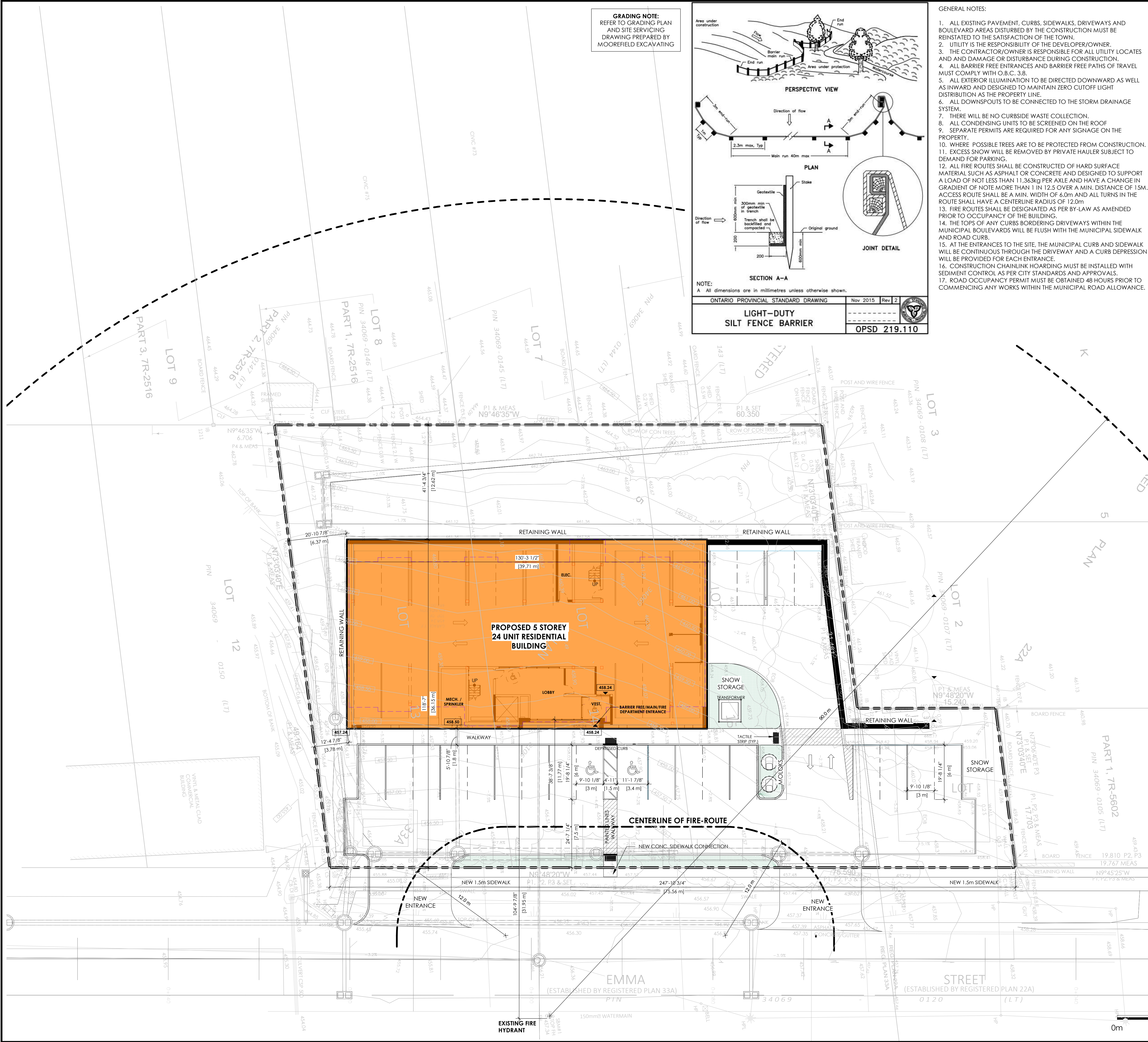
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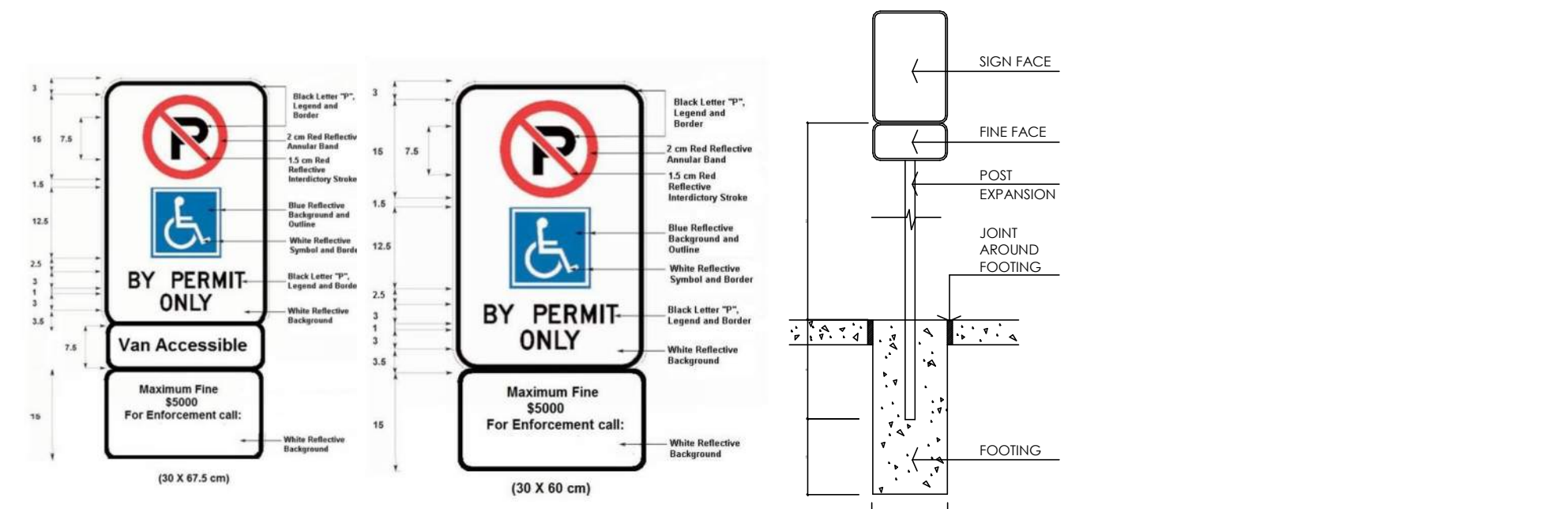
REVISIONS

No.	Description	Date

SITE PLAN

ASP-100
50 EMMA ST. GRAND VALLEY, ON - APARTMENTS





TYPE A
1-SIGN FACE

BARRIER FREE PARKING SIGNAGE REQUIREMENTS

- ALL HANDICAPPED PARKING STALLS SHALL BE DESIGNATED BY SIGNAGE AS PER BY-LAW
 - ONE SIGN PER BAY IS REQUIRED UNLESS A ROW OF SEVERAL BAYS IS PROVIDED IN WHICH CASE, A SIGN AT EACH END OF THE ROW WITH APPROPRIATE DIRECTIONAL ARROWS AS PER DRAWING 3 - SIGN LOCATION FOR
 - MULTIPLE PARKING STALLS IS ACCEPTABLE. THE REQUIRED SIGN(S) MUST BE MOUNTED AT LEAST 0.6m AND NOT MORE THAN 2.0m FROM THE FACE OF THE CURB AT A HEIGHT OF 1.2m ABOVE THE TOP OF CURB ELEVATION. SIGNS MUST NOT OBSTRUCT THE SIDEWALK.
 - WHERE AN UNOBSTRUCTED BUILDING FACE IS LOCATION NO MORE THAN 2.0m FROM THE FACE OF THE CURB AT THE HANDICAPPED BAY, THE REQUIRED SIGN(S) MAY BE MOUNTED ON THE BUILDING FACE.
- POST**
- 75mm DIAMETER GALVANIZED STANDARD STEEL PIPE, POST TO BE CAST IN PLACE IN 300mm DIAMETER CONCRETE FOOTING
 - REBOUNDING SIGN POST MOUNTED ON CURB. MANUFACTURE: IMPACT RECOVERY (<http://www.impactrecovery.com/>) STYLE: Sta-Rite Sign Posts. SIGN MOUNTING HEIGHT & SIGN AS PER TOWN ACCESSIBILITY STANDARDS.

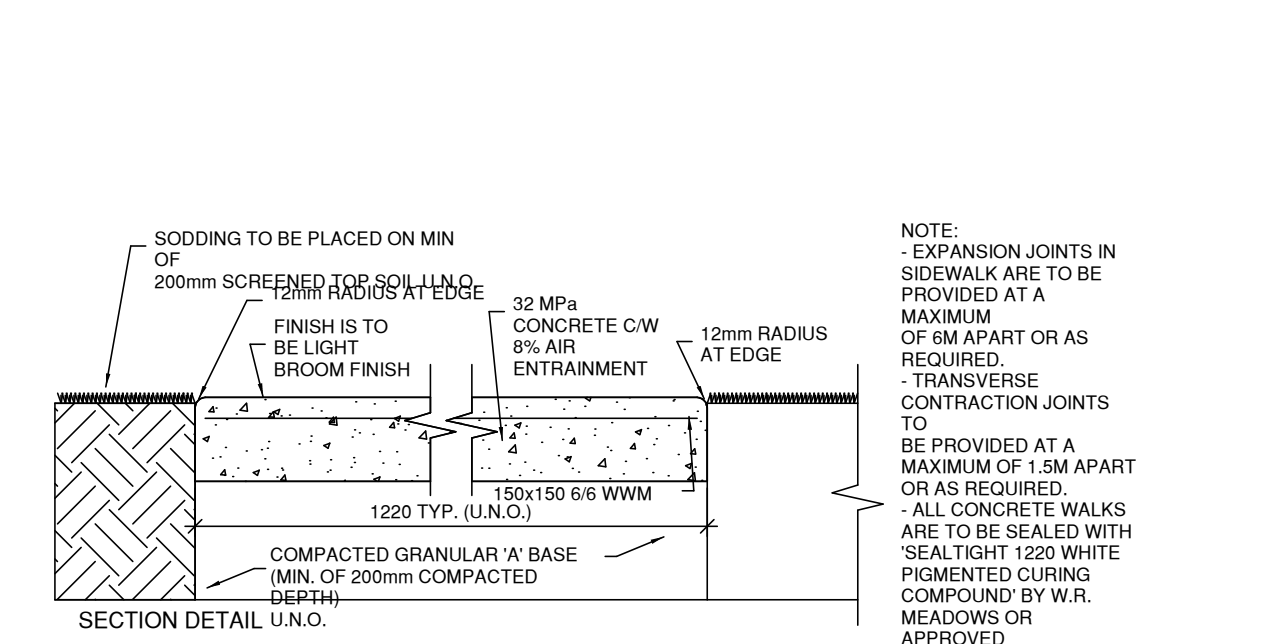
TYPE B
2-MOUNTING DETAIL

SIGN FACE

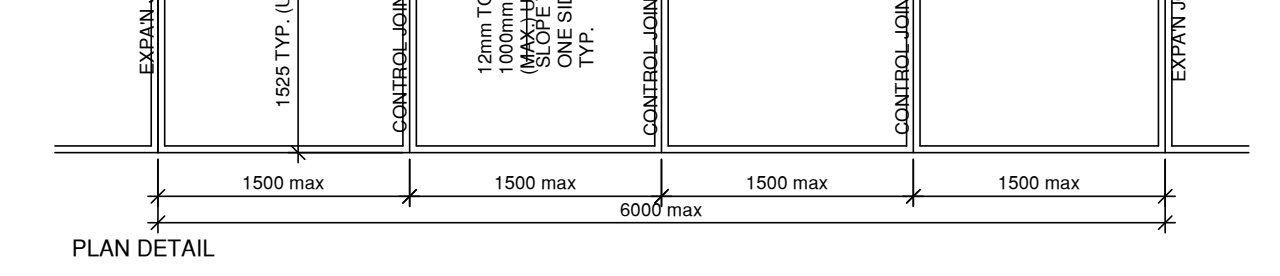
- 0.064 GAUGE ALUMINUM SIGN
- BLANK WHITE BACKGROUND
- HOLDS-METRO FINISH

MOUNTING

- THE SIGN FACE MUST BE SECURED TO A POST WITH TWO GALVANIZED 12mm HEX HEAD BOLTS AND NUTS WITH FLAT WASHERS ON BOTH SIDES.
- TO A MASONRY BUILDING FACE WITH TWO GALVANIZED 50mm LONG 6mm DIAMETER HEX HEAD LAG BOLTS WITH FLAT WASHERS IN LEAD SHEILD MASONRY ANCHORS.
- TO A METAL BUILDING FACE WHERE THE MINIMUM METAL THICKNESS IS 2mm WITH TWO #10 PLATED, SELF-TAPPING SHEET-METAL SCREWS WITH FLAT WASHERS.



7
DETAIL - CONC SIDEWALK



7
DETAIL - CONC SIDEWALK

- SODDING TO BE PLACED ON MIN OF 200mm SCREENED TOP SOIL U.N.O.
- FINISH IS TO BE LIGHT BROOM FINISH
- 1220 TYP. (U.N.O.)
- 150x150 6/6 WWM
- 32 MPa CONCRETE C/W 8% AIR ENTRAINMENT
- 12mm RADIUS AT EDGE
- NOTE: EXPANSION JOINTS IN SIDEWALK ARE TO BE PROVIDED AT A MAXIMUM OF 8M APART OR AS REQUIRED. TRANSVERSE CONTRACTION JOINTS TO BE PROVIDED AT A MAXIMUM OF 1.5M APART OR AS REQUIRED. ALL CONCRETE WALKS ARE TO BE SEALED WITH 'SEALTIGHT 1220 WHITE PIGMENTED CURING COMPOUND' BY W.R. MEADOWS OR APPROVED EQUALS/ANALOGAS PER MANUFACTURE SPECIFICATIONS.

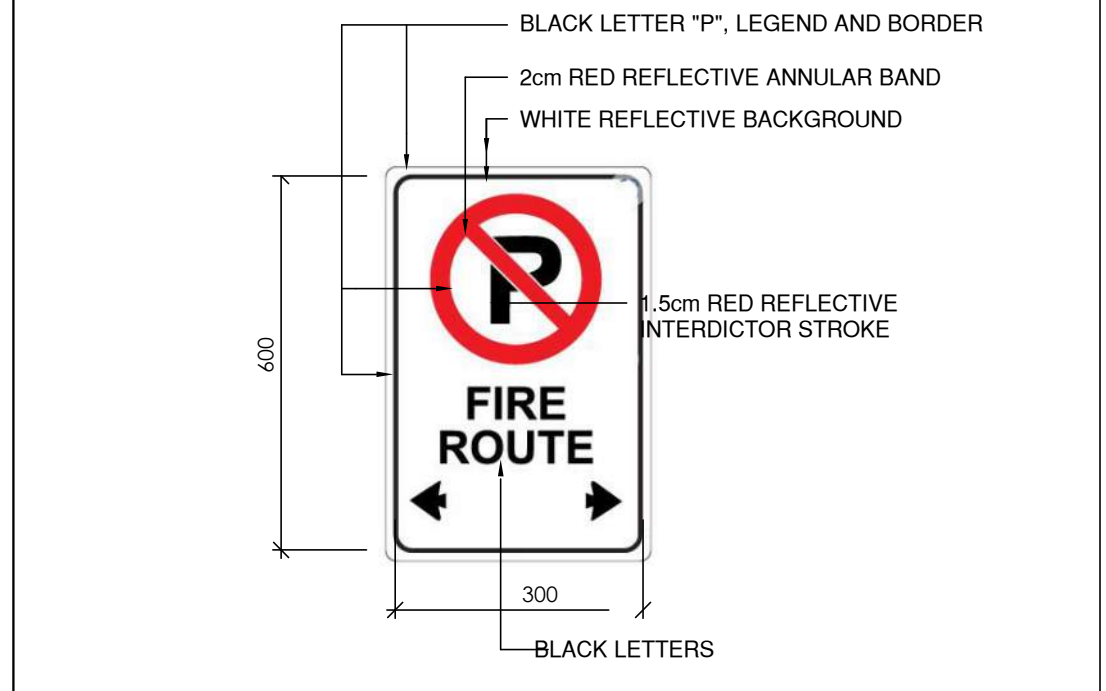


10
A101a

1. Dig the installation pit according to the measurements in the image 2. The pit should be 600 mm wider than the diameter of the container. Level the bottom carefully with spirit level and compact the ground if needed. (Image 3.1.)
2. Preparing 600 L and 300 L containers:
MolokClassic®-container 5 m³ 2150 mm
MolokClassic®-container 3m³ and 1.3 m³ 1750 mm
3. Fasten the anchor steel into the bottom insert according to a separate instruction manual provided.
4. Preparing 5 m³; 3 m³ and 1.3 m³ containers:
Fix the plastic bottom anchors into the container with two bolts each (bolts are tightened max. 25 Nm). (Image 3.2.)
5. Lift the container to the installation pit by using lifting loops. The use of lifting beam is recommended (Image 3.3.).
6. Align the lid opening by using the sign in the front panel.
7. Use a spirit level to ensure the container is straight and level. Depending on the installation site, use the spirit level either:
A. on top of the aluminium ring (lid and lifting bag removed) OR
B. from the sides of the container
8. Fill the pit as described in the image 2. With a light compactor, compact the filling soil carefully with every 200 mm layer. We recommend to use max. 100 kg round compactor. (Image 3.5.)
9. Make sure that the finishing layer slopes slightly downward from the container.

1
A101a

DETAIL - FIRE ROUTE & BF PARKING SIGN

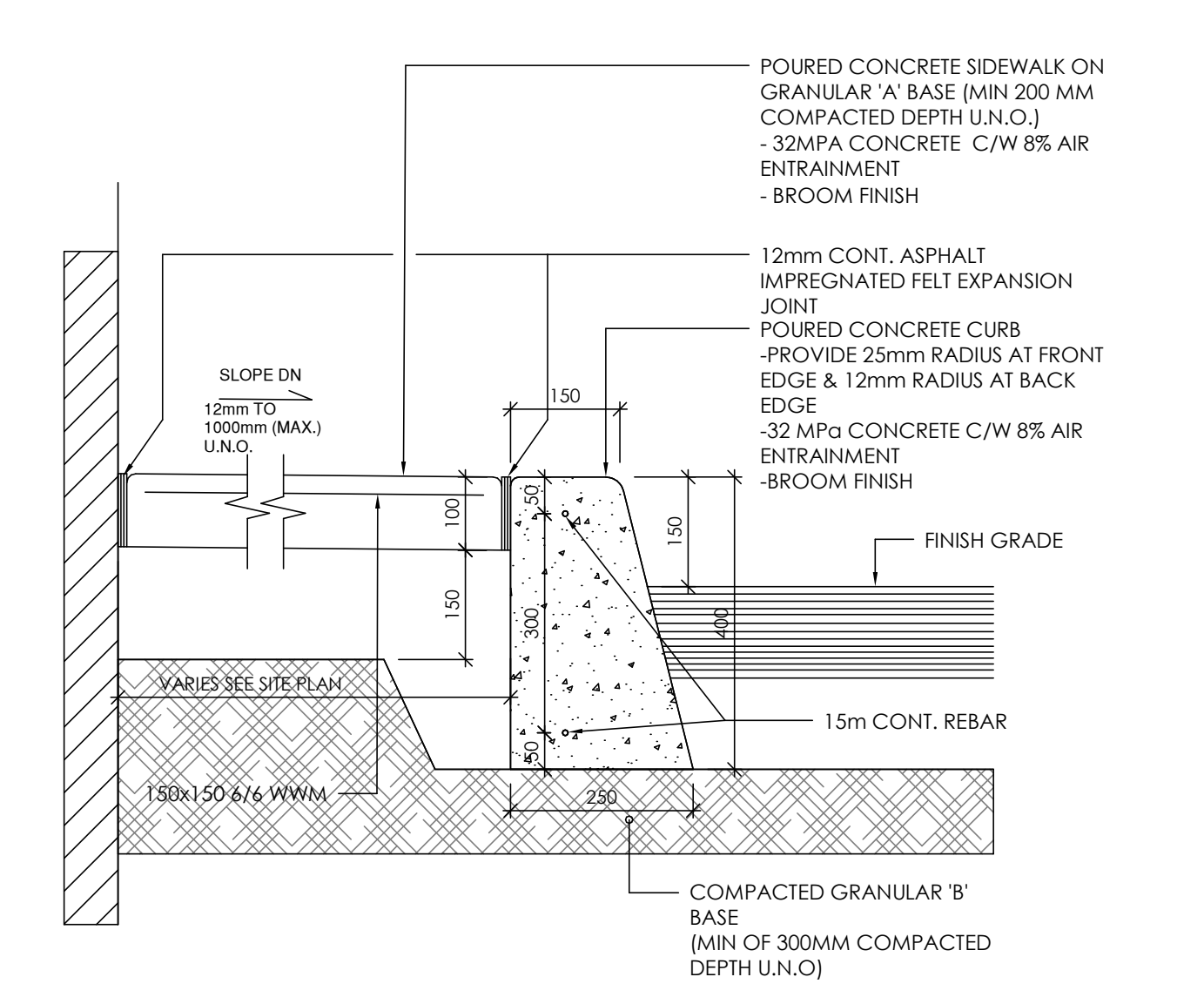


1-FIRE ROUTE SIGN FACE

1. SIGNS TO BE SET AN ANGLE OF NOT LESS THAN 30° AND NO MORE THAN 45° TO A LINE PARALLEL TO THE FLOW OF TRAFFIC AND SHOULD ALWAYS BE VISIBLE TO APPROACHING TRAFFIC
2. SIGNS TO BE PLACED ON EITHER SIDES (STAGGERED) TO THE FIRE ACCESS ROUTE AT INTERVALS OF NOT MORE THAN 30m APART
3. SIGNS SHALL NOT EXCEED 2m AND NOT LESS THAN 1.5m IN HEIGHT MEASURED FROM THE BOTTOM OF THE SIGN TO THE FINISHED PAVEMENT GRADE

5
A101a

SECTION DETAIL - CONC CURB @ SIDEWALK



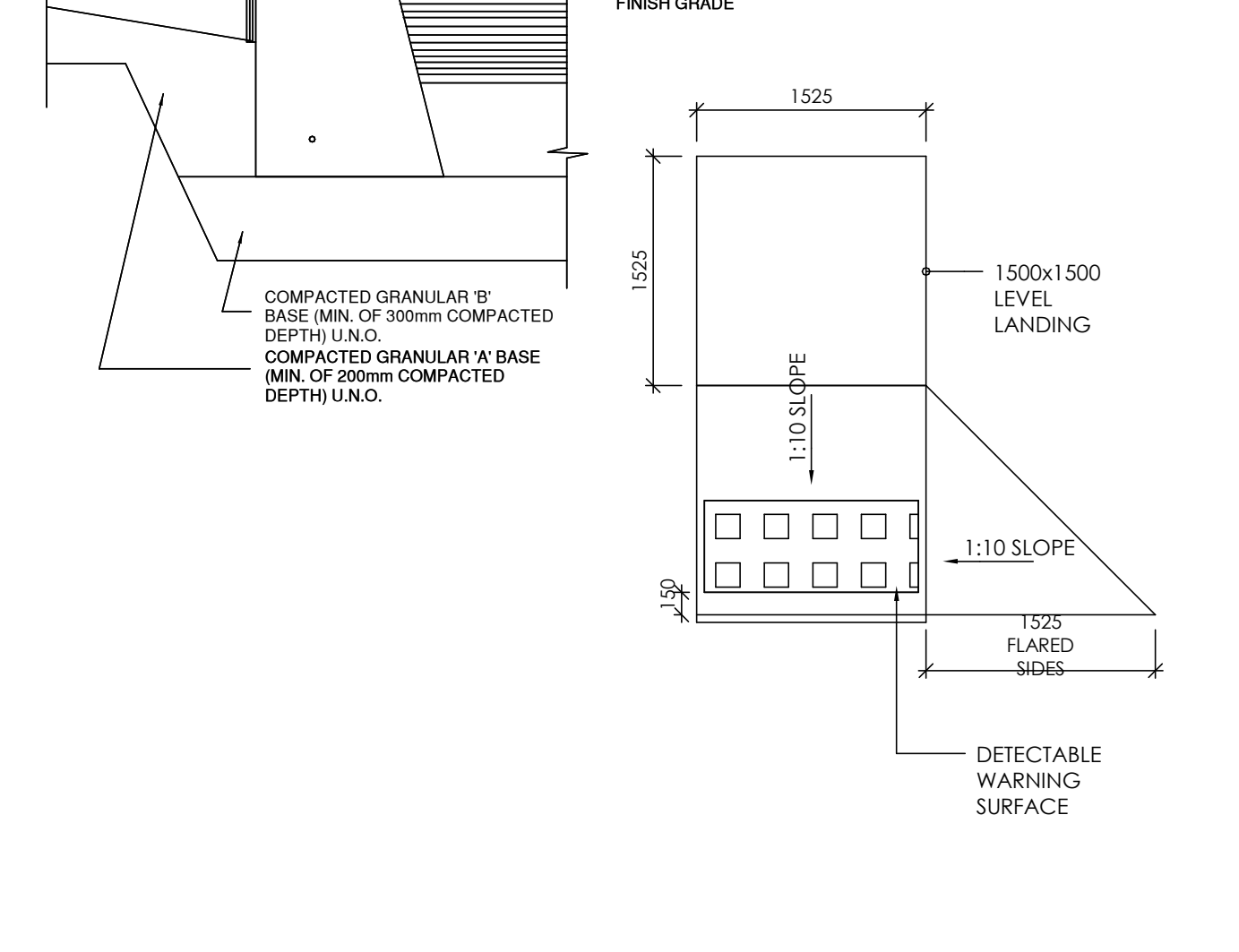
5
A101a

SECTION DETAIL - CONC CURB @ SIDEWALK



5
A101a

SECTION DETAIL - CONC CURB @ SIDEWALK

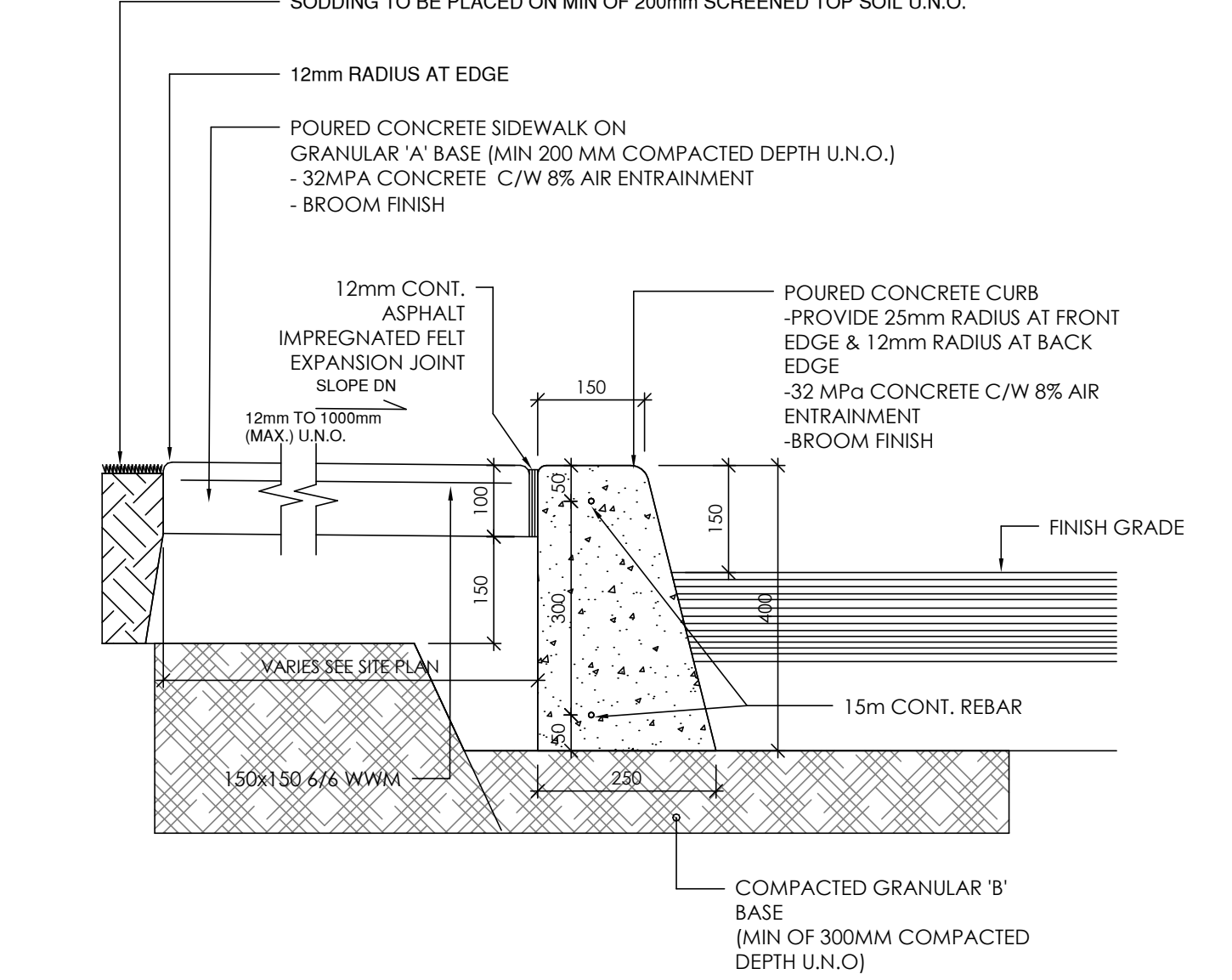


5
A101a

SECTION DETAIL - CONC CURB @ SIDEWALK

8
A101a

SECTION DETAIL - CONC CURB @ SIDEWALK



8
A101a

SECTION DETAIL - CONC CURB @ SIDEWALK

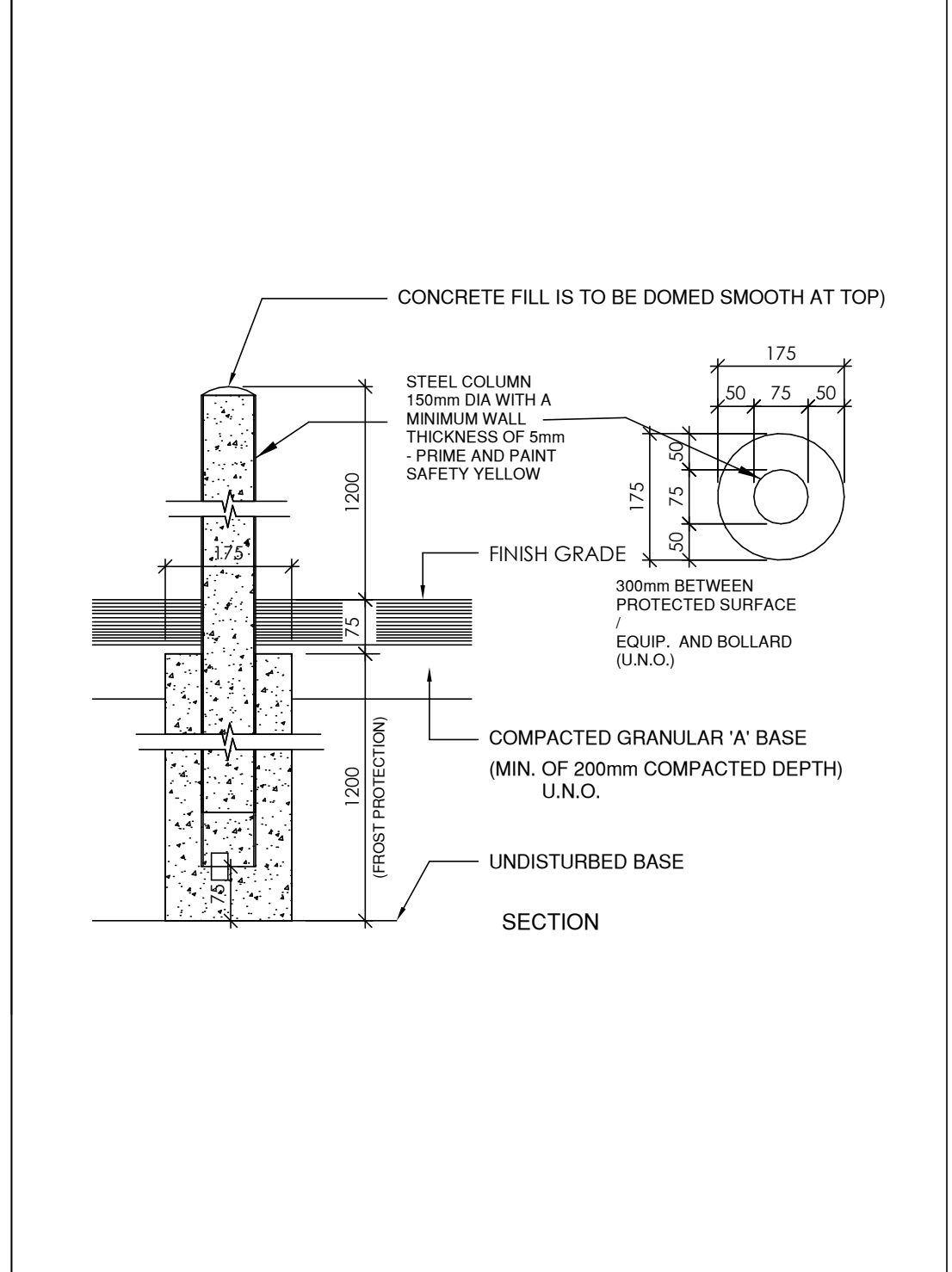


8
A101a

SECTION DETAIL - CONC CURB @ SIDEWALK

2
A101a

SPARE



3
A101a

DETAIL - TYP BOLLARD

6
A101a

DETAIL - TYP B.F. RAMP DEPRESSION

9
A101a

VAUGHAN REFUSE TRUCK

PROJECT NAME
50 EMMA ST. GRAND VALLEY, ON - APARTMENTS

PROJECT ADDRESS
50 EMMA ST. GRAND VALLEY, ON

CLIENT
SHELDON CREEK DEVELOPMENTS

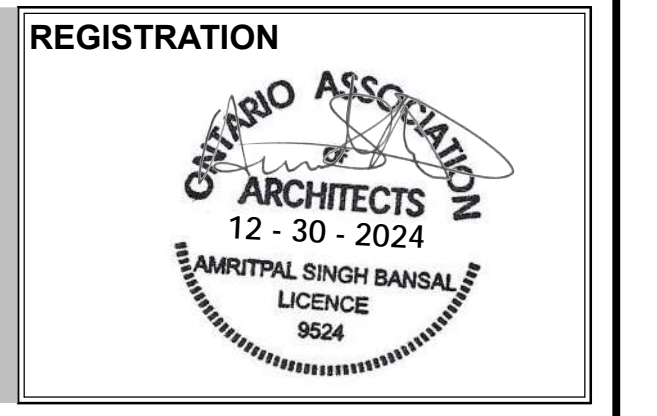
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DESIGN

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Date	12/30/2024
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REVISIONS		
No.	Description	Date

SITE PLAN DETAILS

ASP-101
50 EMMA ST. GRAND VALLEY, ON - APARTMENTS

ROOM MIX							
ROOM TYPE	GND	2ND	3RD	4TH	5TH	TOTAL	
1 BED	-	1	1	1	1	3	-
2 BED	-	5	5	5	5	15	-
TOTAL	-	6	6	6	6	24	-
BARRIER FREE UNITS (INCLUDED IN TOTAL COUNT)						(4)	-

PROJECT NAME
50 EMMA ST. GRAND VALLEY, ON - APARTMENTS

PROJECT ADDRESS
 50 EMMA ST. GRAND VALLEY, ON

CLIENT
SHELDON CREEK DEVELOPMENTS

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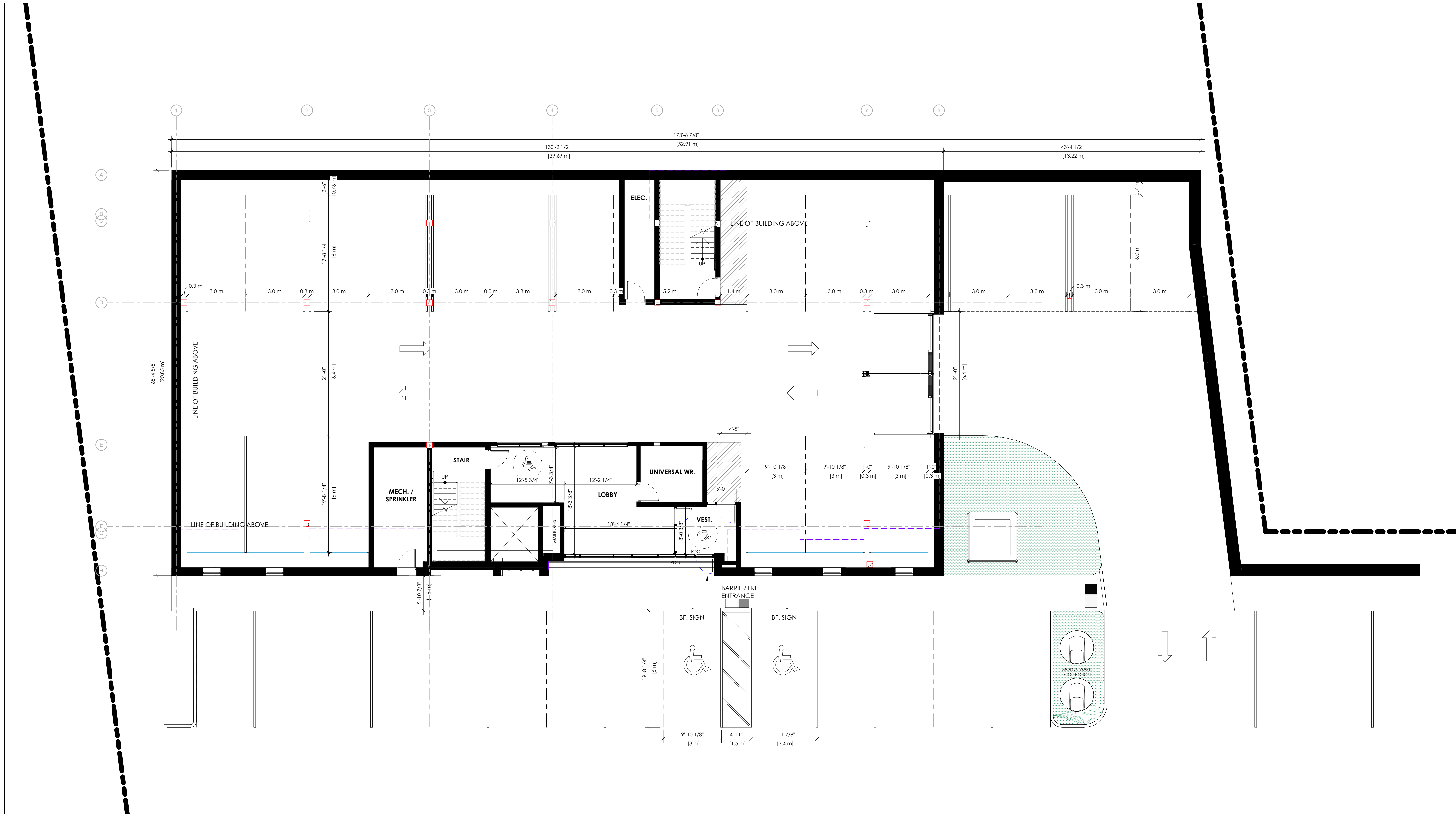
REVISIONS

No.	Description	Date

1ST FLOOR PLAN

ASP-201

50 EMMA ST. GRAND VALLEY, ON - APARTMENTS



1 SD_GROUND FLOOR
 ASP-201 1/8" = 1'-0"

ROOM MIX							
ROOM TYPE	GND	2ND	3RD	4TH	5TH	TOTAL	
1 BED	-	1	1	1	1	3	-
2 BED	-	5	5	5	5	15	
TOTAL	-	6	6	6	6	24	
BARRIER FREE UNITS (INCLUDED IN TOTAL COUNT)						(4)	-

PROJECT NAME
50 EMMA ST. GRAND VALLEY, ON - APARTMENTS

PROJECT ADDRESS
 50 EMMA ST. GRAND VALLEY, ON

CLIENT

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No.	Description	Date

2ND FLOOR PLAN

ASP-202

50 EMMA ST. GRAND VALLEY, ON - APARTMENTS

1 SD_SECOND FLOOR
 ASP-202 1/8" = 1'-0"



ROOM MIX							
ROOM TYPE	GND	2ND	3RD	4TH	5TH	TOTAL	
1 BED	-	1	1	1	1	3	-
2 BED	-	5	5	5	5	15	
TOTAL	-	6	6	6	6	24	
BARRIER FREE UNITS (INCLUDED IN TOTAL COUNT)						(4)	-

PROJECT NAME
50 EMMA ST. GRAND VALLEY, ON - APARTMENTS

PROJECT ADDRESS
 50 EMMA ST. GRAND VALLEY, ON

CLIENT

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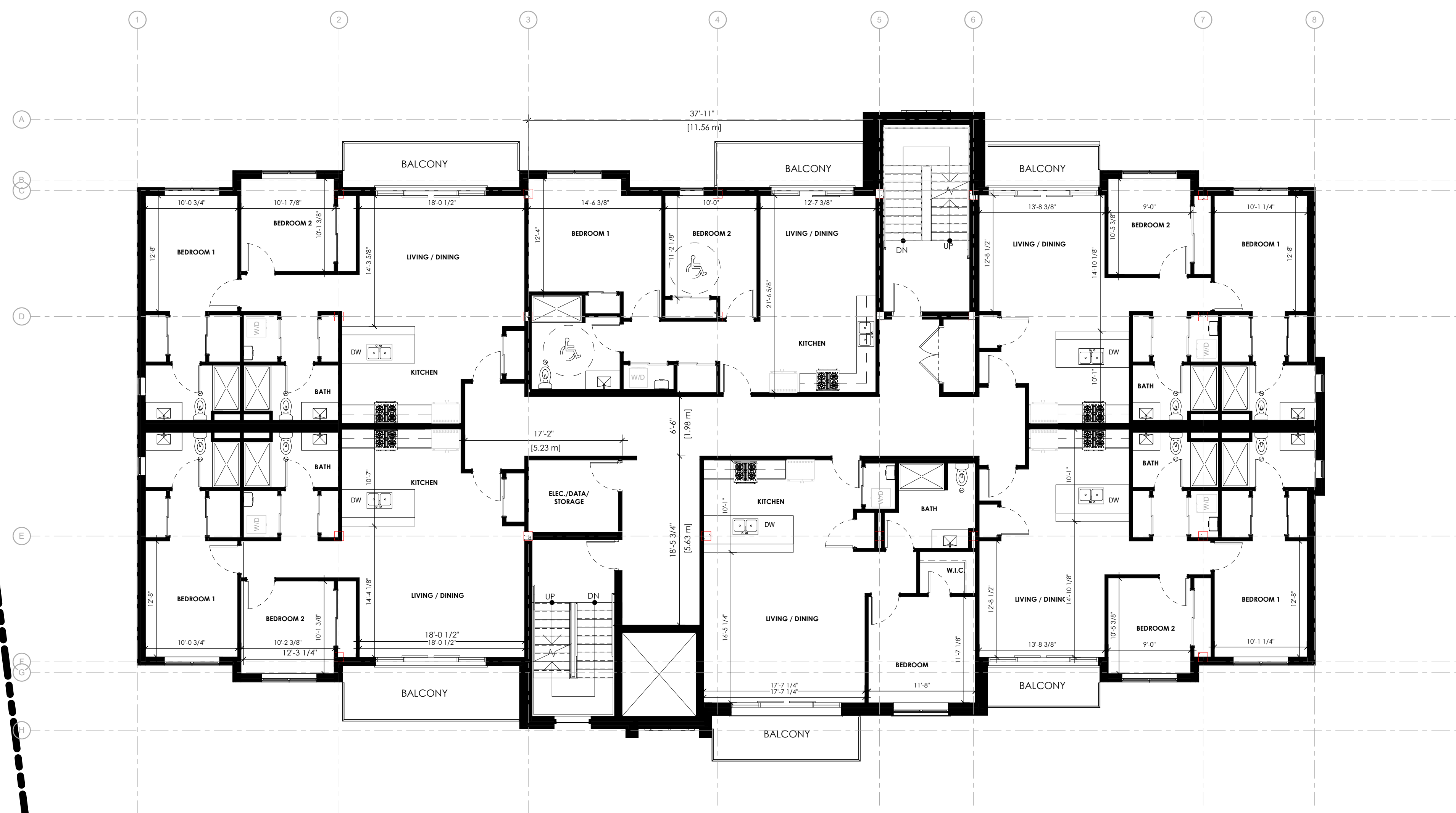
No.	Description	Date

3rd FLOOR

ASP-203

50 EMMA ST. GRAND VALLEY, ON - APARTMENTS

SD-TYPICAL FLOOR
 1/8" = 1'-0"



ROOM MIX							
ROOM TYPE	GND	2ND	3RD	4TH	5TH	TOTAL	
1 BED	-	1	1	1	1	3	-
2 BED	-	5	5	5	5	15	
TOTAL	-	6	6	6	6	24	
BARRIER FREE UNITS (INCLUDED IN TOTAL COUNT)						(4)	-

PROJECT NAME
50 EMMA ST. GRAND VALLEY, ON - APARTMENTS

PROJECT ADDRESS
 50 EMMA ST. GRAND VALLEY, ON

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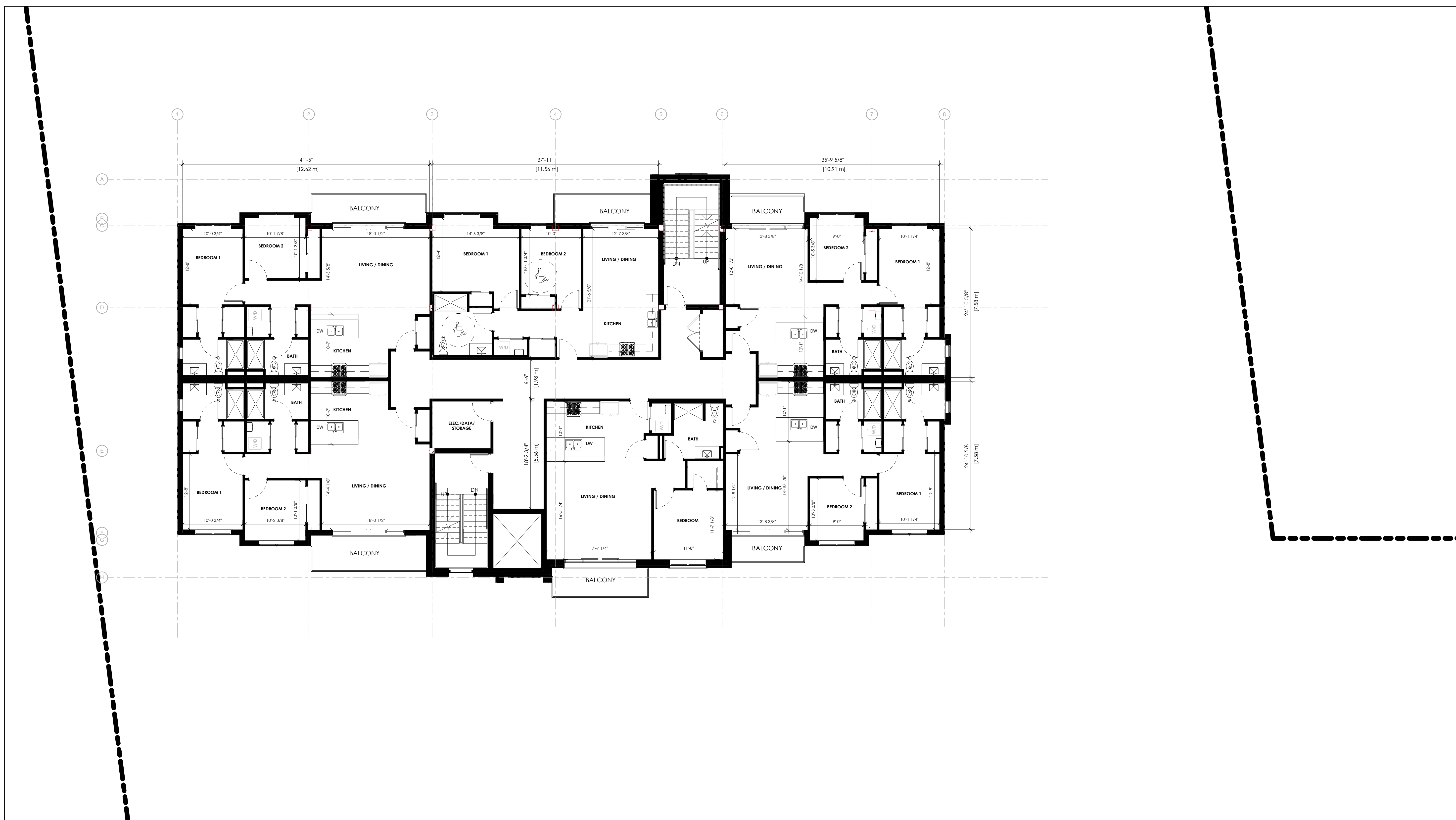
REVISIONS		
No.	Description	Date

4TH FLOOR PLAN

ASP-204

50 EMMA ST. GRAND VALLEY, ON - APARTMENTS

1 SD-FOURTH FLOOR
 ASP-204 1/8" = 1'-0"



ROOM MIX							
ROOM TYPE	GND	2ND	3RD	4TH	5TH	TOTAL	
1 BED	-	1	1	1	1	3	-
2 BED	-	5	5	5	5	15	
TOTAL	-	6	6	6	6	24	
BARRIER FREE UNITS (INCLUDED IN TOTAL COUNT)						(4)	-

PROJECT NAME
50 EMMA ST. GRAND VALLEY, ON - APARTMENTS

PROJECT ADDRESS
 50 EMMA ST. GRAND VALLEY, ON

CLIENT

SHELDON CREEK DEVELOPMENTS

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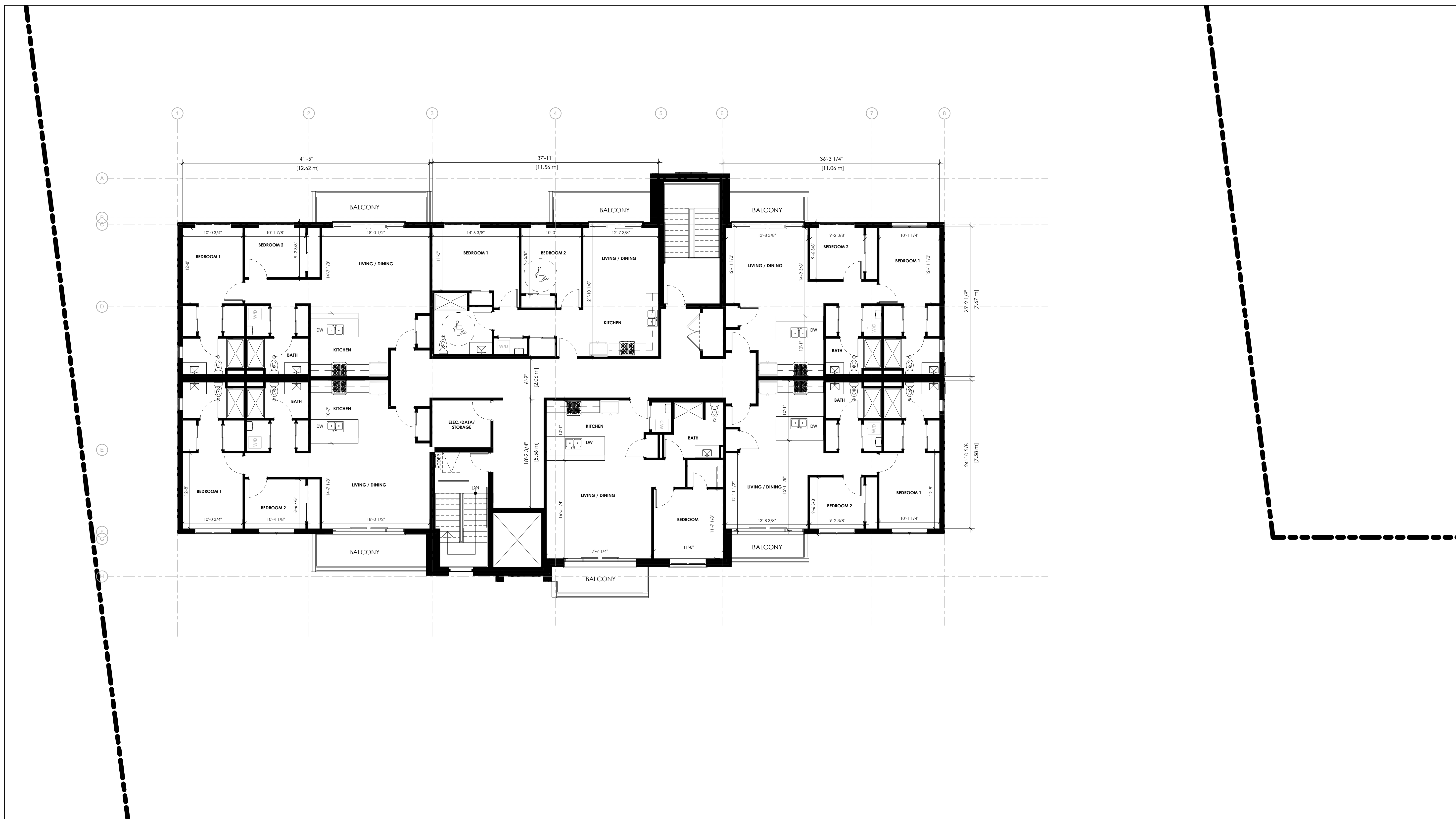
Project number 24022
 Date 12/30/2024
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 Checked by Checker
 Scale As indicated

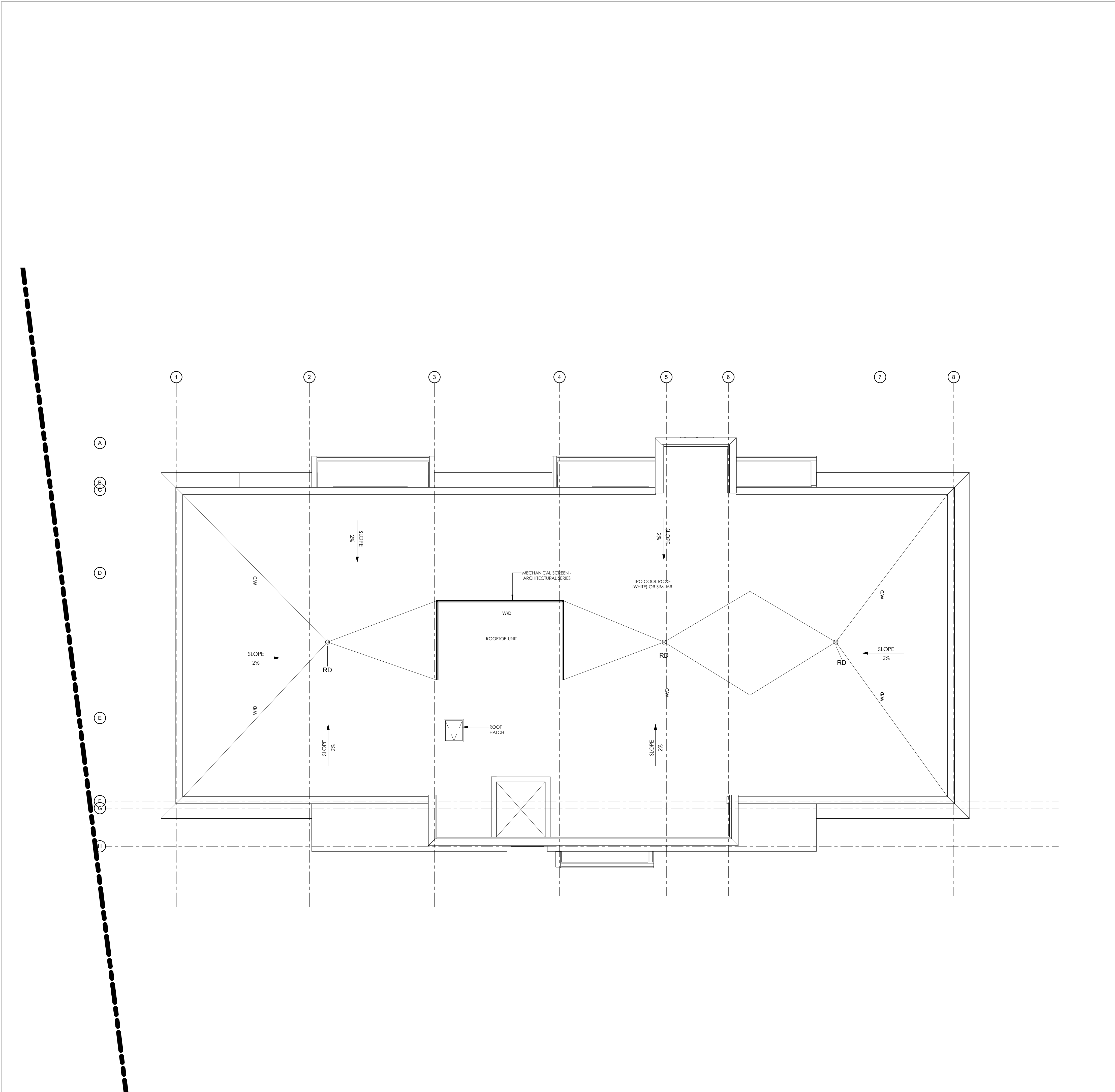
REVISIONS		
No.	Description	Date

5TH FLOOR PLAN

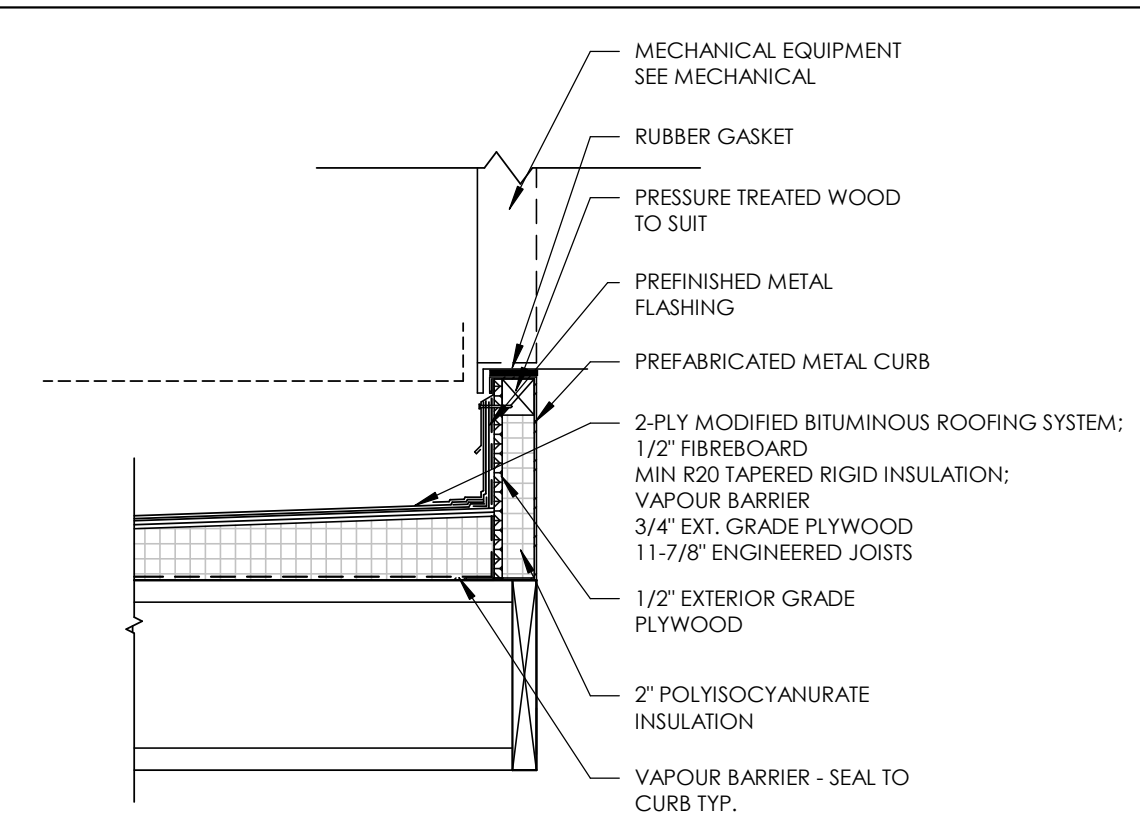
ASP-205

50 EMMA ST. GRAND VALLEY, ON - APARTMENTS

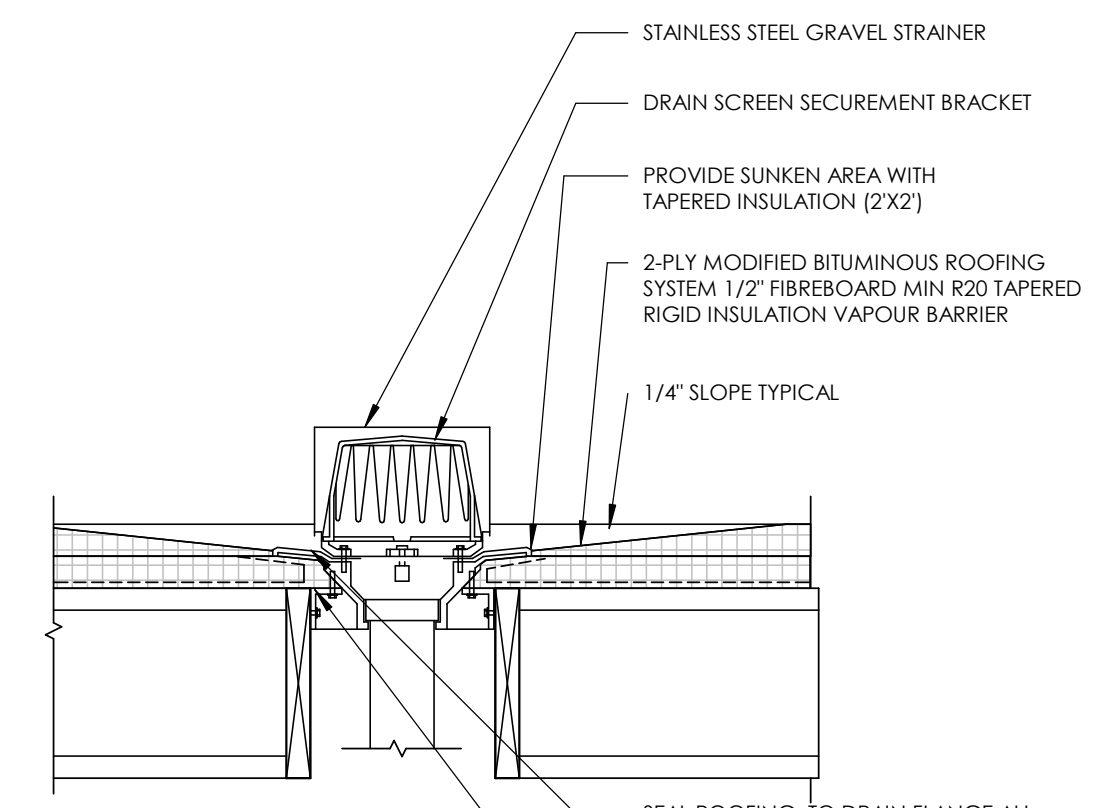




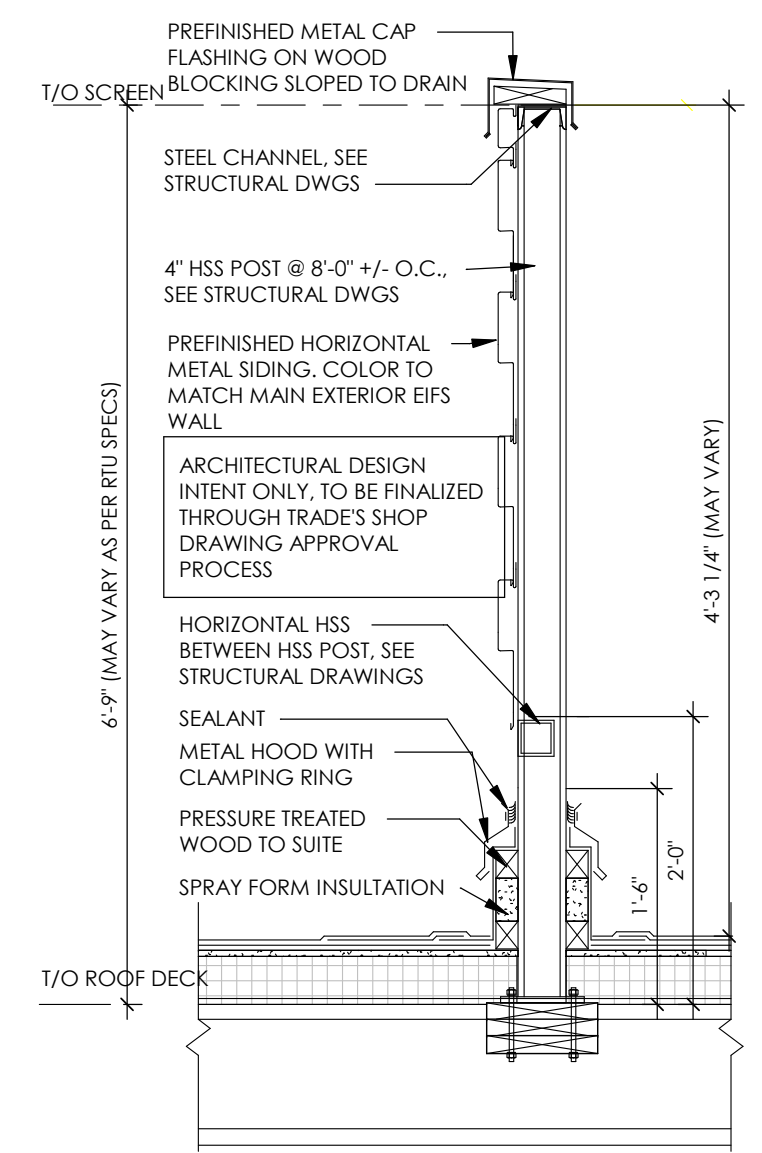
1 ROOF PLAN
ASP-204 1/8" = 1'-0"



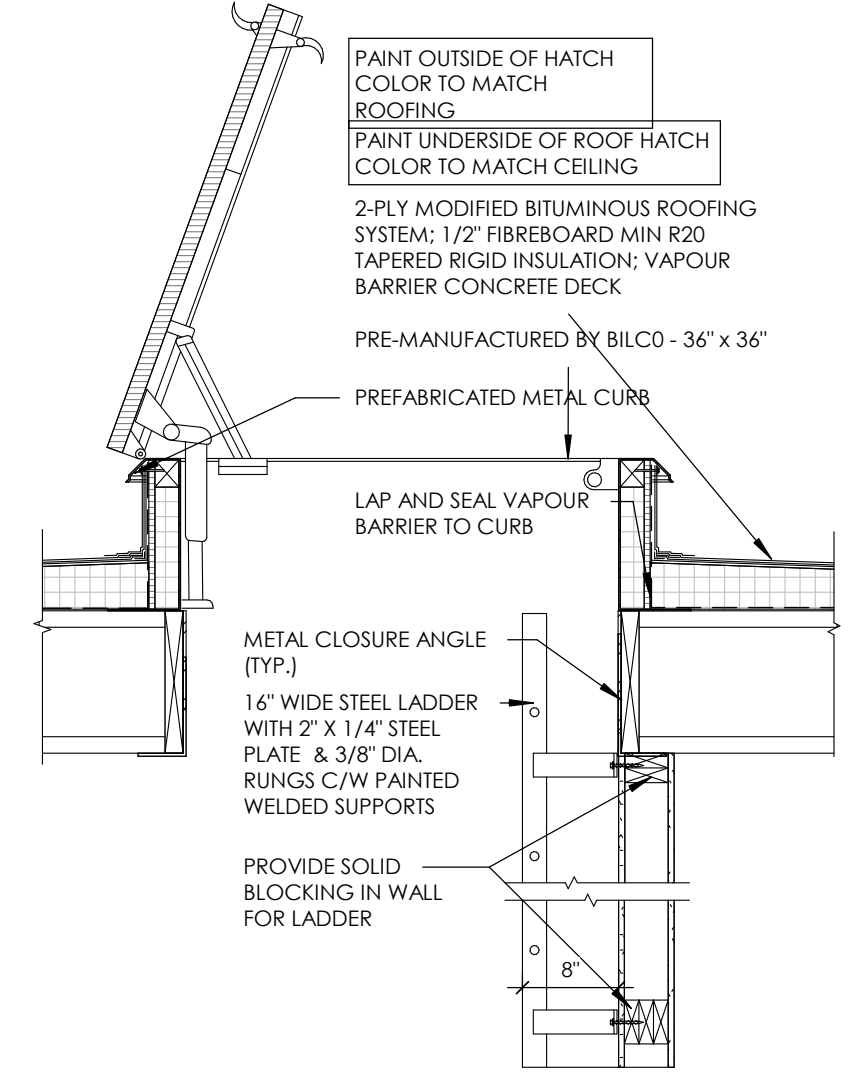
3 MECHANICAL CURB DETAIL
ASP-204 1" = 1'-0"



5 ROOF DRAIN DETAIL
ASP-204 1" = 1'-0"



4 ROOF SCREEN DETAIL
ASP-204 3/4" = 1'-0"



2 ROOF ACCESS HATCH DETAIL
ASP-204 3/4" = 1'-0"

PROJECT NAME
50 EMMA ST. GRAND VALLEY, ON - APARTMENTS

PROJECT ADDRESS
50 EMMA ST. GRAND VALLEY, ON

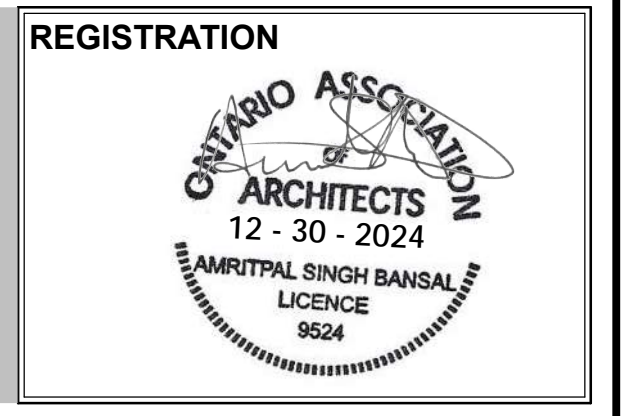
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No.	Description	Date

ROOF PLAN

ASP-206

50 EMMA ST. GRAND VALLEY, ON - APARTMENTS

MATERIAL LEGEND	
TAG	MATERIAL TYPE & COLOR

PROJECT NAME
50 EMMA ST. GRAND VALLEY, ON - APARTMENTS

PROJECT ADDRESS
 50 EMMA ST. GRAND VALLEY, ON

CLIENT
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No.	Description	Date

FRONT ELEVATION

ASP-300

50 EMMA ST. GRAND VALLEY, ON - APARTMENTS



1 PROPOSED FRONT ELEVATION
 ASP-300 1/8" = 1'-0"

MATERIAL LEGEND	
TAG	MATERIAL TYPE & COLOR

PROJECT NAME
50 EMMA ST. GRAND VALLEY, ON - APARTMENTS

PROJECT ADDRESS
 50 EMMA ST. GRAND VALLEY, ON

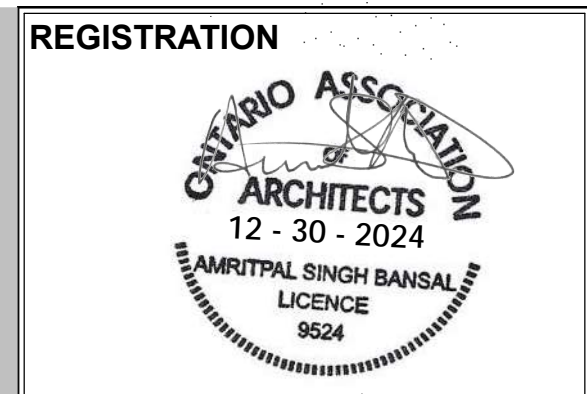
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Drawn by	ASB
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Scale	1/8" = 1'-0"

REVISIONS		
No.	Description	Date

REAR ELEVATION

ASP-301

50 EMMA ST. GRAND VALLEY, ON - APARTMENTS



1 PROPOSED REAR ELEVATION
 ASP-301 1/8" = 1'-0"

MATERIAL LEGEND	
TAG	MATERIAL TYPE & COLOR

PROJECT NAME
50 EMMA ST. GRAND VALLEY, ON - APARTMENTS

PROJECT ADDRESS
 50 EMMA ST. GRAND VALLEY, ON

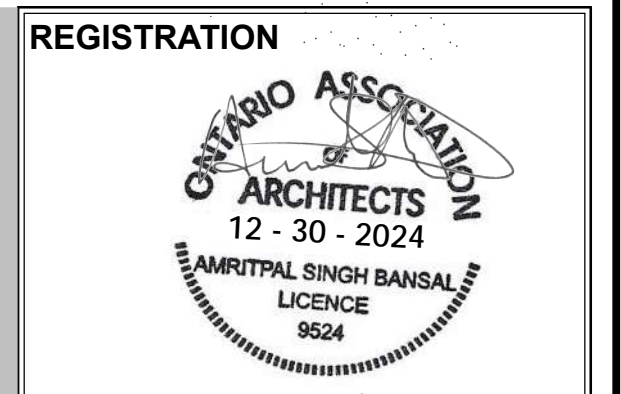
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Project number	24022
Date	12/30/2024
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Checked by	KDI
Scale	1/8" = 1'-0"

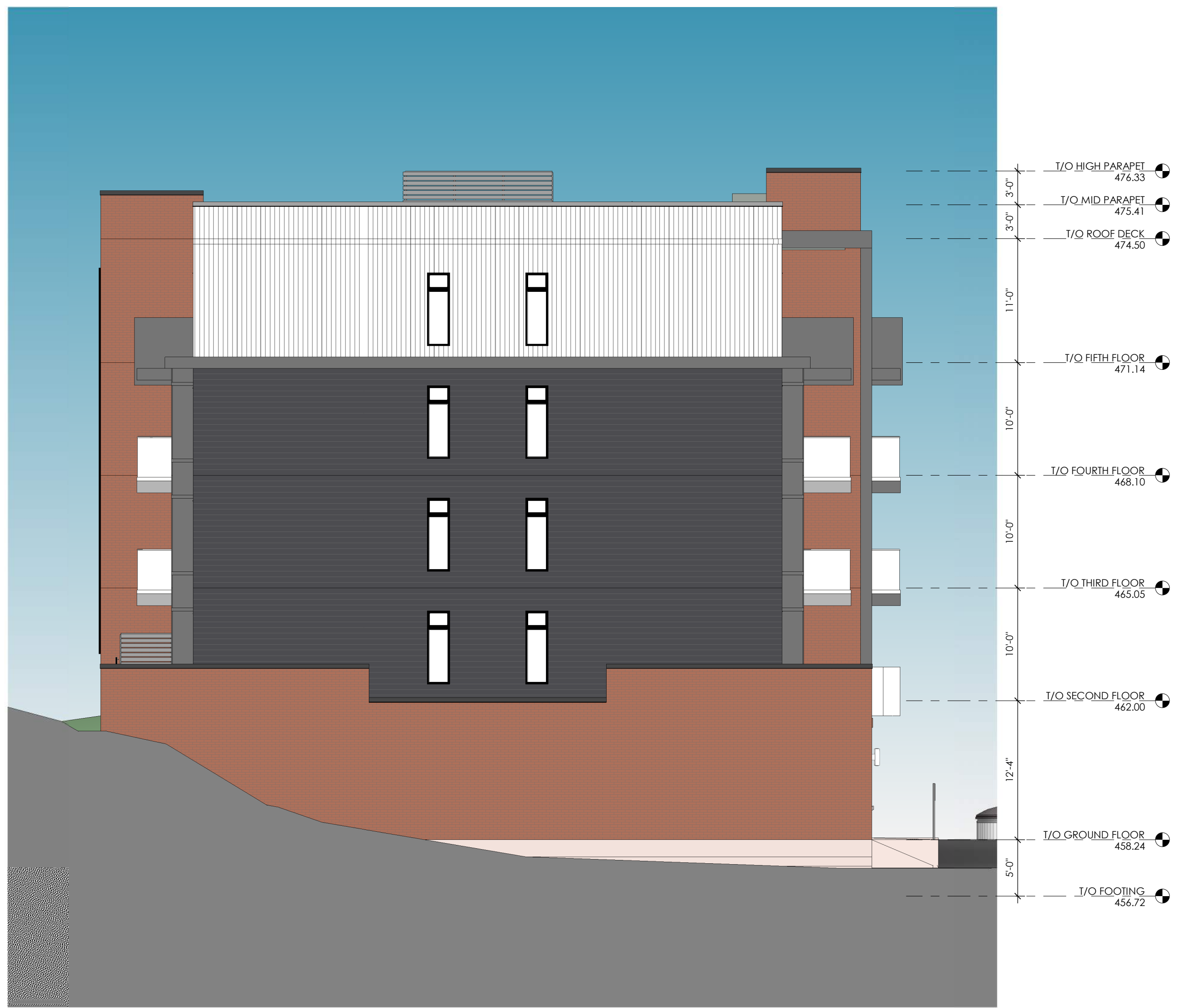
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No.	Description	Date

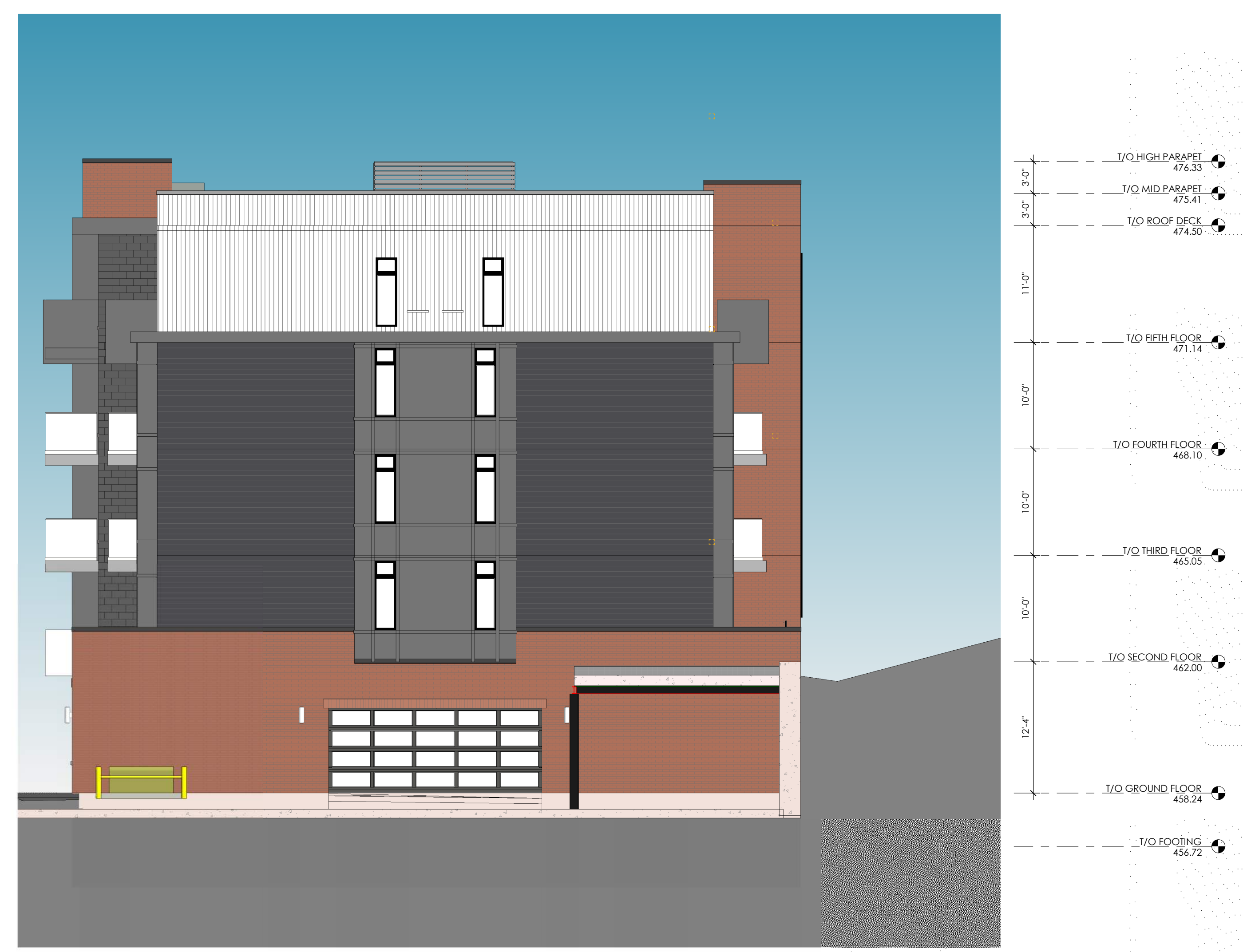
SIDE ELEVATIONS

ASP-302

50 EMMA ST. GRAND VALLEY, ON - APARTMENTS



1 PROPOSED LEFT SIDE ELEVATION
 ASP-302 1/8" = 1'-0"



2 PROPOSED RIGHT SIDE ELEVATION
 ASP-302 1/8" = 1'-0"

PROJECT NAME
50 EMMA ST. GRAND VALLEY, ON - APARTMENTS

PROJECT ADDRESS
 50 EMMA ST. GRAND VALLEY, ON

CLIENT
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REVISIONS

No.	Description	Date

PERSPECTIVES

ASP-303

50 EMMA ST. GRAND VALLEY, ON - APARTMENTS



1 PERSPECTIVE I
 ASP-303



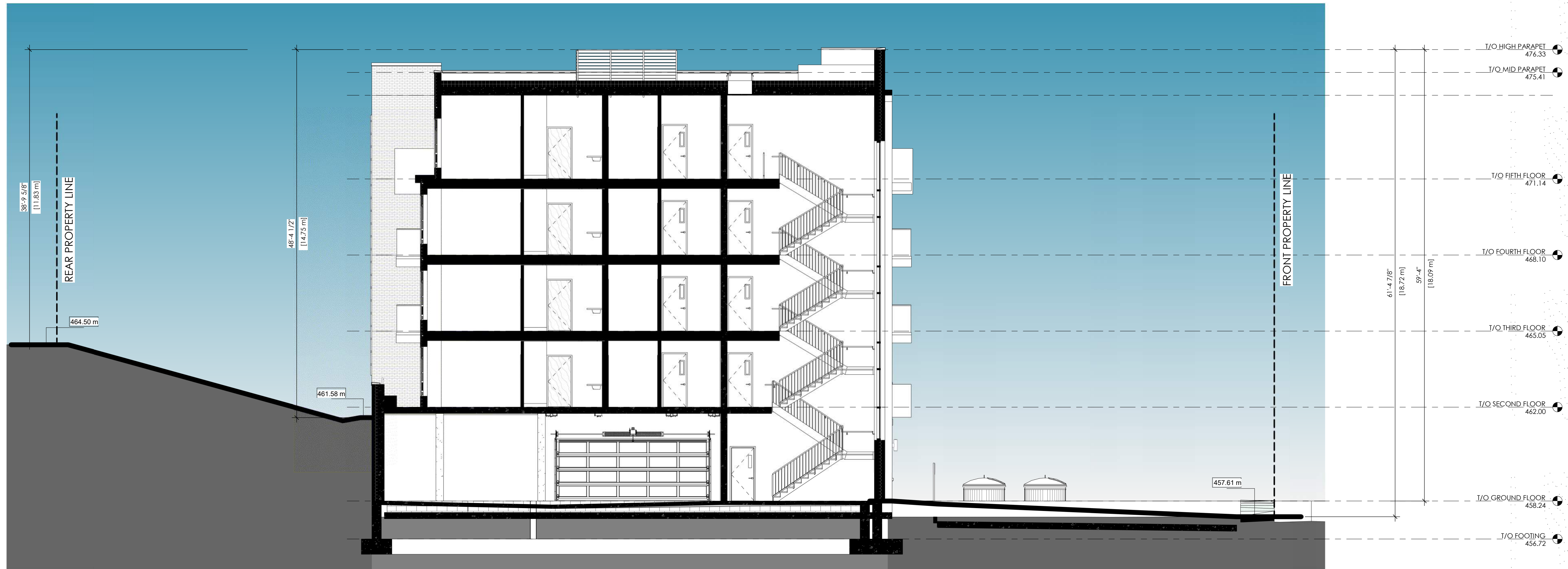
2 PERSPECTIVE II
 ASP-303



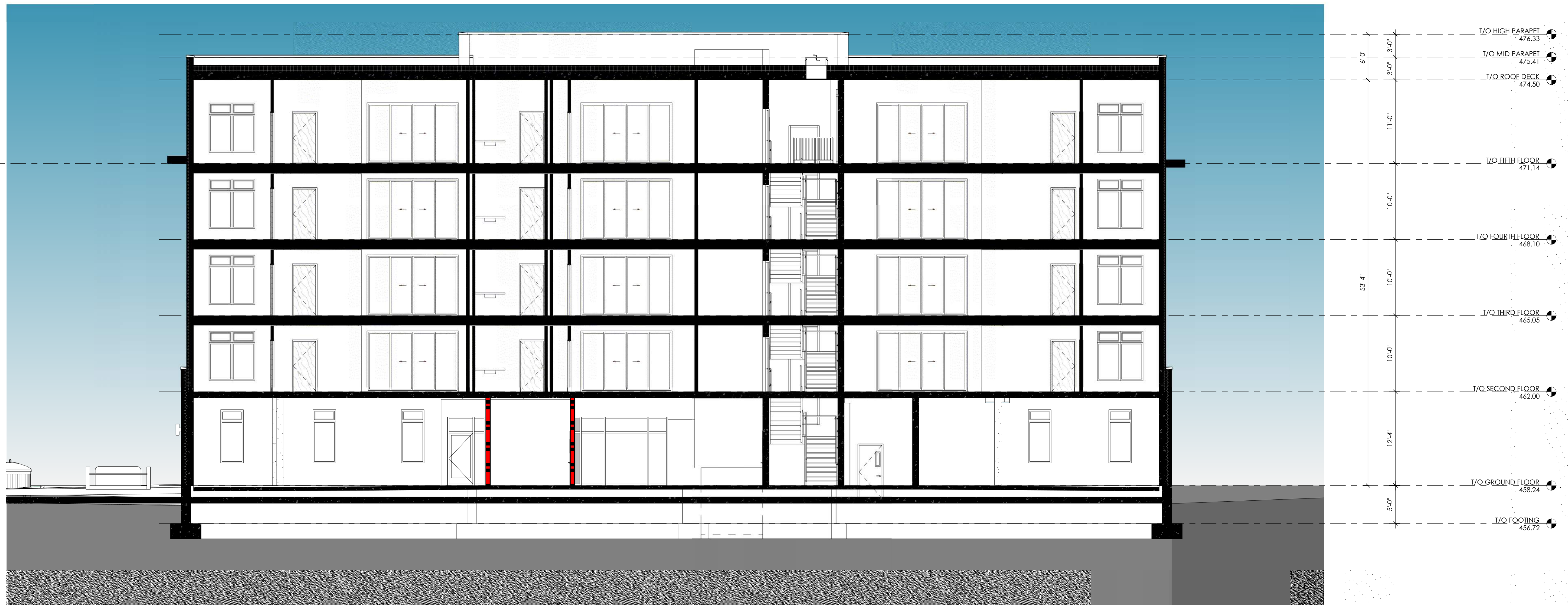
3 PERSPECTIVE III
 ASP-303



4 PERSPECTIVE IV
 ASP-303



1 SCHEMATIC BUILDING SECTION I
 1/8" = 1'-0"



2 SCHEMATIC BUILDING SECTION II
 1/8" = 1'-0"

PROJECT NAME
50 EMMA ST. GRAND VALLEY, ON - APARTMENTS

PROJECT ADDRESS
 50 EMMA ST. GRAND VALLEY, ON

CLIENT
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 Scale 1/8" = 1'-0"

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No.	Description	Date

BUILDING SECTIONS

ASP-305

50 EMMA ST. GRAND VALLEY, ON - APARTMENTS